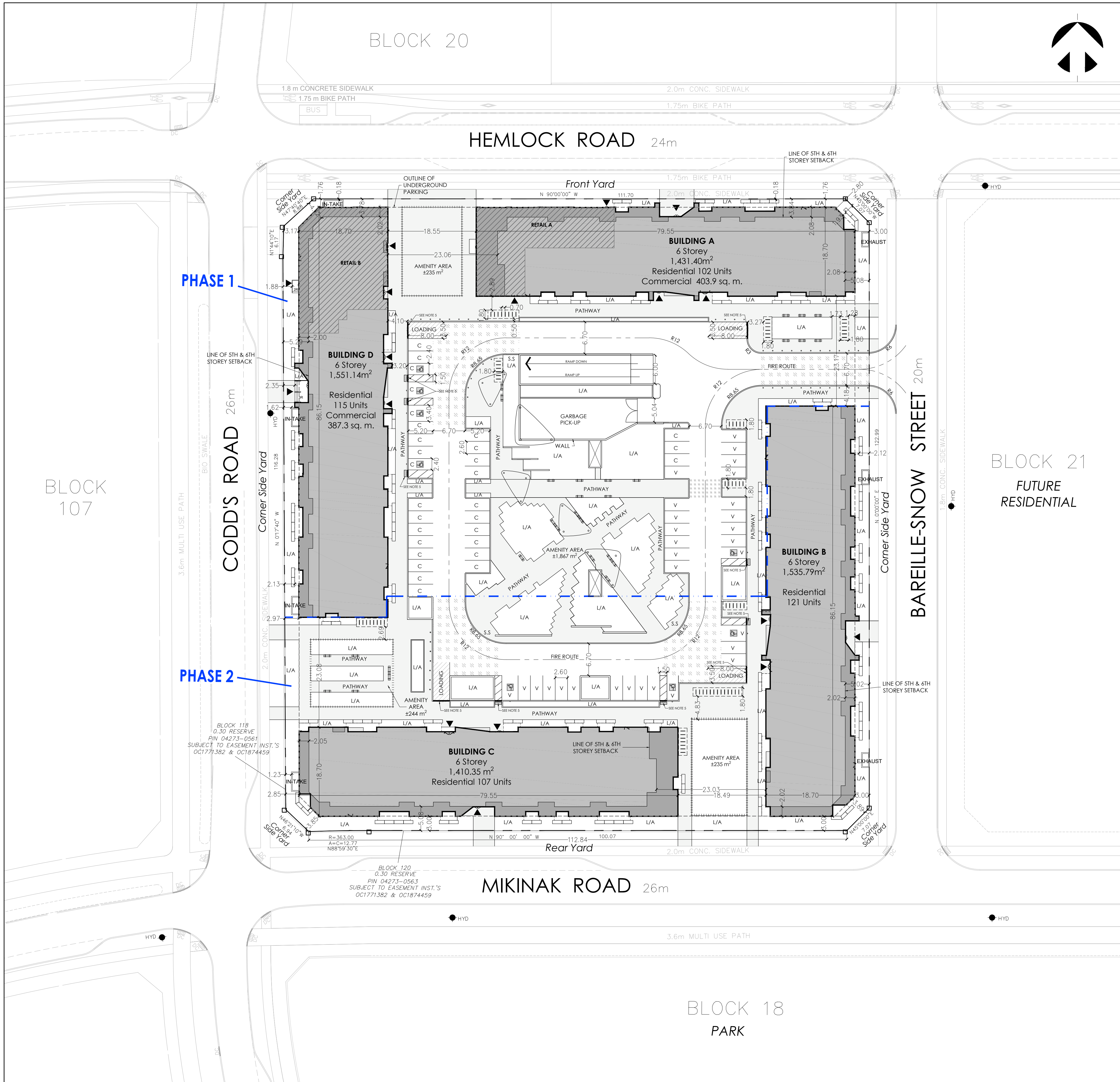


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SITE STATISTICS AND DEVELOPMENT DATA

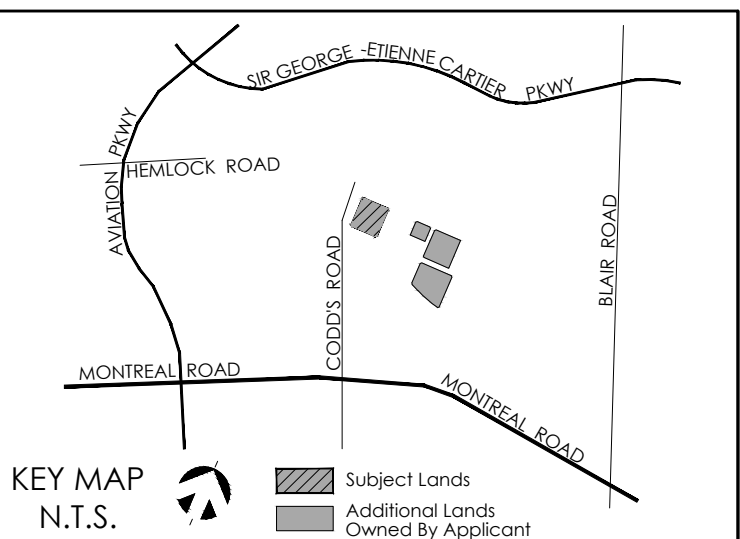
SITE AREA	16,250.85m ² (1.42 ha)
PAVED AREA	2,913.19m ² (18%)
LANDSCAPED AREA	7,408.98m ² (46%)
TOTAL BUILDING COVERAGE	5,928.68m ² (36%)
TOTAL GROSS FLOOR AREA	33,700.50m ²
BUILDING A (102 units)	8,004.60m ²
BUILDING B (121 Units)	8,839.80m ²
BUILDING C (107 units)	7,994.40m ²
BUILDING D (115 units)	8,861.70m ²
DENSITY (UPH)	275 UPH
ZONE CATEGORY	GM 31H(30)

BUILDING	BUILDING TYPE	GROUND FLOOR AREA (m ²)	UNITS
BUILDING A	RESIDENTIAL/ COMMERCIAL	1,431.40	102
BUILDING B	RESIDENTIAL	1,535.79	121
BUILDING C	RESIDENTIAL	1,410.35	107
BUILDING D	RESIDENTIAL/ COMMERCIAL	1,551.14	115
		TOTAL	5,928.68
			445

SECTION	ZONE PROVISION	REQUIRED	PROPOSED
187 (Table)	MIN. LOT WIDTH (m)	No minimum	N/A
187 (Table)	MIN. LOT AREA (m ²)	No minimum	N/A
187 (Table)(6)(A)	MAX. BUILDING HEIGHT (m)	30m	20.0m (6 storey)
188H-GM31 (Table)	MIN. FRONT YARD AND CORNER SIDE YARD SETBACK (m): 1. FOR A BUILDING WITH RESIDENTIAL LAND USE AT GRADE 2. ALL OTHER CASES (m)	5.0m 0.0m	2.85m*(Building C) 1.76m on Hemlock 1.76m
188H-GM31 (Table)	DESPITE ROW 1, ABOVE MAX. FRONT AND CORNER SIDE YARD SETBACK FOR LOTS EAST OF CODD'S ROAD WHERE THEY ABUT HEMLLOCK ROAD (m)	2.0m (Max)	
188H-GM31 (Table)	MIN. INTERIOR SIDE YARD (m)	N/A	N/A
188H-GM31 (Table)	MIN. REAR YARD SETBACK ABUTS A STREET (m)	3.0m	3.0m
188H-GM31 (Table)	MAX FLOOR SPACE INDEX (0.5/unit)	No max	N/A
101(3)(A),101 (Table)	RESIDENT PARKING: WITH THE FIRST 12 UNITS NOT REQUIRED (0.5/unit)	217	422 (underground)
AREA X 102(2),102 (Table)	VISITOR PARKING: WITH THE FIRST 12 UNITS NOT REQUIRED (0.1/unit)	44	44 (30 surface, 14 underground)
111A (Table)	BICYCLE PARKING (0.5/unit)	223	223 (78 surface, 145 underground)
111A (Table)(E)	COMMERCIAL BICYCLE PARKING (1/250m ² of GFA)	3	3
101 (Table)(N79)	COMMERCIAL PARKING (5/100m ² over 200m ²)	30	6.7m
107(1), 107 (Table)	MIN. WIDTH OF AISLE (m)	6.7m	2.870m ²
137 (Table)	MIN. TOTAL AMENITY AREA (6m ² /unit)	2,670m ²	2,581m ²
137 (Table)	MIN. COMMUNAL AMENITY AREA (Min. 50% area)	1,335m ²	

SECTION	ADDITIONAL PROVISIONS	REQUIRED	PROPOSED
65	MAX. PERMITTED PROJECTIONS INTO YARDS:		
65(5)	FIRE ESCAPES, OPEN STAIRWAYS, STOOP (m)	>0.6m to lot line	1.8m
65(6)	COVERED OR UNCOVERED BALCONY, PORCH, DECK	2m (Max) but >1.0m to lot line	1.9m
106(1)	MIN. PERPENDICULAR PARKING SPACE SIZE (m)	2.6m x 5.2m	2.6m x 5.2m
106(2)	BARRIER FREE PARKING: TYPE A PARKING SPACE SIZE (m) TYPE B PARKING SPACE SIZE (m) ACCESS AISLE (m)	3.4m x 5.2m 2.4m x 5.2m 1.5m	3.4m x 5.2m 2.4m x 5.2m 1.5m
111B (Table)	MIN. BICYCLE PARKING SPACE DIMENSIONS, HORIZONTAL	Width: 0.6m Length: 1.8m	0.6m 1.8m
111(P)	MIN. BICYCLE PARKING SPACE ACCESS AISLE WIDTH (m)	1.5m	1.5m
187 (Table)(H)	MIN. WIDTH OF LANDSCAPED AREA ABUTTING A STREET (m)	3.0m	2.85m *
GM31(31)(I)	DESPITE ITEM (H) IN TABLE 187, NO LANDSCAPED AREA IS REQUIRED ABUTTING A STREET FOR BUILDINGS WITH NO REQUIRED FRONT OR CORNER SIDE YARD SETBACK (m)	N/A	N/A
GM31(31)(M)	MIN. DRIVEWAY WIDTH FOR PARKING LOTS OR GARAGES (m)	3.0m	6.0m
GM31(31)(O)	MAX. DRIVEWAY WIDTH TO PARKING LOTS OR GARAGES (m)	6.0m	6.0m
GM31(31)(C)	WHERE THE BUILDING CONTAINS MORE THAN FOUR STOREYS BUT LESS THAN 13 STOREYS, AT AND ABOVE THE FOURTH STOREY A BUILDING MUST BE FURTHER SETBACK (m)	2.0m	2.0m *
GM31(31)(F)	MIN. SEPARATION DISTANCE BETWEEN PORTIONS OF A BUILDING ABOVE FOUR STOREYS (m)	23.0m	23.03m

* SUBJECT TO MINOR VARIANCE



SCALE 1:400

LEGEND	
APARTMENT BUILDING	NO PARKING
CURB (0.2m)	BENCH
SS SNOW STORAGE AREA	SHADE STRUCTURE
L/A LANDSCAPED AREA	BIKE RACKS
ENTRANCE	CUSTOM PLANTER (L/A)
V VISITOR PARKING	PRIVATE PATIO
C COMMERCIAL PARKING	BOLLARD
HYD FIRE HYDRANT	STAIRS TO UNDERGROUND
BLOCK BOUNDARY	R RISERS
UNDERGROUND PARKING	TACTILE WALKING SURFACE INDICATOR
PHASE LINE	
PATHWAY (PAVERS)	
DRIVEWAY (PAVERS)	

15/10/19	Draft Site Plan	SP
DATE	REVISION	BY

GENERAL NOTES
1. DO NOT SCALE DRAWINGS FOR PRINT.
2. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF KORSIAK URBAN PLANNING AND MATTAMY HOMES. COPYRIGHT RESERVED.
3. SITE PLAN PREPARED IN ACCORDANCE WITH PLAN 4M-1559, PREPARED BY ANNIS O'SULLIVAN, VOLLEBERG LTD.
4. WALKWAYS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.
5. REFERENCES CITY OF OTTAWA T.W.S.I. DETAIL SC7.3

PROJECT TEAM	LANDSCAPE ARCHITECTURE:	MECHANICAL/ ELECTRICAL:
SITE PLAN DESIGN: KORSIAK Urban Planning	NAK design strategies	STARK SALDIN & MONZ
PLANNING/STRUCTURAL: Stantec	TRANSPORTATION: NOVATECH	
ARCHITECTURE: Q4A	NOISE: VALCOUSTICS	ENVIRONMENTAL: KILGOUR & Associates
CIVIL ENGINEER: DSEL	GEOTECHNICAL & STRUCTURAL: patersongroup	

WATERIDGE VILLAGE: PHASE 1B
BLOCK 19, REGISTERED PLAN 4M-1559
PART OF LOTS 21, 22 AND 23
CONCESSION 1 (OTTAWA FRONT)
GEOGRAPHIC TOWNSHIP OF GLOUCESTER
CITY OF OTTAWA

TITLE: BLOCK 19 SITE PLAN	
DATE: October 15, 2019	DRAWN BY: SP CHECKED BY: CR
FILE NO.:	A1
JOB NO.: Mattamy - Wateridge	