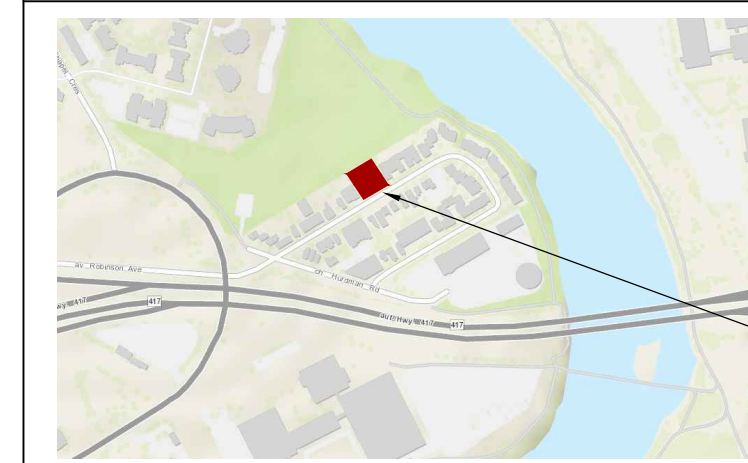


# LOT F CONCESSION D (RIDEAU FRONT) (NEPEAN) PART 1 4R-598

PROPERTY BOUNDARY INFORMATION  
DERIVED FROM SURVEY PLAN COMPLETED  
BY STANTEC GEOMATICS LTD. DATED APRIL  
12, 2018.

## KEY PLAN



## PROPERTY DESCRIPTION

FOUR STOREY RESIDENTIAL BUILDING	
CITY OF OTTAWA PIN NUMBER	04207 0362, 0363, 0364
MUNICIPAL ADDRESS	29 Robinson Avenue

## SITE INFORMATION

LOT AREA:	1,139m <sup>2</sup>
LOT FRONTAGE:	32.92m
LOT DEPTH:	34.59m

## BUILDING INFORMATION

BUILDING AREA:	595m <sup>2</sup>
BUILDING FLOOR AREA:	2,840m <sup>2</sup>
PROPOSED USE:	APARTMENT DWELLING, LOW-RISE
UNIT BREAKDOWN:	
BASEMENT:	6 UNITS 3-STUDIO, 1-1 BD, 2-2 BD
FIRST FLOOR:	10 UNITS 4-STUDIO, 2-1 BD, 4-2BD
SECOND FLOOR:	10 UNITS 4-STUDIO, 2-1 BD, 4-2BD
THIRD FLOOR:	10 UNITS 4-STUDIO, 2-1 BD, 4-2BD
FOURTH FLOOR:	10 UNITS 5-STUDIO, 1-1BD, 4-2BD
TOTAL:	46 UNITS 20-STUDIO, 8-1 BD, 18-2 BD

## ZONING TABLE

CITY OF OTTAWA ZONING BY-LAW No. 2008-250	R5K [2133] H(20)	REQUIRED	PROPOSED
MINIMUM LOT AREA	450m <sup>2</sup>		1,139m <sup>2</sup>
MINIMUM LOT WIDTH	15m		32.92m
FRONT YARD SETBACK	3m		4.76m
MINIMUM INTERIOR SIDE YARD SETBACK	within 21m of front lot line: <11m building height = 1.5m >11m building height = 2.5m greater than 21m from front lot line: 6m		1.5m - Levels 1 to 3 2.5m - Level 4
MINIMUM REAR YARD SETBACK	7.5m		7.5m
MAXIMUM BUILDING HEIGHT	20m		13.8m
MAXIMUM FLOOR SPACE INDEX	N/A		
LANDSCAPED AREA	30% = 341.7m <sup>2</sup>		27% = 308m <sup>2</sup>
VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0 parking spaces for first 12 units Table 101 - Dwelling low-rise apartment 0.5 per dwelling unit = 17 spaces		3 SPACES
VISITOR PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0.1 / DWELLING UNIT AFTER 12 UNITS 3.4 SPACES REQUIRED		3 SPACES
AMENITY AREA REQUIREMENTS	15m <sup>2</sup> per unit for the first 8 units = 120m <sup>2</sup> 37m <sup>2</sup> REAR SIDE YARD AMENITY 6m <sup>2</sup> per dwelling unit in excess of 8 = 228m <sup>2</sup> Total = 348m <sup>2</sup>		-139m <sup>2</sup> REAR YARD AMENITY -37m <sup>2</sup> REAR SIDE YARD AMENITY [137m <sup>2</sup> SOFT LANDSCAPING (78%)] -50m <sup>2</sup> INTERIOR ROOFTOP AMENITY -62m <sup>2</sup> ROOFTOP AMENITY -83m <sup>2</sup> BALCONIES TOTAL = 380m <sup>2</sup>
BICYCLE PARKING SPACES	0.5 per dwelling unit = 23		44 STACKED INTERIOR STORAGE SPACES 2 EXTERIOR SPACES

## LEGEND

	SOFT LANDSCAPING		EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)
	UNIT PAVERS REFER TO LANDSCAPE		NEW TREE (REFER TO LANDSCAPE DRAWINGS)
	ASPHALT PAVING		NEW SHRUBS (REFER TO LANDSCAPE DRAWINGS)
	CONCRETE		NEW EVERGREEN SHRUB (REFER TO LANDSCAPE DRAWINGS)
	RIVERSTONE REFER TO LANDSCAPE		EXISTING GROUND ELEVATION (TO DETERMINE EXISTING AVERAGE GRADE)
	EXISTING BUILDING ELEMENT TO BE REMOVED		NEW GROUND ELEVATION REFER TO CIVIL
	EXISTING FENCE		NOTE: 'X'-E INDICATES EXISTING TO REMAIN
	NEW BOARD FENCE REFER TO LANDSCAPE		
	LOT LINE		
	SETBACK LINE		
	DESIGNATED BUILDING ENTRANCE / EXIT		
	FIRE HYDRANT, REFER TO CIVIL		
	CATCH BASIN		
	MANHOLE		
	FLOOR DRAIN		
	UTILITY POLE		
	OVERHEAD UTILITY WIRES		
	LIGHT STANDARD		
	DEPRESSED CURB		

No.	Date	Événement / Object
1	2018-07-09	COORDINATION
2	2018-07-13	COORDINATION
3	2018-09-17	COORDINATION
4	2018-10-26	SITE PLAN CONTROL
5	2019-03-15	COORDINATION
6	2019-05-27	COORDINATION
7	2019-08-28	SITE PLAN CONTROL RESPONSE
8	2019-11-11	COORDINATION
9	2019-11-22	SITE PLAN CONTROL RESPONSE

Ingenieur / Engineer  
(Mécanique & Électrique / Mechanical & Electrical)

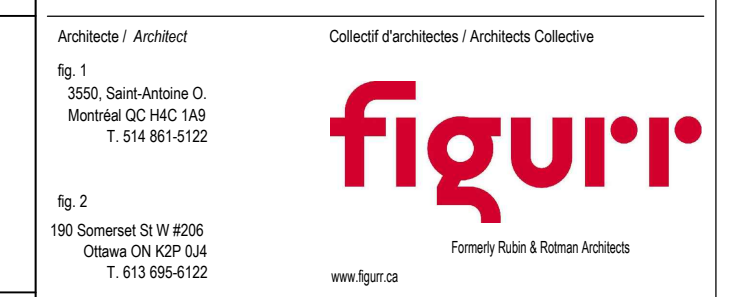
Ingenieur / Engineer  
(Structure / Structure)

Architecte / Architect  
(paysagiste / Landscape)

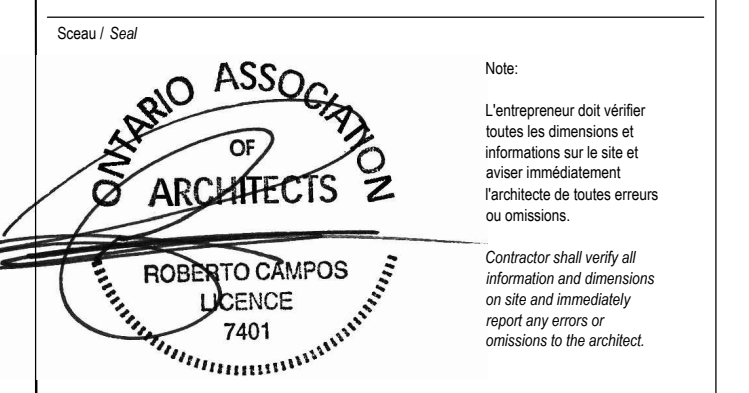
Ingenieur / Engineer  
(Civil / Civil)



Client / Client  
Robinson Village II  
Limited Partnership



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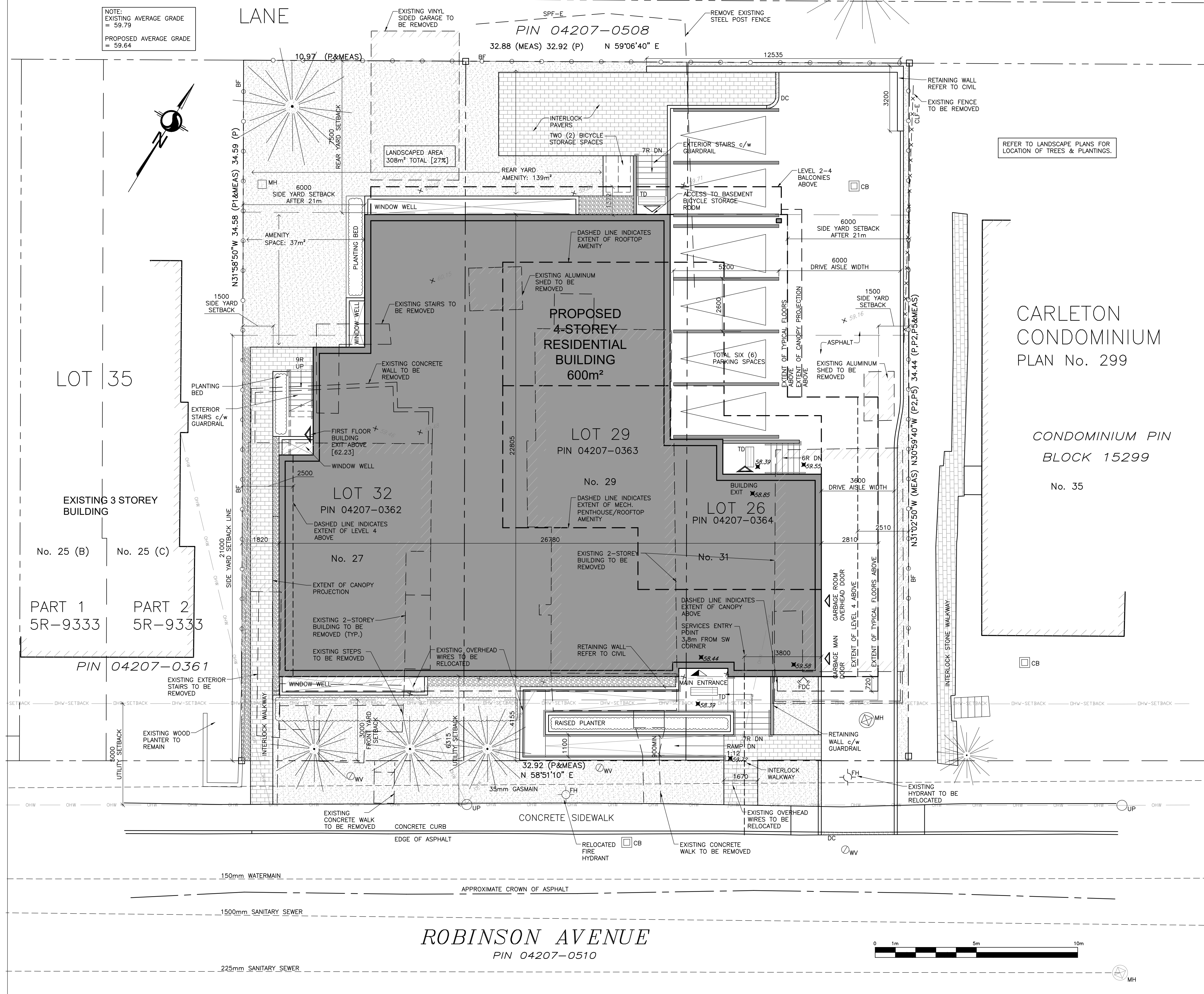
Project / Projet  
**FOUR STOREY APARTMENT BUILDING**

29 Robinson Avenue, Ottawa ON

Site Plan

Dessiné par / Drawn by MD	No. projet / Project number 1821
Vérifié par / Verified by RC	No. dessin / Drawing number Revision / Révision
Échelle / Scale As indicated	Date de création du dessin / Drawing creation date 2018/05/01

A105

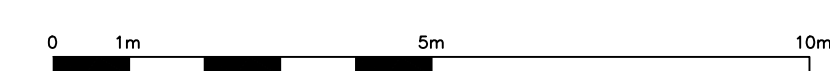


CARLETON  
CONDOMINIUM  
PLAN No. 299

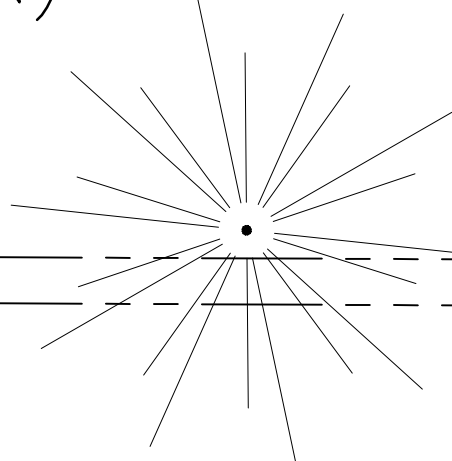
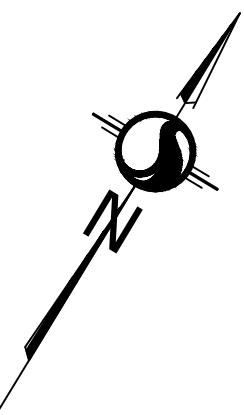
CONDOMINIUM PIN  
BLOCK 15299

No. 35

ROBINSON AVENUE  
PIN 04207-0510



NOTE:  
EXISTING AVERAGE GRADE  
= 59.79  
PROPOSED AVERAGE GRADE  
= 59.64



LOT 35

EXISTING 3 STOREY BUILDING

No. 25 (B) No. 25 (C)

PART 1 5R-9333 PART 2 5R-9333

PIN 04207-0361

LANE

10.97 (P&MEAS)

7500 REAR YARD SETBACK

6000 SIDE YARD SETBACK AFTER 21m

AMENITY SPACE: 37m<sup>2</sup>

1500 SIDE YARD SETBACK

21000 SIDE YARD SETBACK LINE

PLANTING BED

EXISTING EXTERIOR STAIRS TO BE REMOVED

EXISTING CONCRETE WALL TO BE REMOVED

EXISTING STAIRS TO BE REMOVED

EXISTING ALUMINUM SHED TO BE REMOVED

EXISTING CONCRETE WALL TO BE REMOVED

EXISTING STAIRS TO BE REMOVED

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