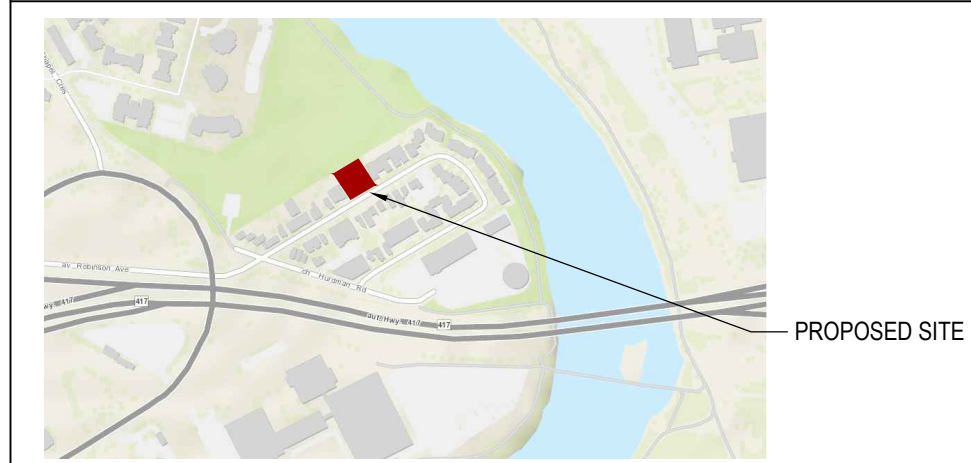


LOT F CONCESSION D (RIDEAU FRONT) (NEPEAN) PART 1 4R-598

PROPERTY BOUNDARY INFORMATION
DERIVED FROM SURVEY PLAN COMPLETED
BY STANTEC GEOMATICS LTD. DATED APRIL
12, 2018.

KEY PLAN



PROPERTY DESCRIPTION

SIX STOREY RESIDENTIAL BUILDING	
CITY OF OTTAWA PIN NUMBER	04207 0362, 0363, 0364
MUNICIPAL ADDRESS	29 Robinson Avenue

SITE INFORMATION

LOT AREA:	1,139m ²
LOT FRONTAGE:	32.92m
LOT DEPTH:	34.59m

BUILDING INFORMATION

BUILDING AREA:	595m ²
BUILDING FLOOR AREA:	2,840m ²
PROPOSED USE:	APARTMENT DWELLING, MID-RISE
UNIT BREAKDOWN:	
FIRST FLOOR:	6 UNITS 4- STUDIO, 2- 2 BD
SECOND FLOOR:	10 UNITS 4- STUDIO, 2- 1 BD, 4- 2BD
THIRD FLOOR:	10 UNITS 4- STUDIO, 2- 1 BD, 4- 2BD
FOURTH FLOOR:	10 UNITS 4- STUDIO, 2- 1 BD, 4- 2BD
FIFTH FLOOR:	10 UNITS 5- STUDIO, 1- 1BD, 4- 2BD
TOTAL:	46 UNITS 21- STUDIO, 7- 1 BD, 18- 2 BD

ZONING TABLE

CITY OF OTTAWA ZONING BY-LAW	REQUIRED	PROPOSED
No. 2008-250	R5K [2133] H(20)	
MINIMUM LOT AREA	450m ²	1,139m ²
MINIMUM LOT WIDTH	15m	32.92m
FRONT YARD SETBACK	3m	4.76m

MINIMUM INTERIOR SIDE YARD SETBACK	REQUIRED	PROPOSED
within 21m of front lot line: <11m building height = 1.5m >11m building height = 2.5m greater than 21m from front lot line: 6m		1.5m - Levels 1 to 3 2.5m - Level 4

MINIMUM REAR YARD SETBACK	REQUIRED	PROPOSED
7.5m		7.5m

MAXIMUM BUILDING HEIGHT	REQUIRED	PROPOSED
20m		17.2m

MAXIMUM FLOOR SPACE INDEX	REQUIRED	PROPOSED
N/A		

LANDSCAPED AREA	REQUIRED	PROPOSED
30% = 341.7m ²		28% = 316m ²

VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	REQUIRED	PROPOSED
0 parking spaces for first 12 units Table 101 - Dwelling low-rise apartment 0.5 per dwelling unit = 17 spaces		3 SPACES

VISITOR PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	REQUIRED	PROPOSED
0.1 / DWELLING UNIT AFTER 12 UNITS 3.4 SPACES REQUIRED		3 SPACES

AMENITY AREA REQUIREMENTS	REQUIRED	PROPOSED
15m ² per unit for the first 8 units = 120m ² 6m ² per dwelling unit in excess of 8 = 228m ² Total = 348m ²		-139m ² REAR YARD AMENITY -37m ² REAR SIDE YARD AMENITY [137m ² SOFT LANDSCAPING (78%)] -50m ² INTERIOR ROOFTOP AMENITY -62m ² ROOFTOP AMENITY -83m ² BALCONIES TOTAL = 380m ²

BICYCLE PARKING SPACES	REQUIRED	PROPOSED
0.5 per dwelling unit = 23		44 STACKED INTERIOR STORAGE SPACES 2 EXTERIOR SPACES

LEGEND

	SOFT LANDSCAPING		EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)
	UNIT PAVERS REFER TO LANDSCAPE		NEW TREE (REFER TO LANDSCAPE DRAWINGS)
	ASPHALT PAVING		NEW SHRUBS (REFER TO LANDSCAPE DRAWINGS)
	CONCRETE		NEW EVERGREEN SHRUB (REFER TO LANDSCAPE DRAWINGS)
	RIVERSTONE REFER TO LANDSCAPE		EXISTING GROUND ELEVATION (TO DETERMINE EXISTING AVERAGE GRADE)
	EXISTING BUILDING ELEMENT TO BE REMOVED		NEW GROUND ELEVATION REFER TO CIVIL
	EXISTING FENCE		LOT LINE
	NEW BOARD FENCE REFER TO LANDSCAPE		SETBACK LINE
	LOT LINE		DESIGNATED BUILDING ENTRANCE / EXIT
	SETBACK LINE		FIRE HYDRANT, REFER TO CIVIL
	DESIGNATED BUILDING ENTRANCE / EXIT		CATCH BASIN
	FIRE HYDRANT, REFER TO CIVIL		MANHOLE
	CATCH BASIN		FLOOR DRAIN
	MANHOLE		UTILITY POLE
	FLOOR DRAIN		OVERHEAD UTILITY WIRES
	UTILITY POLE		LIGHT STANDARD
	OVERHEAD UTILITY WIRES		DEPRESSED CURB
	LIGHT STANDARD		
	DEPRESSED CURB		

NOTE: 'X'-E INDICATES EXISTING TO REMAIN

No.	Date	Événement / Object
1	2018-07-09	COORDINATION
2	2018-07-13	COORDINATION
3	2018-09-17	COORDINATION
4	2018-10-26	SITE PLAN CONTROL
5	2019-03-15	COORDINATION
6	2019-05-27	COORDINATION
7	2019-08-28	SITE PLAN CONTROL RESPONSE
8	2019-11-11	COORDINATION
9	2019-11-22	SITE PLAN CONTROL RESPONSE
10	2019-12-31	SITE PLAN CONTROL RESPONSE
11	2020-01-07	SITE PLAN CONTROL RESPONSE

Ingenieur / Engineer
(Mécanique & Électrique / Mechanical & Electrical)

Ingenieur / Engineer
(Structure / Structure)

Architecte / Architect
(paysagiste / Landscape)

Ingenieur / Engineer
(Civil / Civil)



Client / Client

Robinson Village II
Limited Partnership

Architecte / Architect

Collectif des architectes / Architects Collective
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Montréal QC H4C 1A0
T. 514 881-0122

fig. 2
190 Somerset St W #206
Ottawa ON K2P 0A4
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www.figuri.ca

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Scale / Échelle

Ontario Association of Architects
ROBERTO CAMPOS
LICENCE
7401

Project / Projet

SIX STOREY APARTMENT BUILDING

29 Robinson Avenue, Ottawa ON

Drawn / Dessiné par / MD

Project / No. projet / 1621

Checked / Vérifié par / RC

Revision / Révision

Scale / Échelle / As indicated

Date de création du dessin / Drawing creation date / 2018/05/01

Site Plan

Scale / Échelle / As indicated

Scale / Échelle / As indicated

Scale / Échelle / As indicated

Scale / Échelle / As indicated

Scale / Échelle / As indicated

Scale / Échelle / As indicated

Scale / Échelle / As indicated

Scale / Échelle / As indicated

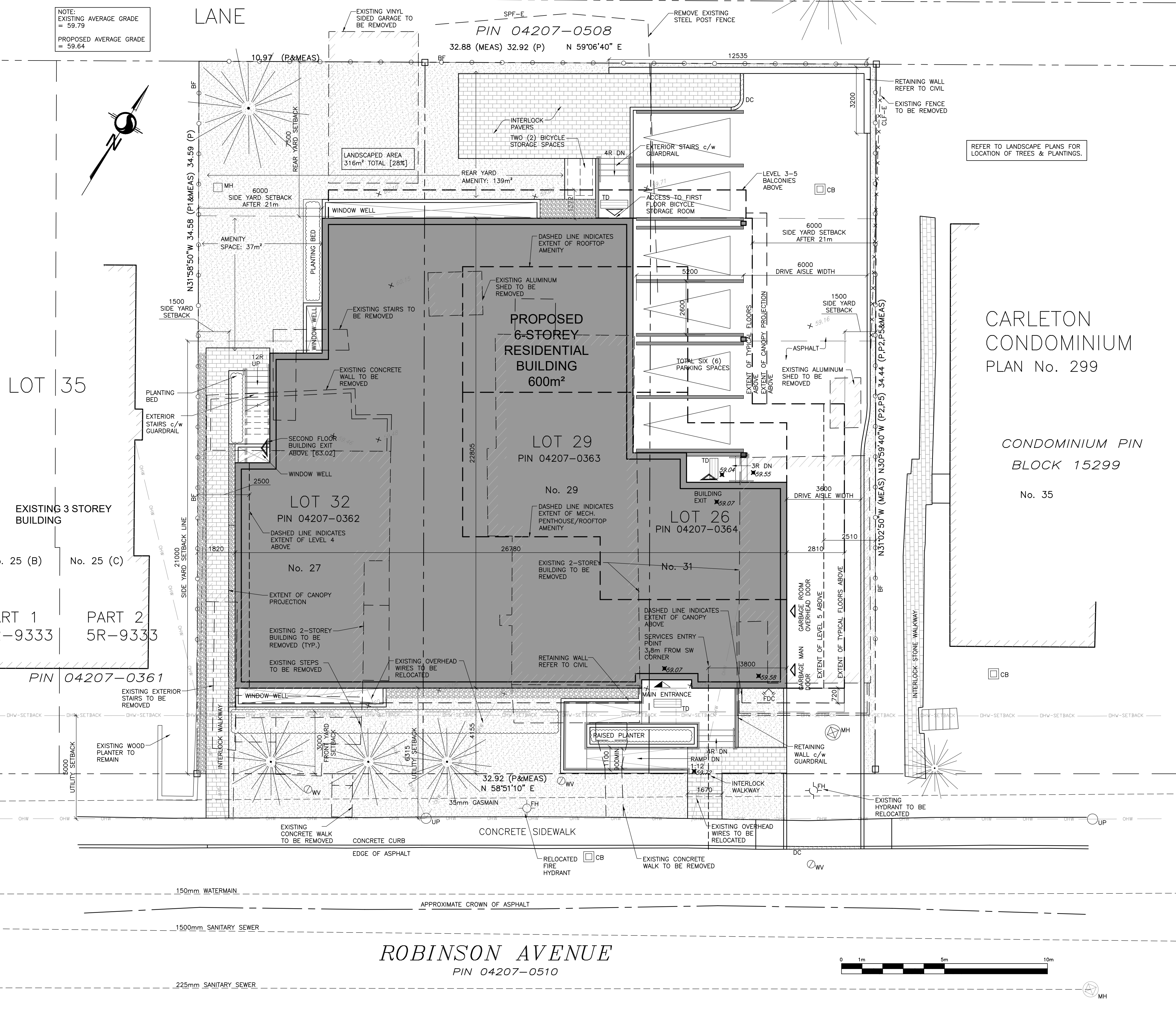
Scale / Échelle / As indicated

Scale / Échelle / As indicated

Scale / Échelle / As indicated

A105

#17855



LOT 35
EXISTING 3 STOREY BUILDING
No. 25 (B) No. 25 (C)
PART 1 5R-9333 PART 2 5R-9333
PIN 04207-0361

ROBINSON AVENUE
PIN 04207-0510

