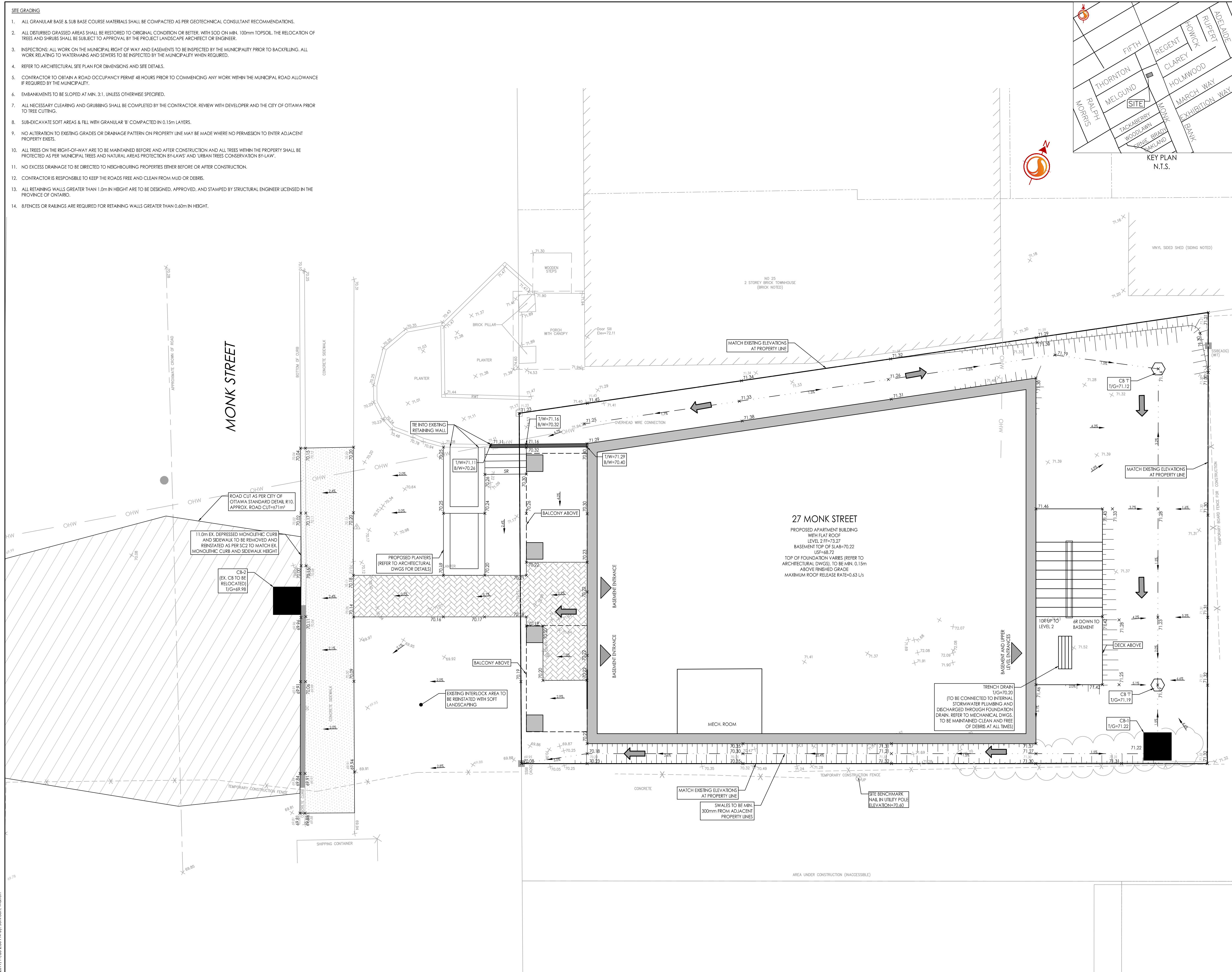


- SITE GRADING**
- ALL GRANULAR BASE & SUB BASE COURSE MATERIALS SHALL BE COMPACTED AS PER GEOTECHNICAL CONSULTANT RECOMMENDATIONS.
  - ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER, WITH SOD ON MIN. 100mm TOPSOIL. THE RELOCATION OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER.
  - INSPECTIONS: ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERMAINS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED.
  - REFER TO ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND SITE DETAILS.
  - CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE IF REQUIRED BY THE MUNICIPALITY.
  - EMBANKMENTS TO BE SLOPED AT MIN. 3:1, UNLESS OTHERWISE SPECIFIED.
  - ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH DEVELOPER AND THE CITY OF OTTAWA PRIOR TO TREE CUTTING.
  - SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR "B" COMPACTED IN 0.15m LAYERS.
  - NO ALTERATION TO EXISTING GRADES OR DRAINAGE PATTERN ON PROPERTY LINE MAY BE MADE WHERE NO PERMISSION TO ENTER ADJACENT PROPERTY EXISTS.
  - ALL TREES ON THE RIGHT-OF-WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTION AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER 'MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAWS' AND 'URBAN TREES CONSERVATION BY-LAW'.
  - NO EXCESS DRAINAGE TO BE DIRECTED TO NEIGHBOURING PROPERTIES EITHER BEFORE OR AFTER CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE TO KEEP THE ROADS FREE AND CLEAN FROM MUD OR DEBRIS.
  - ALL RETAINING WALLS GREATER THAN 1.0m IN HEIGHT ARE TO BE DESIGNED, APPROVED, AND STAMPED BY STRUCTURAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
  - FENCES OR RAILINGS ARE REQUIRED FOR RETAINING WALLS GREATER THAN 0.60m IN HEIGHT.



**Stantec**

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Tel. 613.722.4420  
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- Legend**
- ORIGINAL GROUND ELEVATION
  - PROPOSED ELEVATION
  - PROPOSED LOT CORNER ELEVATION
  - EXISTING ELEVATION AT LOT CORNER
  - FLOW DIRECTION AND GRADE
  - FINISHED FIRST FLOOR ELEVATION
  - TOP OF FOUNDATION ELEVATION
  - UNDERSIDE OF FOOTING ELEVATION
  - TERRACING 3:1 SLOPE MAXIMUM (UNLESS OTHERWISE SHOWN)
  - PROPOSED SWALE
  - DIRECTION OF OVERLAND FLOW
  - PROPOSED VALVE BOX
  - PROPOSED LANDSCAPE CATCHBASIN
  - PROPOSED CATCHBASIN
  - PROPOSED DOOR LOCATIONS
  - PROPOSED RETAINING WALL

- Notes**
- SITE PLAN PREPARED BY SUSAN D. SMITH ARCHITECT, REV 0 DATED NOVEMBER 7, 2019.
  - TOPOGRAPHIC SURVEY SUPPLIED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. No. 19862-19. PART OF LOT 24 IN BLOCK 5, NORTH SIDE OF HOLMWOOD AVENUE, REGISTERED PLAN 26085, CITY OF OTTAWA, DATED AUGUST 13, 2019.
  - GEOTECHNICAL REPORT PG5051-LET.01 DATED OCTOBER 7, 2019, PREPARED BY PATERSON GROUP LTD.

|            |                   |      |       |          |
|------------|-------------------|------|-------|----------|
| 1          | ISSUED FOR REVIEW | WAJ  | KJK   | 19.11.29 |
| Revision   |                   | By   | Appd. | YY.MM.DD |
| File Name: | 160401526-DB      | JLP  | KJK   | WAJ      |
|            |                   | Dwn. | Chkd. | Dsgn.    |
|            |                   |      |       | YY.MM.DD |

Permit-Seal

Client/Project  
**ART CONSTRUCTION**  
2472 Wyndale Crescent

**3 STOREY RESIDENTIAL APARTMENT**  
27 MONK STREET  
OTTAWA, ON

Title  
**GRADING PLAN**

|             |                |
|-------------|----------------|
| Project No. | Scale          |
| 160401526   | 0 0.5 1.5 2.5m |
| Drawing No. | Sheet          |
|             | Revision       |

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