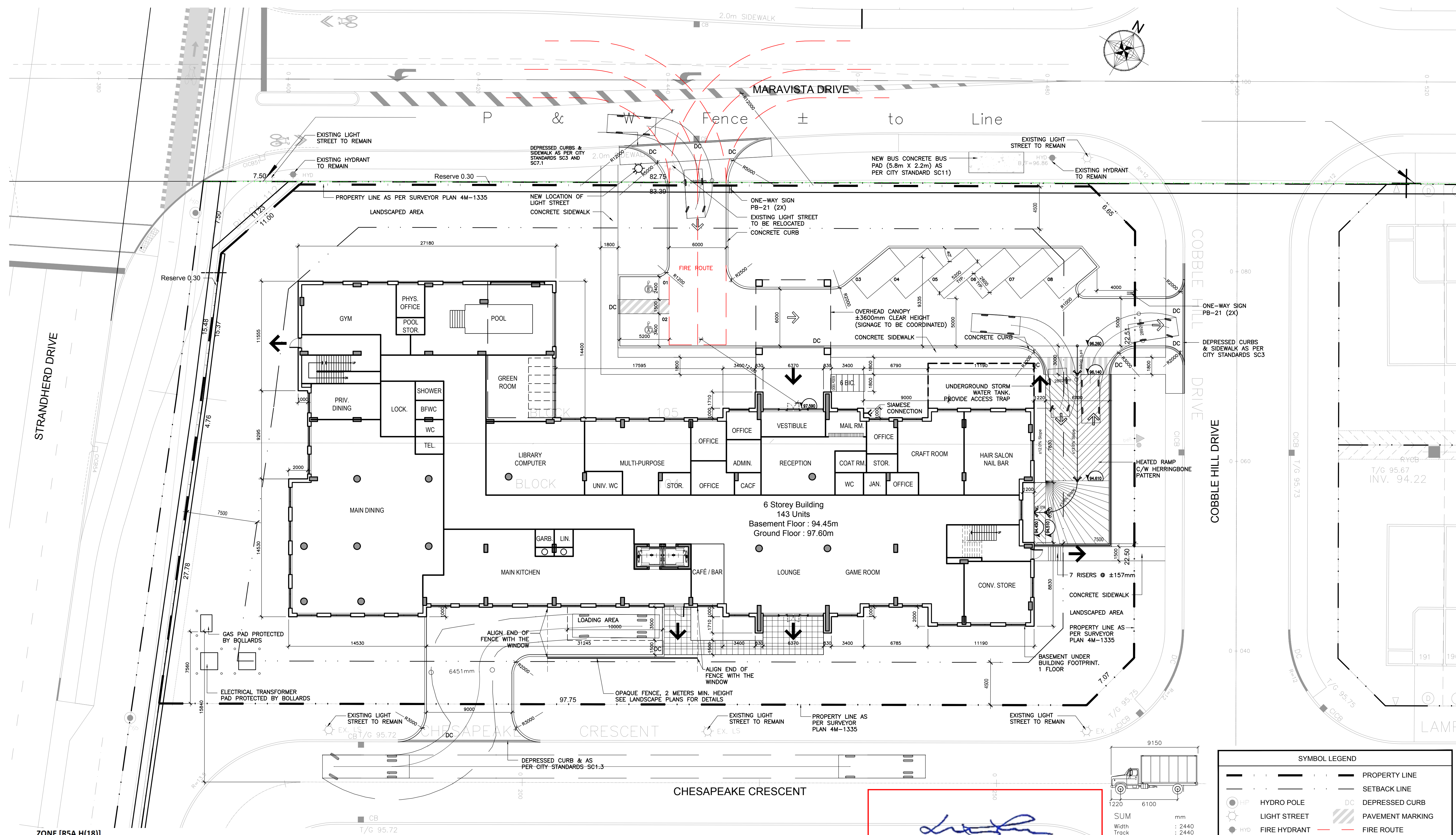




ZONE [R5A H(18)]

Provision	Required	Provided
Min Lot Width	25m	54.75m
Min Lot Area	1,000m ²	5,371.2m ²
Max Building Height	18m	19.98m
Min Front Yard Setback	6m	10.54m
Min Corner Side Yard Setback	4.5m	7.56m
Min Rear Yard Setback	7.5m	8.41m
Min Interior Side Yard Setback	7.5m	N/A

STATISTICS - WESTPOINTE RETIREMENT COMMUNITY

					November 29 2018						
Floor	Gross Floor Area (s.m.)	Gross Floor Area (s.f.)	Gross Construction Area (s.m.)	Gross Construction Area (s.f.)	Assisted Care	Studio	Studio suite	1 br	1 br + den	2 br	Total units
1st Basement	320.6	3451	2017.7	21718							
TOTAL UNDER GROUND	320.6	3451	2017.7	21718							
Ground Floor	0	0	2021.5	21759							
2nd floor (AC Cognitive)	1237.5	13320	1939.6	20878							
3rd floor (AC Physical)	1208.0	13003	1939.6	20878							
4th floor	1489.7	16035	1974.1	20173							
5th floor	1489.7	16035	1974.1	20173							
6th floor	1478.7	15917	1874.1	20173							
Mech. Penthouse	0	0	260.3	2802							
TOTAL ABOVE GROUND	6903.6	74310	11783.3	126834							
TOTAL	7224.2	77761	13801	148553							
PERCENTAGE MIX											
GRAND TOTAL											

APPROVED

By Lily Xu at 12:46 pm, Jan 07, 2020

LILY XU, MCIP, RPP
(A) MANAGER, DEVELOPMENT REVIEW - SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

AREA OF SITE:
GROSS FLOOR AREA PROPOSED :
BASEMENT G.F.A.:
GROUND FLOOR / G.F.A.:
GROUP C RET. HOME G.F.A. (2nd - 6th FL.)
PRIVATE AMENITY AREA (G.F.A.)
COMMUNAL AMENITY AREA (G.F.A.)
MED. HEALTH OR PERS. SERV. (G.F.A.)
SITE COVERAGE:
GROUND PARKING AREA:
LANDSCAPED AREA (EXCL. PARKING):
PARKING STALLS:

±5371.2 sq.m.
±7224.2 sq.m.
±320.6 sq.m.
±6903.6 sq.m.
±26.7 sq.m.
±1315.9 sq.m. ***
±90 sq.m.
±37.6 %
±15.7 %
±46.7 %
42 INTERIOR
8 EXTERIOR
30 INTERIOR
6 EXTERIOR
6 FLOORS + MECH.
± 19.98 m
±143

PROVIDED BICYCLE STALLS:

NUMBER OF FLOORS & BUILDING HEIGHT:

DWELLING UNITS :

*** EXCLUDES ROOF TOP AMENITY AREAS

■ FOR EXISTING SITE CONDITIONS, SEE SURVEY PLAN BY ANNIS O'SULLIVAN VOLLEBEKK LTD. SUBMITTED SEPARATELY.
■ FOR NEW GRADES AND SITE SERVICES, SEE CIVIL ENGINEERING PLAN BY IBI GROUP, SUBMITTED SEPARATELY.
■ FOR PROPOSED VEGETATION AND LANDSCAPE INFORMATION, SEE LANDSCAPE ARCHITECTURE PLAN BY JAMES B. LENNOX & ASSOCIATES SUBMITTED SEPARATELY.

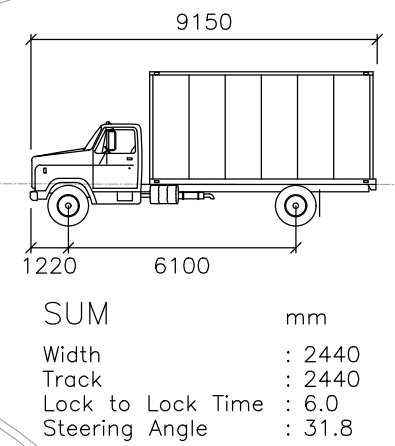
NUMBER OF SUITES REQUIRED TO BE BARRIER-FREE

■ ON FLOORS 2 & 3, THERE ARE RESPECTIVELY 32 & 30 UNITS. 4 UNITS PER FLOOR ARE REQUIRED TO BE BARRIER-FREE.

■ ON FLOORS 4 TO 6, THERE ARE RESPECTIVELY 27 UNITS PER FLOOR. 5 UNITS PER FLOOR ARE REQUIRED TO BE BARRIER-FREE.

SYMBOL LEGEND

—	PROPERTY LINE	—	PROPERTY LINE
—	SETBACK LINE	—	DEPRESSED CURB
—	DEPRESSED CURB	—	PAVEMENT MARKING
—	PAVEMENT MARKING	—	FIRE ROUTE
—	FIRE ROUTE	—	"BELL" PEDESTALS
—	"BELL" PEDESTALS	—	TOP OF GRATE (LEVEL)
—	TOP OF GRATE (LEVEL)	—	ACCESSIBLE PARKING TYPE "A" AS PER ACCESSIBILITY DESIGN STANDARDS (CITY OF OTTAWA)
—	ACCESSIBLE PARKING TYPE "A" AS PER ACCESSIBILITY DESIGN STANDARDS (CITY OF OTTAWA)	—	ACCESSIBLE PARKING TYPE "B" AS PER ACCESSIBILITY DESIGN STANDARDS (CITY OF OTTAWA)



ZONING BY-LAW PARKING REQUIREMENT FOR RETIREMENT HOME

	REQUIREMENT	PROPOSED
0.25 per unit	0.25 x 143 = 36	42 interior + 7 exterior
1 per 100 m ² of GFA used for medical or personal services	90 m ² = 1	1 exterior

ZONING BY-LAW BICYCLES PARKING REQUIREMENT FOR RETIREMENT HOME

	REQUIREMENT	PROPOSED
0.25 per unit	0.25 x 143 = 36	30 int. + 6 ext.

NOTE :

- SNOW STORAGE : SNOW WILL BE HAULED OFF SITE.



NOTES GÉNÉRALES General Notes

- Les documents d'architecture sont la propriété exclusive de NEUF architectes, et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite au préalable. / These architectural documents are the exclusive property of NEUF architectes and cannot be used, copied or reproduced without written pre-authorization.
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- Veuillez aviser l'architecte de toute dimension erronée et/ou divergences entre les documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of other professionals.

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TRANSPORTATION Transportation

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SCEAU Seal



NEUF
ARCHITECTE(S)



CLIENT Client

RIVERSTONE
RETIREMENT COMMUNITIES



OUVRAGE Project

164 Maravista Drive
Westpointe Retirement Home

EMPLACEMENT Location NO PROJET No.
Ottawa 11864

NO.	REVISION	DATE (aa.mm.jj)
01	Site Plan Approval	2008.03.26
02	Site Plan Approval	2010.02.04
03	Information	2010.02.04
04	Information	2010.02.16
05	Information	2010.03.16
06	Information	2012.01.25
07	Client's comments	2018.08.29
08	Client's comments	2018.09.05
09	Client's comments	2018.09.06
10	Coordination	2018.09.12
11	Coordination	2018.09.19
12	Client's comments	2018.11.06
13	Coordination	2018.11.27
14	Information	2018.12.04
15	Site Plan Application	2018.12.19
16	Coordination	2019.03.29
17	Revision to Site Plan Application	2019.04.16
18	Revision to Site Plan Application	2019.07.04

DESIGNER

DRAWN BY

CHECKED BY

DATE (aa.mm.jj)

November 2007

TITRE DU DESSIN Drawing Title

Site Plan at Ground Floor

REVISION Revision

18

NO. DESSIN Dwg Number

A050

D07-12-18-0196