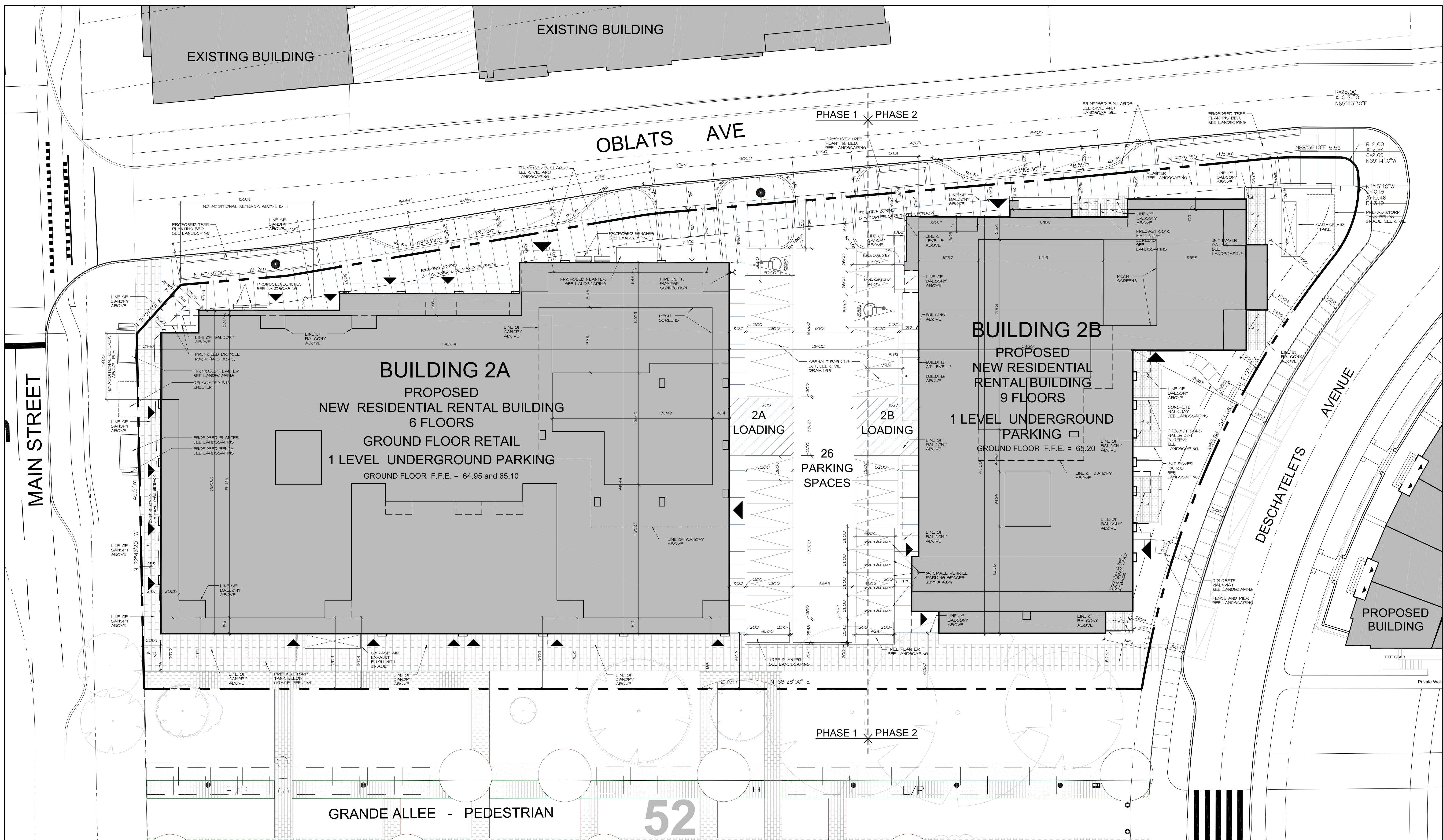




BUILDING 2A

ZONING SUMMARY:	REQUIRED	PROVIDED
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VEHICULAR PARKING:

RESIDENTIAL PARKING (25 units - (first 12 units) x 0.5 = 51 spaces)	51 spaces	125 spaces
VISITOR PARKING (25 units - (first 12 units) x 0.1 = 11 spaces)	11 spaces	13 spaces (inside)
RETAIL (25 / 100 sqm (184 sqm / 100 = 16.8 x 1.25)	10 spaces	10 spaces (outside)
	78 spaces	164 spaces

BICYCLE PARKING

RESIDENTIAL (125 units x 0.5 = 63 spaces)	63 spaces	63 spaces
RETAIL (1/ 250 sqm. (1674 sqm / 250 = 7 spaces)	7 spaces	7 spaces (outside)

AMENITY

(125 units x 6 sqm/unit = 750 sqm) (Commercial, 50% of Req'd = 375 sqm.)	750 sqm 375 sqm	1,613 sqm 245 sqm 1,054 sqm Outdoor Roof Terrace
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BUILDING SUMMARY:

RENTAL UNITS	GROSS FLOOR AREA	NET FLOOR AREA
		125
MECH. PENT/ ROOF	2,616 sq.ft.	-
LEVELS 3-6	78,856 sq.ft.	64,742 sq.ft.
LEVEL 2	18,984 sq.ft.	17,448 sq.ft.
GROUND	27,017 sq.ft.	16,813 sq.ft. (Commercial)
	124,573 sq.ft.	104,053 sq.ft.
GARAGE P1	56,141 sq.ft.	
GARAGE P2	243,460 sq.ft.	

UNIT TYPE / FLOOR

	BACH.	1 BED	1 BED +DEN	2 BED	2 BED +DEN	TOTAL/ FLOOR
LEVEL 6	2	11	5	4	3	25
LEVEL 5	2	11	5	4	3	25
LEVEL 4	2	11	5	4	3	25
LEVEL 3	2	11	5	4	3	25
LEVEL 2	2	11	5	4	3	25
TOTAL	10	55	25	20	15	125

BUILDING 2 B

ZONING SUMMARY:	REQUIRED	PROVIDED
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VEHICULAR PARKING:

RESIDENTIAL PARKING (20 units - (first 12 units) x 0.5 = 54 spaces)	54 spaces	120 spaces
VISITOR PARKING (20 units - (first 12 units) x 0.1 = 11 spaces)	11 spaces	11 spaces (inside)
	65 spaces	131 spaces

BICYCLE PARKING

RESIDENTIAL (120 units x 0.5 = 60 spaces)	60 spaces	53 spaces (inside) 7 spaces (outside)
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AMENITY

(120 units x 6 sqm/unit = 720 sqm) (Commercial, 50% of Req'd = 360 sqm.)	720 sqm 360 sqm	1,463 sqm 207 sqm 484 sqm Outdoor Roof Terrace
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BUILDING SUMMARY:

RENTAL UNITS	GROSS FLOOR AREA	NET FLOOR AREA
		120
MECH. PENT/ ROOF	2,777 sq.ft.	-
LEVEL 4	12,749 sq.ft.	11,344 sq.ft.
LEVEL 3	14,370 sq.ft.	12,744 sq.ft.
LEVEL 2	14,370 sq.ft.	12,744 sq.ft.
LEVEL 1	14,370 sq.ft.	12,744 sq.ft.
GROUND	14,408 sq.ft.	8,267 sq.ft. (Residential)
	135,044 sq.ft.	112,644 sq.ft.

UNIT TYPE / FLOOR

	BACH.	1 BED	1 BED +DEN	2 BED	2 BED +DEN	TOTAL/ FLOOR
LEVEL 4	-	3	-	-	-	10
LEVEL 3	-	4	2	3	4	13
LEVEL 2	-	4	2	3	4	13
LEVEL 1	-	5	4	1	5	15
LEVEL 0	-	5	4	1	5	15
LEVEL 3	-	5	4	1	5	15
LEVEL 2	1	5	4	1	4	15
GROUND	-	2	3	1	3	4
TOTAL	1	38	27	12	42	120



12 MAR 14, 2018	ISSUED FOR SCHEMATIC DESIGN FOR PROGRESS
11 MAR 8, 2018	ISSUED FOR PROGRESS

10 FEB 4, 2018	ISSUED FOR PROGRESS
9 DEC 10, 2017	ISSUED FOR PROGRESS
8 DEC 7, 2017	ISSUED FOR PROGRESS
7 DEC 1, 2017	ISSUED FOR PROGRESS
6 SEPT 20, 2017	ISSUED FOR PROGRESS
5 SEPT 18, 2017	ISSUED FOR PROGRESS
4 AUG 8, 2017	ISSUED FOR PROGRESS
3 AUG 8, 2017	ISSUED FOR PROGRESS
2 AUG 1, 2017	ISSUED FOR PROGRESS
1 MAR 9, 2017	ISSUED FOR PROGRESS

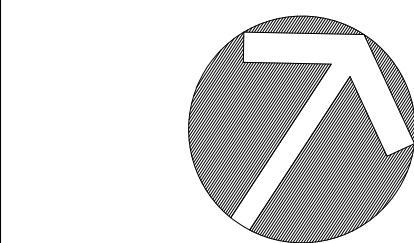
It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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BUILDING A & B

PROJECT/LOCATION:
MIXED USE DEVELOPMENT
10 OBLATS AVENUE

DRAWING TITLE:

SITE PLAN

DRAWN BY: DATE: SCALE:

PROJECT: 1418.16
DRAWING NO.:

A1.01

REVISION NO.:

PROJECT CONSULTANTS:

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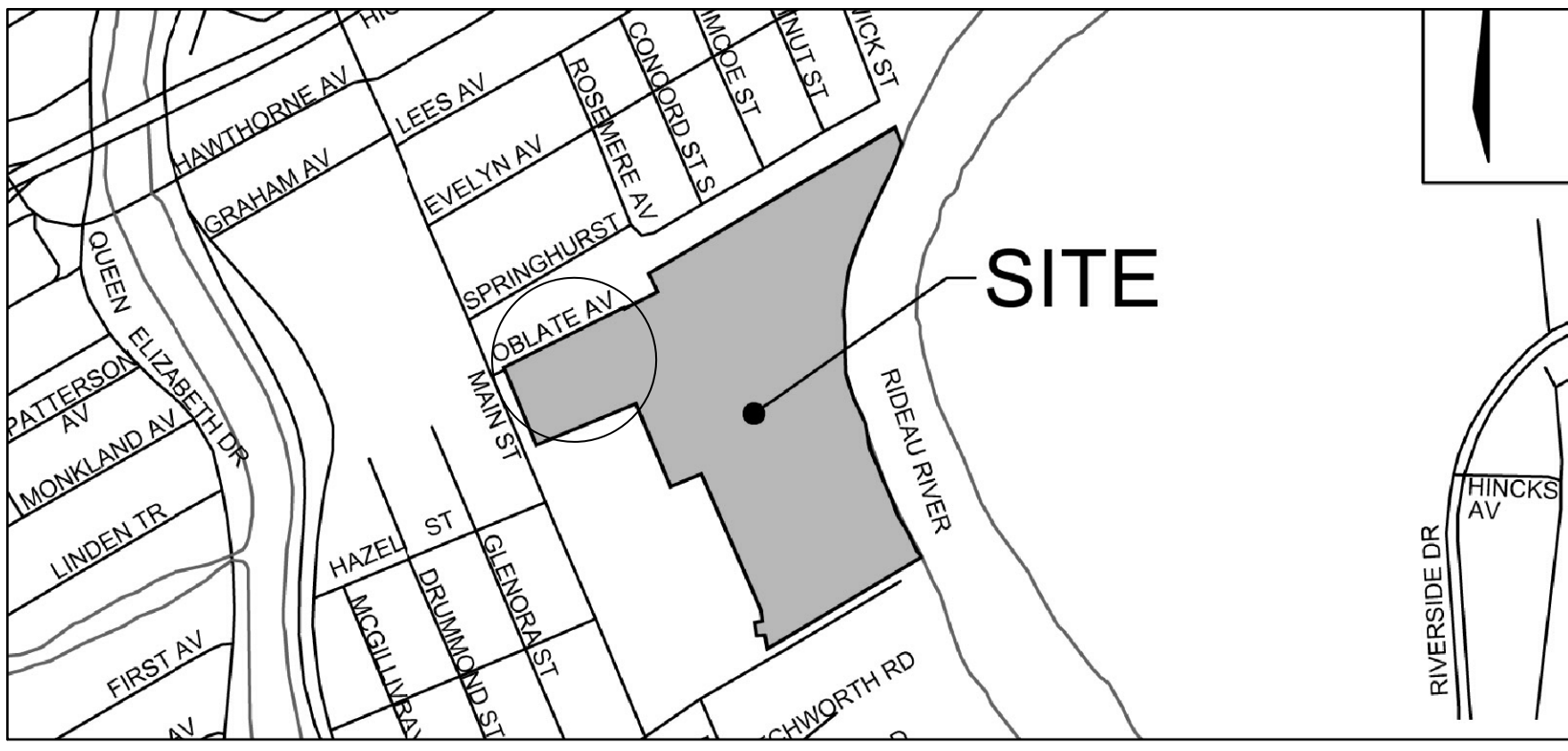
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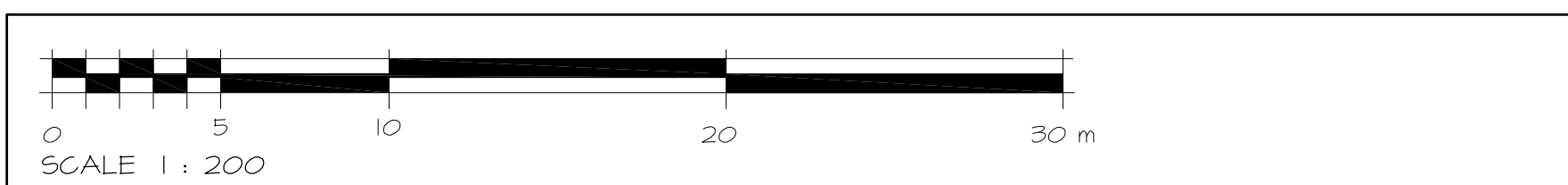
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KEY PLAN



GRAPHIC SCALE

SURVEY INFORMATION TAKEN FROM:

PLAN OF SUBDIVISION
BLOCK 62
REGISTERED PLAN 414-1546
CITY OF OTTAWA.

SURVEY BY ANNIS, O'SULLIVAN, VOLLEBEK LTD.

EXISTING ZONING TM (2301) H (20)
PROPOSED ZONING TM (XXX)

ZONING PROVISIONS:

	REQUIRED	PROVIDED
MIN LOT AREA	NO MINIMUM	6,589.94 sqm.
BUILDING HEIGHT	20 m	BLDG. A: 20 m BLDG. B: 28.3 m
MIN LOT WIDTH	NO MINIMUM	40.24m
FRONT YARD	2 m (min) 3 m (max)	2,087 m 2,746 m
REAR YARD	7.5 m (Residential Use) (Other Cases no. min.)	2,035 m
CORNER SIDE YARD	3 m (min)	2,854 m
INTERIOR SIDE YARD	N/A	6,178 m. (min) 6,262 m. (max)

LANDSCAPED OPEN SPACE 1,976.84 sqm 18,251.5 sqm (21 %)
(50% OF LOT AREA)
6,589.46 sqm x 30%
= 1,976.84 sqm

ADDITIONAL SETBACK ABOVE 15m

BUILDING 2A	2m	2,026 m. (Except corner. No additional setback for 1,460m from corner)
- FRONT YARD		
BUILDING 2B	2m	6,178 m. (min) (Except corner. No additional setback for 1,503m from corner)
- CORNER SIDE YARD		
- CORNER SIDE YARD		No additional setback at 15m.)
- CORNER SIDE YARD		1,17m and 1.6 m. (As per Site Plan)