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Notes

- PARKING AREA LIGHT STANDARD
- HC DISABLED PARKING PERMIT SIGN
- FR FIRE ROUTE SIGN
- DC DEPRESSED CONCRETE CURB
- MAIN ENTRANCE TO UNIT
- CATCH BASIN
- TEST WELL c/w METAL BOLLARDS

PART OF LOT 73  
REGISTRAR'S COMPILED PLAN 902  
PLAN 46-30508  
GEORGIC TOWNSHIP OF OSGOODE  
NOW IN THE CITY OF OTTAWA  
DATE: 2013.05.01

ZONING INFORMATION	REQUIRED	PROVIDED
MUNICIPAL ZONING: RC (153)		
LOT AREA (MIN)	4000m <sup>2</sup>	14,164m <sup>2</sup>
LOT FRONTAGE (MIN)	30.0m	168m
BUILDING HEIGHT INDEX (MAX)	10.7m	6.4m

SETBACKS:	10.0m	10.0m
FRONT YARD	6.0m	N/A
CORNER SIDE	3.0m	3.0m
INTERIOR SIDE	10.0m	3.0m
REAR YARD		

BUILDING AREA: 18.28m x 30.48m = 557m<sup>2</sup> x 3 = 1,671m<sup>2</sup>  
TOTAL AREA = 2,600m<sup>2</sup>  
LOT AREA = 14,164m<sup>2</sup>

LOT COVERAGE  
BUILDINGS = 2,600m<sup>2</sup> or 18.4%  
PARKING, LANES, SIDEWALKS = 6,794m<sup>2</sup> or 47.9%  
LANDSCAPE = 4,500m<sup>2</sup> or 33.7%

PARKING REQUIREMENTS  
SHOPPING CENTRE (3.6/100 m<sup>2</sup>) = 94 SPACES ( 177 SPACES PROVIDED )

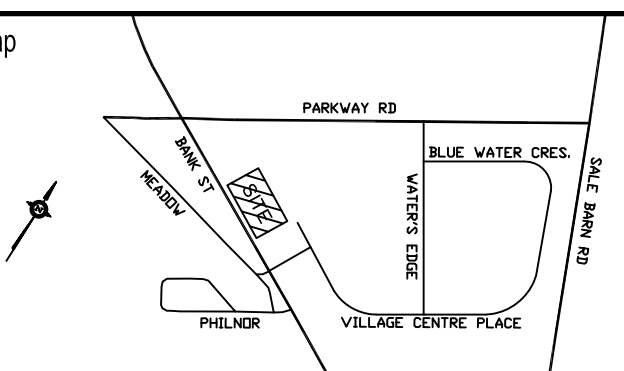
LOADING PARKING REQUIREMENTS  
SHOPPING CENTRE (1/2000-4999m<sup>2</sup>) = 1 SPACES ( 4 STALLS PROVIDED )

BIKE RACK REQUIREMENTS  
SHOPPING CENTRE (1/500m<sup>2</sup>) = 6 SPACES ( 16 STALLS PROVIDED )

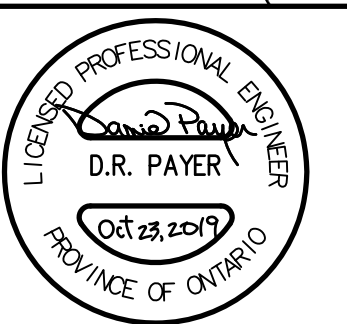
Revision

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1. REVISED AS PER COMMENTS	JUL 12/19
2. REVISED AS PER COMMENTS	SEP 10/19
3. REVISED AS PER COMMENTS	OCT 23/19

Location Map



Seal



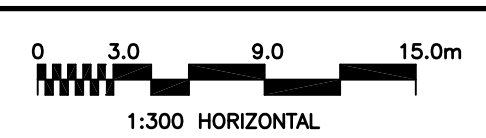
Client / Project

GREELY FAMILY FARM INC.  
6075 BANK ST.

Drawing Name

SITE PLAN

Scale



Revision

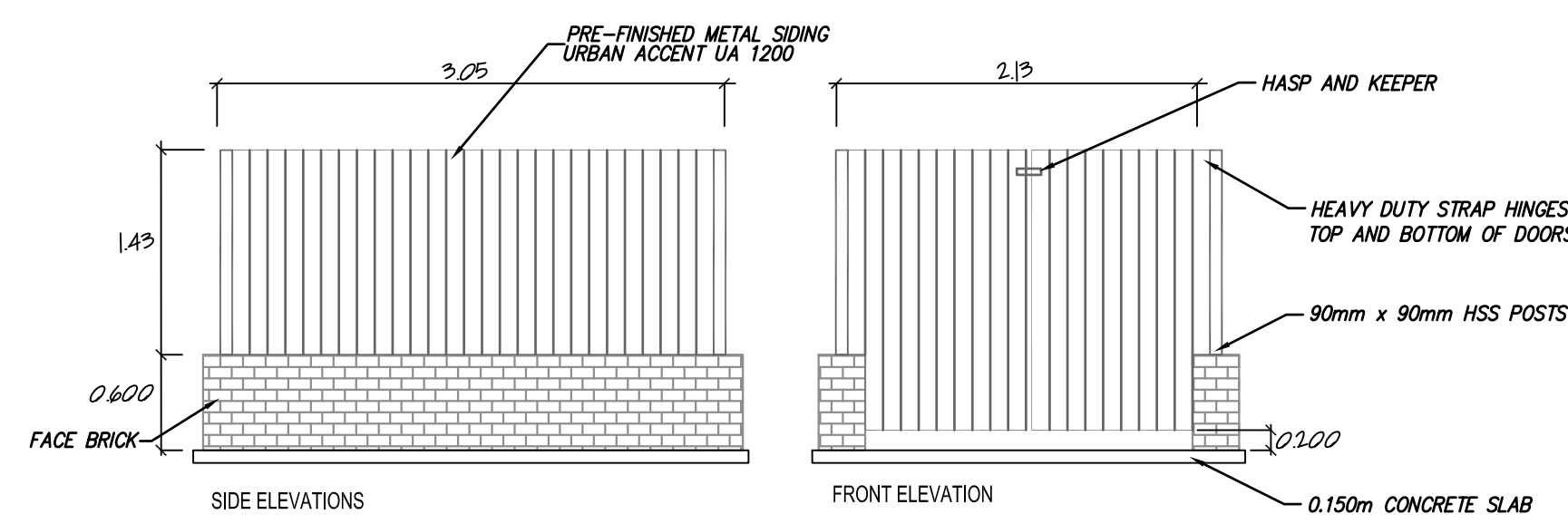
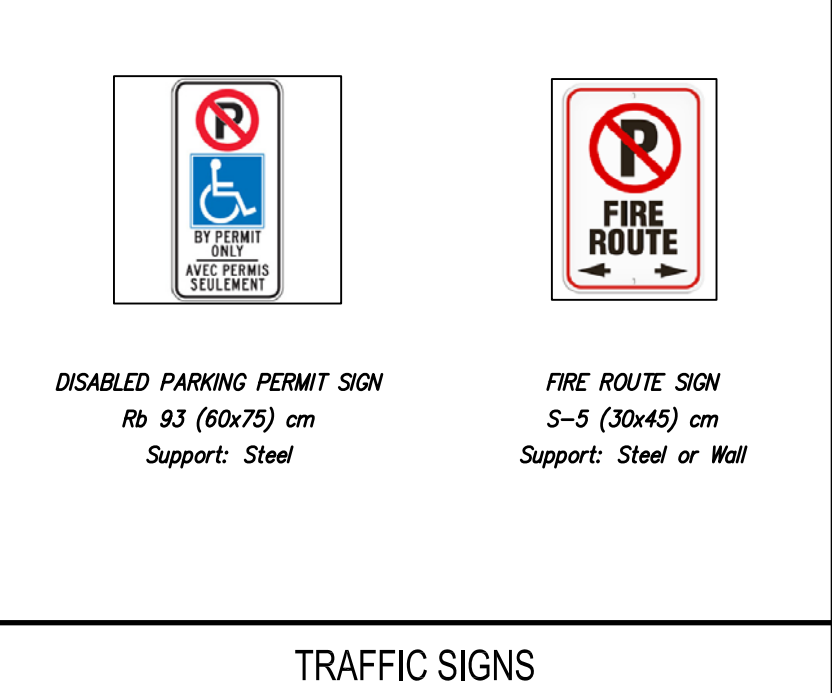
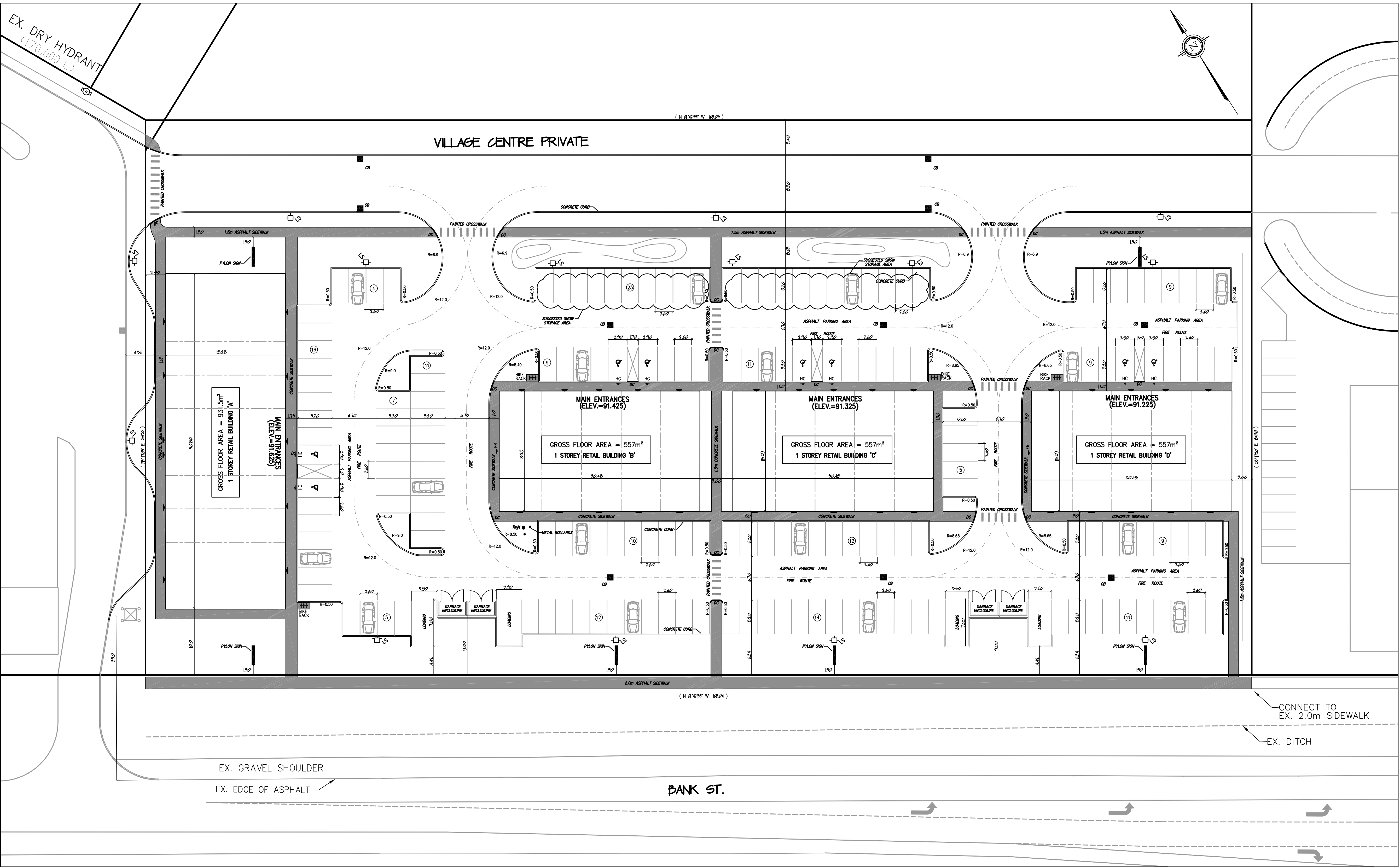
REV-3

Sheet

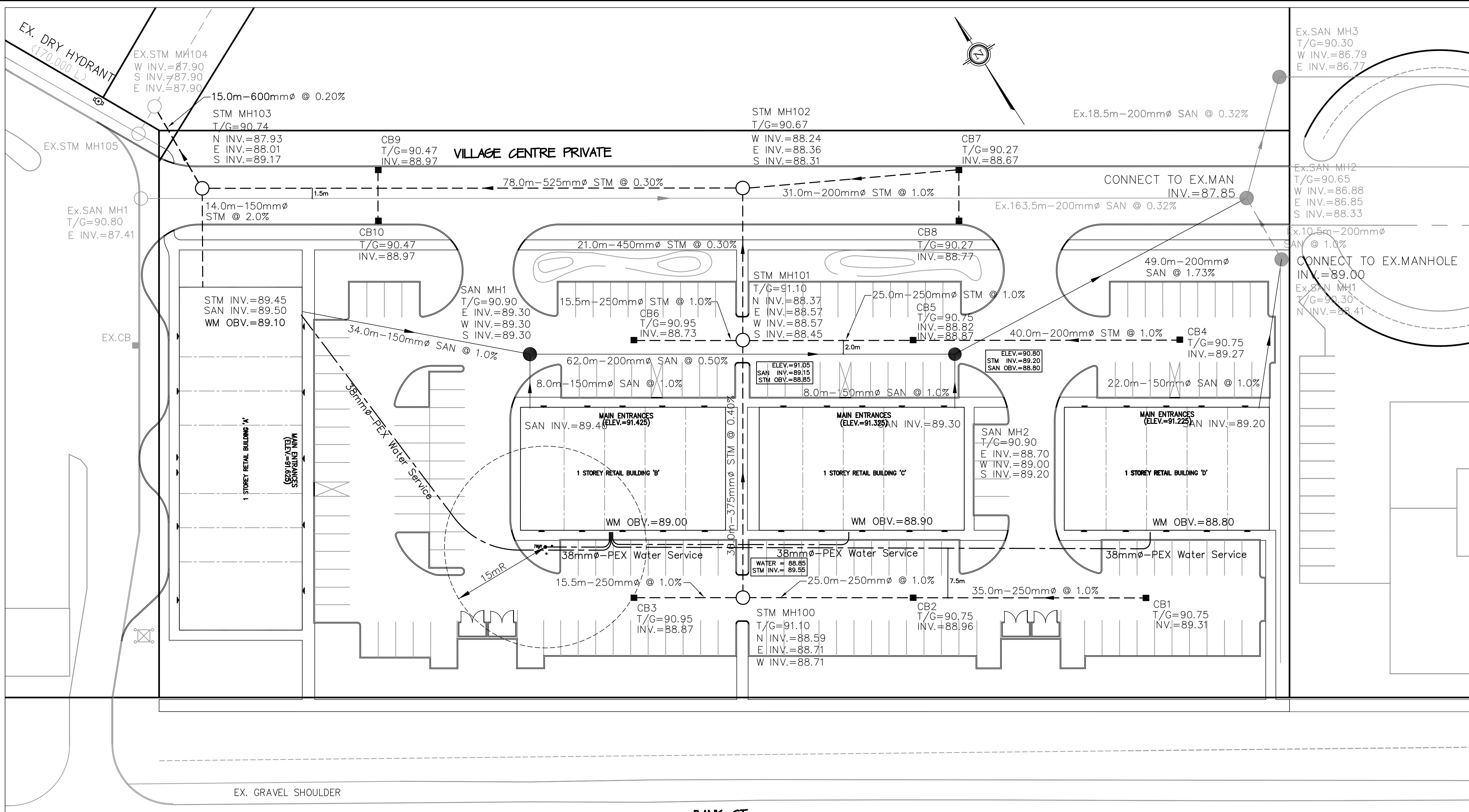
1 of 6

Drawing No.

SP







**General Notes**

1) DRAWINGS ARE NOT TO BE SCALED.

2) ALL DRIVEWAY AND GRADING MATERIAL AND CONSTRUCTION METHODS MUST CONFORM TO CURRENT CITY STANDARDS AND SPECIFICATIONS.

3) ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE SITE PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER BEFORE PROCEEDING.

4) UNLESS OTHERWISE NOTED ON THE DRAWINGS THE STANDARD CITY AND CPWD DRAWINGS AND CPSS ARE TO CONSTITUTE PART OF THIS CONTRACT AND SITE PLAN DRAWINGS.

5) REFER TO CITY STANDARDS AND SPECIFICATIONS FOR LIST OF APPROVED MANUFACTURERS AND MATERIALS.

6) EXISTING STRUCTURES ARE NOT TO BE DISTURBED, NOR ENCROACHMENT ON ADJACENT PROPERTIES UNLESS INSTRUCTED BY THE ENGINEER.

7) THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNERS CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS: ROAD CUTS, SEWER PERMITS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL PERMITS, ETC.

8) PRIOR TO CONSTRUCTION THE ENGINEER IS TO BE NOTIFIED BY THE OWNER AND THE CONTRACTOR AS TO THE EXTENT OF THE CONSTRUCTION LIMITS THEY PROPOSE. THE CITY IS TO BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

9) THE PLANS TO BE READ IN CONJUNCTION WITH THE SITE PLAN, LANDSCAPE PLAN, SITE MECHANICAL PLANS, SITE ELECTRICAL PLANS, AND ANY OTHER PLANS OR DRAWINGS WHICH DEPICT WORKS THAT ARE PROPOSED FOR THIS SITE.

10) ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS, AS WELL AS ANY APPLICABLE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.

11) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATIONS, MARKERS AND BARRIERS. ALL SIGNS, ETC. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS FOR THE CITY AND THE AUTO MANUAL OF UNIFORM TRAFFIC CONTROL SERVICES FOR ONTARIO.

12) THE CONTRACTOR SHALL ENDEAVOR TO PREVENT ROAD TRACKING ONTO EXISTING RIGHT-OF-WAYS AND SHALL PROVIDE FOR CLEANUP AT HIS OWN EXPENSE AS DIRECTED BY THE CITY. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO CONTROL, DUST ON THE PROJECT AND HE SHALL PROVIDE AT HIS OWN EXPENSE, CONTROLLING MEASURES AS DIRECTED BY THE CITY.

13) THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND SERVICES PRIOR TO AND DURING CONSTRUCTION. LOCATION OF EXISTING UTILITIES AND SITE SERVICES TO BE SHOWN IN THE FIELD.

14) THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.

15) THE CONTRACTOR IS TO OBTAIN AND PAY FOR ANY NECESSARY PERMITS FOR ANY MUNICIPAL ROAD CUTS FOR THE INSTALLATION OF SANITARY, STORM, AND WATER SERVICE CONNECTIONS. ROAD CUTS TO BE RESTORED AS PER CITY STANDARDS DRAWING.

16) DRIVEWAYS SHALL BE SETBACK A MINIMUM CLEARANCE OF 1.0 M FROM ALL ABOVEGROUND SERVICES OR OTHER OBSTRUCTIONS.

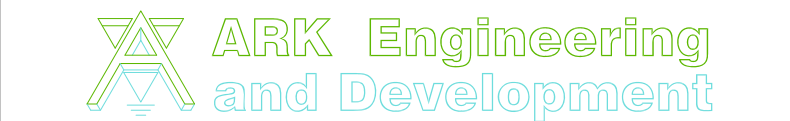
17) ALL CONSTRUCTION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.

18) CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH A MIN. OF 450mm THICK CRUSHED STONE BASE FROM MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE TO THE SATISFACTION OF THE CITY.

19) MINIMUM CLEARANCE OF 2.5m FROM ALL ABOVE GROUND SERVICES AND UTILITIES.

20) OUTSIDE LIGHTING TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE, CONFORMING TO THE CITY OF OTTAWA'S SITE LIGHTING GUIDELINES.

- Legend**
- PROPOSED WELL WATER SERVICE
  - PROPOSED SANITARY MANHOLE
  - PROPOSED SANITARY SEWER
  - PROPOSED STORM MANHOLE
  - PROPOSED STORM SEWER
  - PROPOSED STORM CATCH BASIN
  - PROPOSED UTILITY SERVICES
  - PROPOSED CONCRETE CURB
  - DEPRESSED CONCRETE CURB
  - MAIN ENTRANCE TO UNIT
  - TEST WELL c/w METAL BOLLARDS



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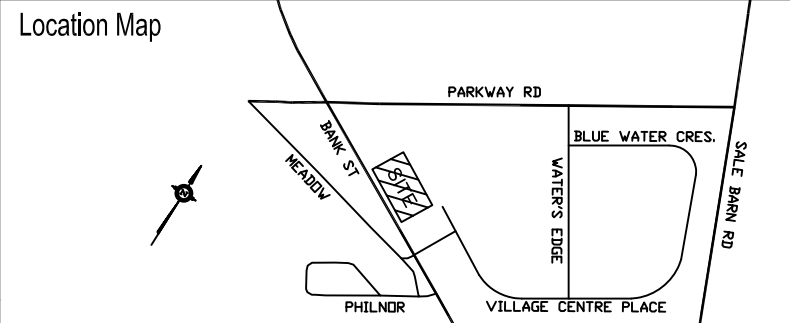
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- Construction Notes**
- CURBS/SEWERS/ASPHALT:**
- 1) ALL PROPOSED INTERNAL CURBING TO BE BANNER TYPE AS PER CPSS/401.10 OR CITY STD. DWG. NO. SC1.1. ALL TOPS OF CURBS TO BE 150mm ABOVE PROPOSED GUTTER LINE, UNLESS OTHERWISE NOTED.
- 2) PROPOSED CONCRETE SIDEWALK TO BE CONSTRUCTED TO CITY STANDARD SCA.
- UTILITY SUPPORTS AND TRENCHES**
- 1) SUPPORT DETAIL FOR EXISTING UTILITY CROSSING SEWER OR WATERMAIN TRENCH AS PER STD. DWG. S10.
- 2) ALL UTILITIES SHALL BE LOCATED, SUPPORTED AND PROTECTED TO THE SATISFACTION OF THE UTILITY COMPANY DURING THE CONSTRUCTION PERIOD.
- SANITARY**
- 1) ALL SANITARY SEWERS ARE TO BE PVC-SDR 35 IN ACCORDANCE WITH CSA-B162.2, ASTM D-2733 AND ASTM D-3034 OR LATEST REVISION, UNLESS OTHERWISE NOTED. ALL SANITARY LATERALS TO BUILDS TO BE 150mm OR 200mm PVC-SDR 35 AS NOTED ON SERVING PLAN AND A MINIMUM SLOPE OF 1% FROM BUILDING TO CLEAN OUT MANHOLE.
- 2) ALL EXISTING SEWER INVERTS, MATERIAL TYPE, AND SIZE TO BE CONFIRMED ON SITE AT THE TIME OF CONSTRUCTION.
- 3) ALL RELOCATION, RECONSTRUCTION AND RESTORATION TO BE PERFORMED TO THE SATISFACTION OF THE DIRECTOR OF ENGINEERING.
- 4) SANITARY MANHOLES SHALL BE 1200mm IN ACCORDANCE WITH CPSS/701.01 UNLESS OTHERWISE NOTED FRAME AND COVER SHALL BE IN ACCORDANCE WITH CPSS/401.01.
- 5) BEDDING AS PER CPSS/701.01.
- 6) BEDDING FOR PVC SANITARY SEWERS AS PER CPSS/802.01, TYPE 1 AND 2, GRANULAR "A" COMPACTED TO 100% SPD.
- 7) THE CONTRACTOR IS TO CAP ALL SANITARY SERVICES 1.5 METRES AWAY FROM THE PROPOSED BUILDING LINES UNLESS OTHERWISE NOTED.
- 8) TRENCHING A BACKFILL AS PER STD. DWG. S6 ROAD CUT REINSTATEMENTS AS PER STD. DWG. R10.
- 9) ALL TESTING OF SANITARY AND STORM SERVICES TO BE IN ACCORDANCE WITH ONTARIO PROVINCIAL STANDARD SPECIFICATIONS.
- WELL SERVICE**
- 1) WATER SERVICE SHALL BE A 25mm POLY PIPE GREEN STRIKE AS PROVIDED BY A LICENSED WELL CONTRACTOR.
- STORM**
- 1) ALL STORM SEWERS 450mm AND SMALLER TO BE PVC-SDR 35 IN ACCORDANCE WITH CSA-B162.2, ASTM D-2733 AND ASTM D-3034 OR LATEST REVISION, UNLESS OTHERWISE NOTED. ALL STORM LATERALS TO BUILDS TO BE 150mm OR 200mm PVC-SDR 35 AS NOTED ON SERVING PLAN AND A MINIMUM SLOPE OF 1% FROM BUILDING TO CLEAN OUT MANHOLE.
- 2) BEDDING FOR PVC STORM SEWERS AS PER CPSS/802.01, GRANULAR "A" COMPACTED TO 100% SPD.
- 3) EXISTING SEWER INVERTS, MATERIAL TYPE, AND SIZE TO BE CONFIRMED ON SITE AT THE TIME OF CONSTRUCTION.
- 4) ALL RELOCATION, RECONSTRUCTION AND RESTORATION TO BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEERING DEPARTMENT.
- 5) ALL STORM SERVICES TO BUILDINGS SHALL BE AT A MINIMUM SLOPE OF 1.0%.
- 6) ALL EXISTING SEWERS ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
- 7) ULTRA-HIBRID PVC PIPE SHALL NOT BE USED, UNLESS OTHERWISE DIRECTED BY THIS ENGINEER.
- 8) TRENCHING A BACKFILL AS PER STD. DWG. S6 ROAD CUT REINSTATEMENTS AS PER STD. DWG. R10.
- 9) STORM MANHOLES TO BE 1200mm AS PER CPSS/701.01 AND TO BE 150mm FRAME & COVER AS PER CPSS/401.01.
- 10) ALL TESTING OF STORM SERVICES TO BE IN ACCORDANCE WITH ONTARIO PROVINCIAL STANDARD SPECIFICATIONS.
- 11) AT ALL CATCH BASIN & CATCH BASIN MANHOLE SAG POINTS INCLUDE FOUR (4) 4.0m LONG, 100mm P.C.S. BOLLARDS WITH FILTER CLOTH, CAP ONE END AND CONNECT THE OTHER TO THE CATCH BASIN OR CATCH BASIN MANHOLE.
- 12) AT ALL CATCH BASIN MANHOLES AS PER CPSS/701.01, FRAME AND GRATE AS PER CPSS/401.01.
- 13) ALL CATCH BASIN MANHOLES AS PER CPSS/701.01, FRAME AND GRATE AS PER CPSS/401.01.
- 14) ALL CATCH BASIN LEADS TO BE 150mm PVC-SDR 35 IN ACCORDANCE WITH CSA-B162.2, ASTM D-2733 AND ASTM D-3034 OR LATEST REVISION, UNLESS OTHERWISE NOTED.
- 15) ALL STORM SEWERS SHALL BE FLUSHED AND CLEANED AS PER ONTARIO PROVINCIAL STANDARD SPECIFICATIONS.
- 16) ALL CATCH BASINS SHALL BE AS PER CPSS/701.01, CATCH BASIN FRAME AND GRATE AS PER CPSS/401.01.
- PAVEMENT STRUCTURE:**
- LIGHT DUTY:  
50mm SP 12.5 ASPHALTIC CONCRETE  
150mm GRANULAR "A" CRUSHED LESTONE  
200mm GRANULAR "B" CRUSHED LESTONE
- HEAVY DUTY:  
40mm SP 12.5 ASPHALTIC CONCRETE  
50mm SP 19 ASPHALTIC CONCRETE  
150mm GRANULAR "A" CRUSHED LESTONE  
400mm GRANULAR "B" CRUSHED LESTONE

Revision	
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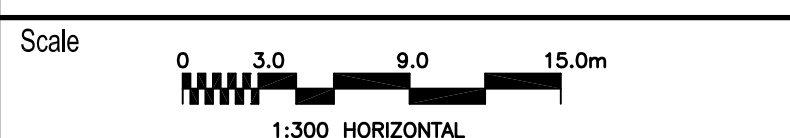


**Client / Project**

GREELY FAMILY FARM INC.  
6075 BANK ST.

**Drawing Name**

SITE SERVICING PLAN



Revision	Sheet	Drawing No.
REV-3	2 of 6	SS



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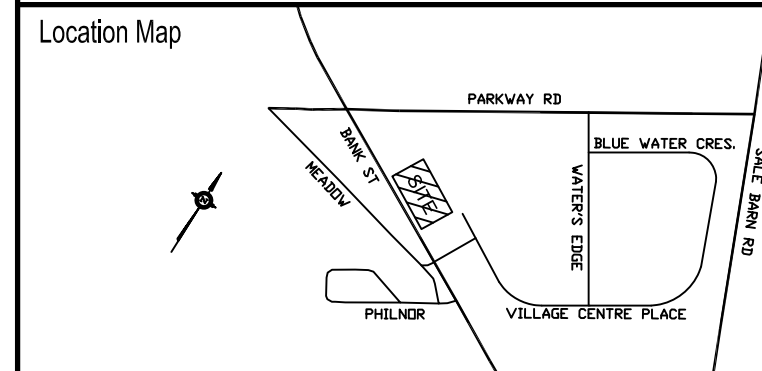
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- Legend
- EXISTING ELEVATION
  - PROPOSED ELEVATION
  - % SLOPE
  - PROPOSED DIRECTION OF FLOW
  - PROPOSED DIRECTION OF FLOW
  - PROPOSED FIRST FLOOR ELEVATION
  - TERRACING 3:1 (MAXIMUM SLOPE)
  - MAJOR DRAINAGE SYSTEM
  - MAXIMUM PONDING LIMIT C/W ELEVATION
  - CATCH BASIN
  - MAIN ENTRANCE TO UNIT
  - SLAB ON GRADE ELEVATION
  - UNDERSIDE OF FOOTING ELEVATION
  - TEST WELL c/w METAL BOLLARDS
  - SMALL LANDSCAPING BERM
  - PROPOSED SANITARY MANHOLE
  - PROPOSED STORM MANHOLE

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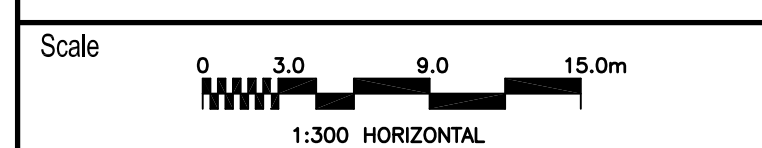
Client / Project

GREELY FAMILY FARM INC.

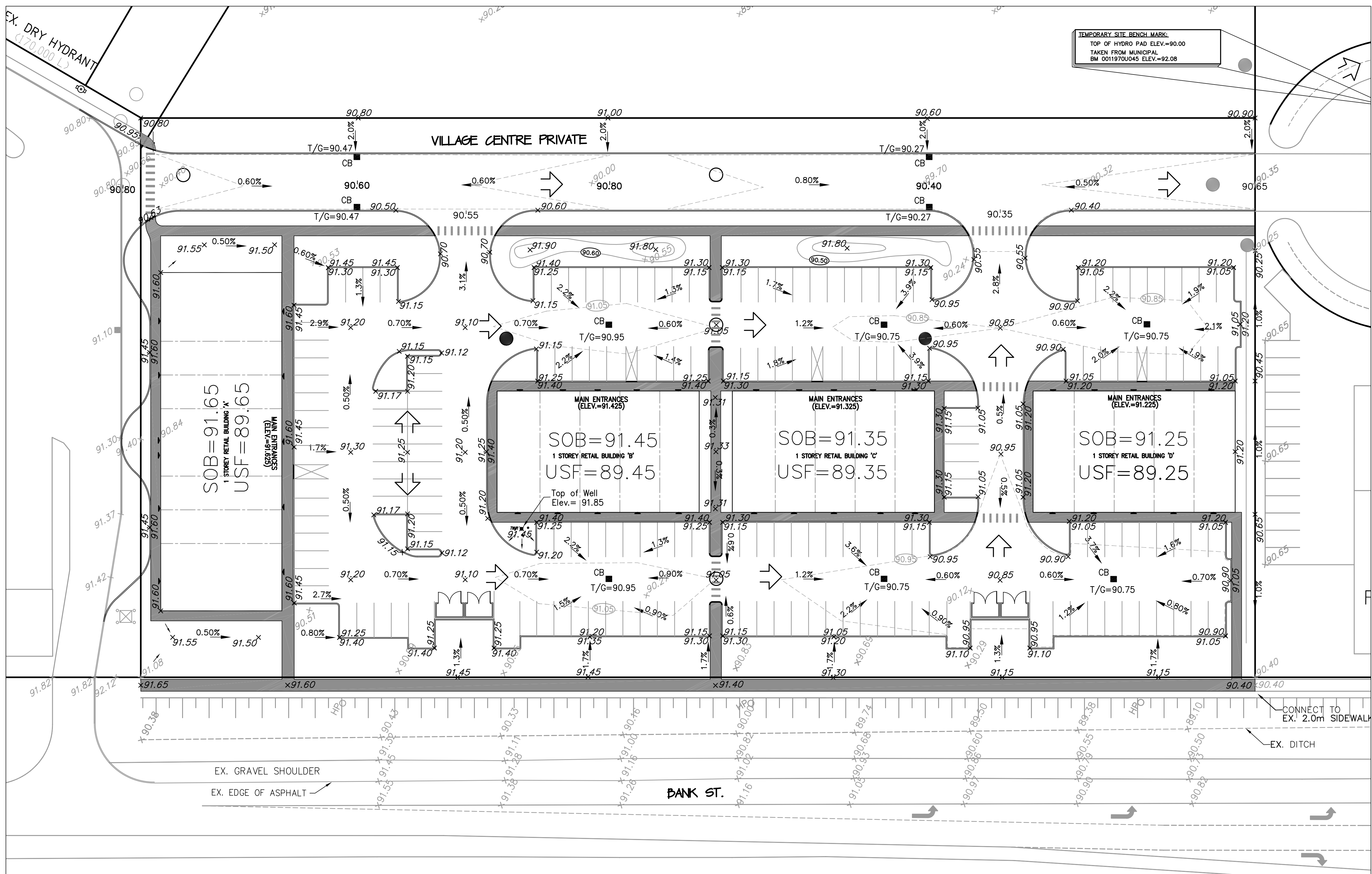
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Drawing Name

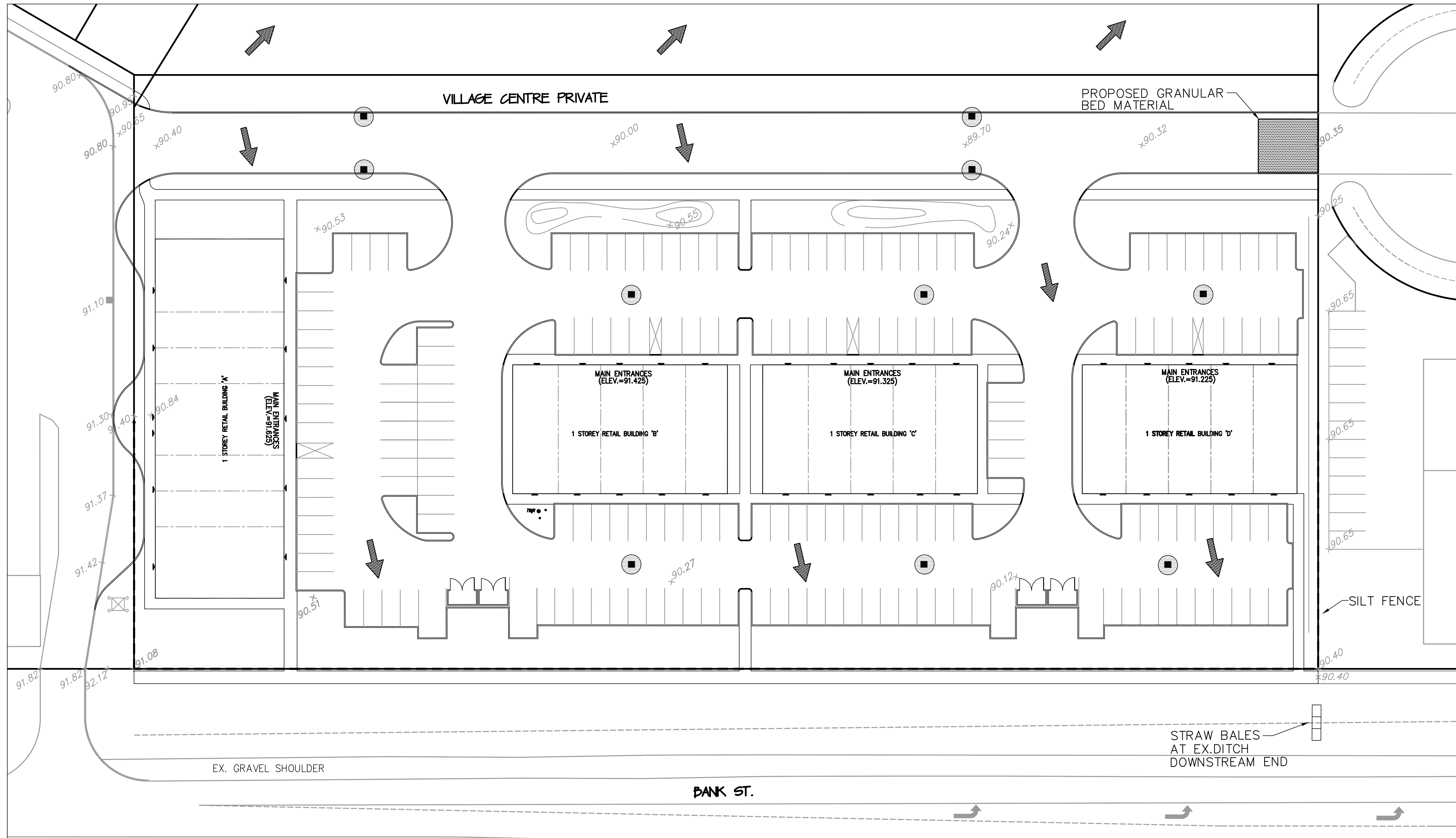
GRADING PLAN



Revision	Sheet	Drawing No.
REV-3	3 of 6	GP







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Legend

- DIRECTION OF OVERLAND DRAINAGE FLOW
- SILTATION CURTAIN
- PROPOSED STRAW BALES
- PROPOSED FILTER CLOTH UNDER CATCH BASIN COVERS
- TEST WELL c/w METAL BOLLARDS

Notes

- ADDITIONAL TO THIS PLAN, THE CONTRACTOR SHALL IMPLEMENT THE "BEST MANAGEMENT PRACTICE" ALL ALONG CONSTRUCTION.
- STRAW BALES SHALL BE INSTALLED ALONG THE VARIOUS SWALES (MAN MADE OR EXISTING) WHERE JUDGED NECESSARY BY THE ENGINEER AND/OR THE CITY OF OTTAWA'S INSPECTOR.
- STRAW BALES SHOULD BE INSTALLED AS PER OPSD 219.100 AND OPSD 219.110 AS APPROPRIATE.
- STRAW BALES SHALL BE INSTALLED AT EVERY MAJOR POINT OF WATER ENTRY INCLUDING DITCHES AND CULVERTS.
- ALL SEDIMENT CONTROL LOCATIONS MUST BE INSPECTED ON A REGULAR BASIS ESPECIALLY FOLLOWING A RAINFALL EVENT. SEDIMENTS SHALL BE REMOVED AND CONTROLS REINSTALLED AS NECESSARY.
- SHOULD IT BE IMPOSSIBLE TO PREVENT OVERLAND SHEET FLOW TO AN EXTERNAL AREA DURING THE CONSTRUCTION PHASE, SUCH AREA SHALL BE PROTECTED WITH A SILT FENCE AS PER OPSD 219.110.
- ANY MATERIAL STOCKPILES SHOULD BE LOCATED ON FLAT AREAS WELL AWAY FROM ANY DRAINAGE OUTLETS. ALL STOCKPILES ARE TO BE TO BE STABILIZED BY VEGETATION AND/OR GEOTEXTILE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS FEASIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
- STOCKPILES AS WELL AS EQUIPMENT FUELING AND MAINTENANCE AREAS WILL BE LOCATED A MINIMUM OF 30m FROM THE DITCH AND OTHER CONVEYANCE ROUTES.
- PREPARATIONS TO RESPOND TO ANY ACCIDENTAL SPILLS, INCLUDING KEEPING A SPILLS RESPONSE KIT ON SITE, WILL BE MAINTAINED DURING THE CONSTRUCTION PHASE.
- NO SEDIMENT CONTROL STRUCTURES SHALL BE REMOVED UNLESS FOUND UNNECESSARY OR ANOTHER SEDIMENT CONTROL POINT IS INSTALLED ELSEWHERE TO REPLACE THE LATTER.
- THE SEDIMENT AND EROSION CONTROL MEASURES MAY BE MODIFIED IN THE FIELD AT THE DISCRETION OF THE CITY OF OTTAWA SITE INSPECTOR.
- THIS PLAN IS A "LIVING DOCUMENT" AND THAT ANY MODIFICATION TO THE PLAN SHALL BE SUBMITTED TO THE SATISFACTION OF SNC AND MAY BE MODIFIED BY SNC STAFF.

Revision

0. SUBMITTED FOR APPROVAL	FEB 19/19
1. ADDED EROSION CONTROL PLAN	JUN 19/19
2. REVISED AS PER COMMENTS	SEP 10/19
3. REVISED AS PER COMMENTS	OCT 23/19

Location Map

Seal

Client / Project

GREELY FAMILY FARM INC.

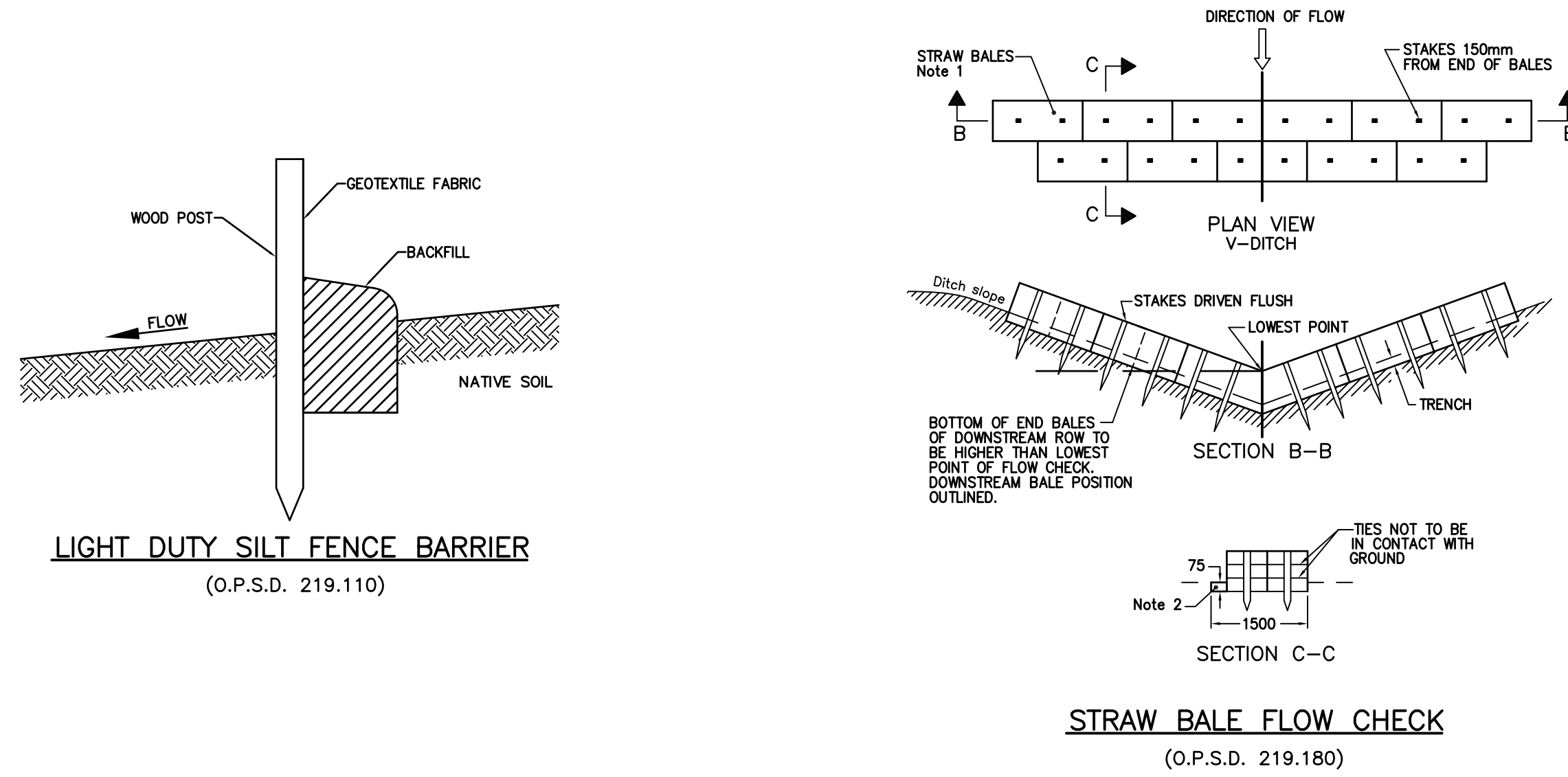
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Drawing Name

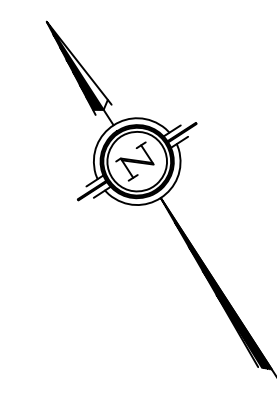
EROSION CONTROL PLAN

Scale

Revision	Sheet	Drawing No.
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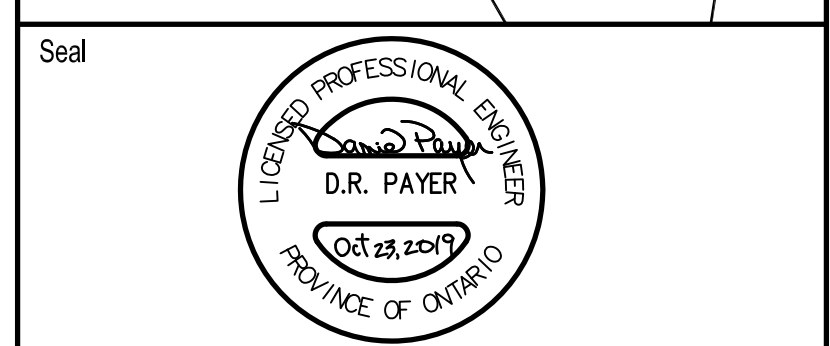
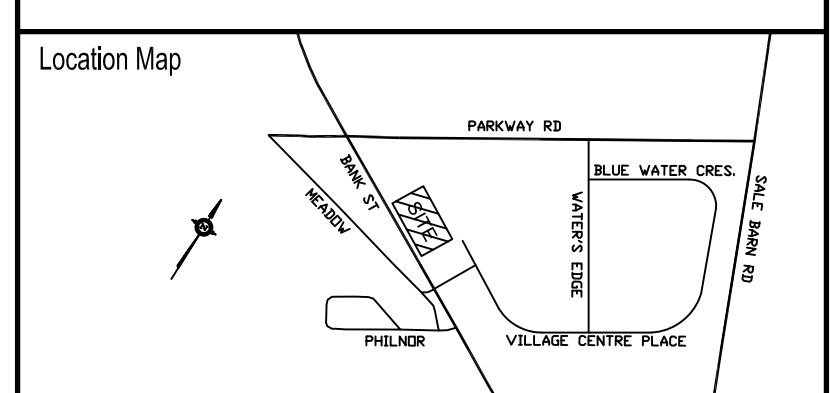
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- Legend
- MAJOR DRAINAGE SYSTEM
  - DRAINAGE AREA
  - AREA ID  
SITE AREA  
RUNOFF COEFFICIENT
  - TEST WELL c/w METAL BOLLARDS

Revision

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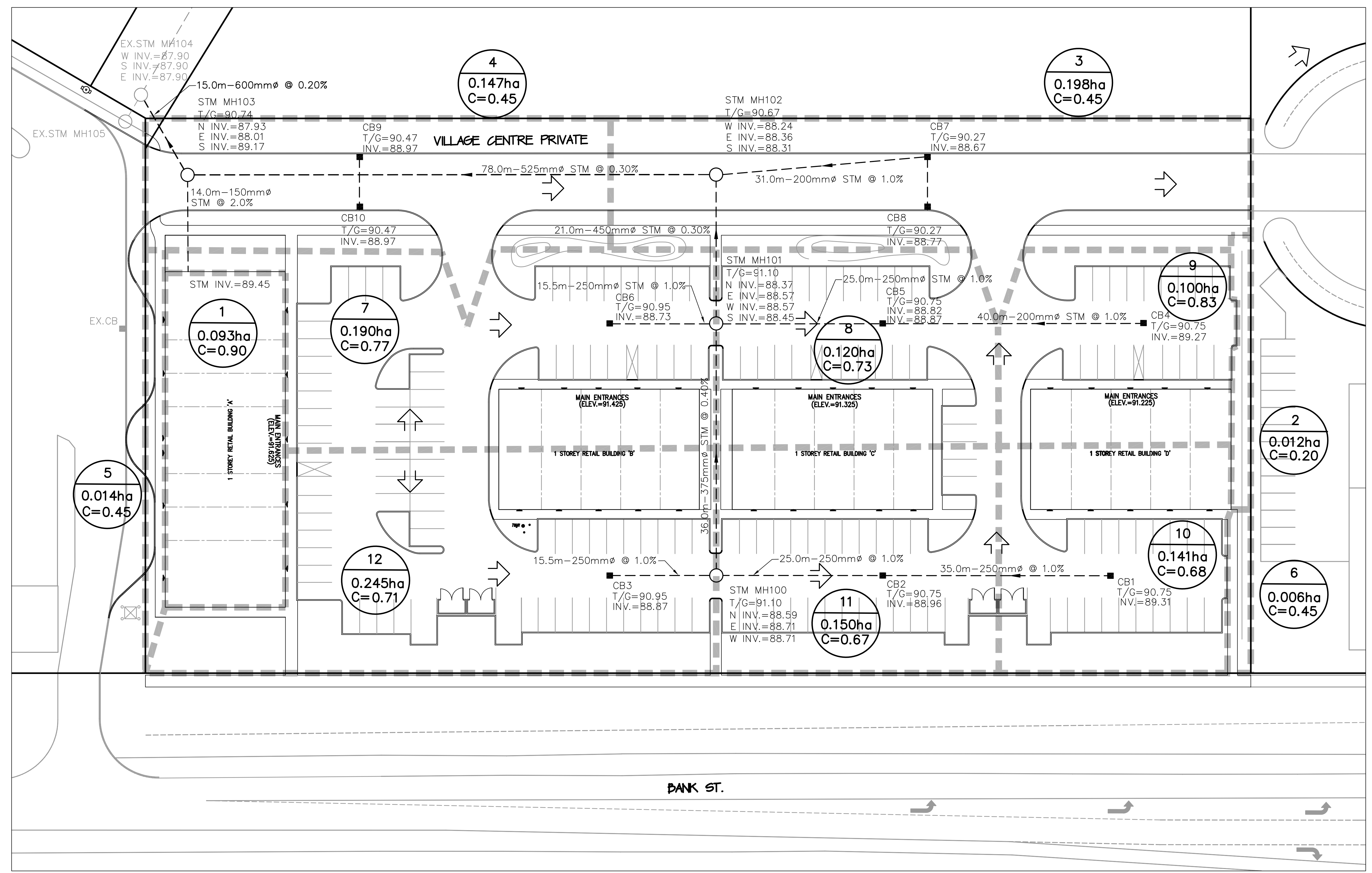
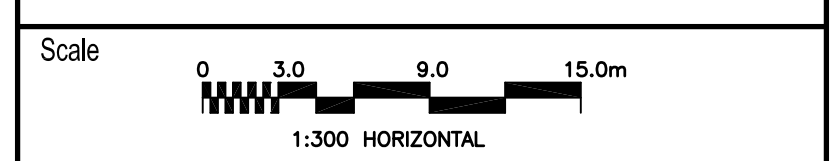


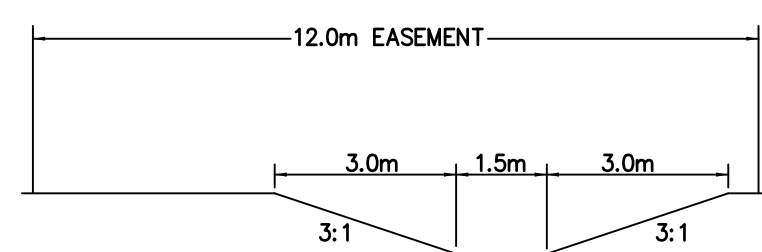
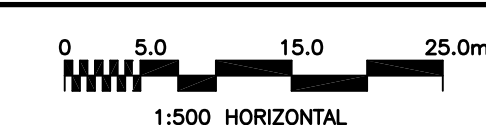
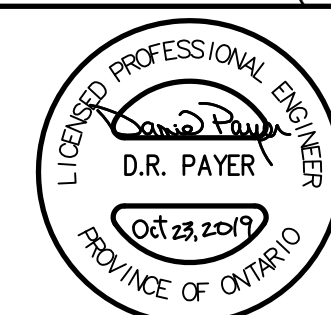
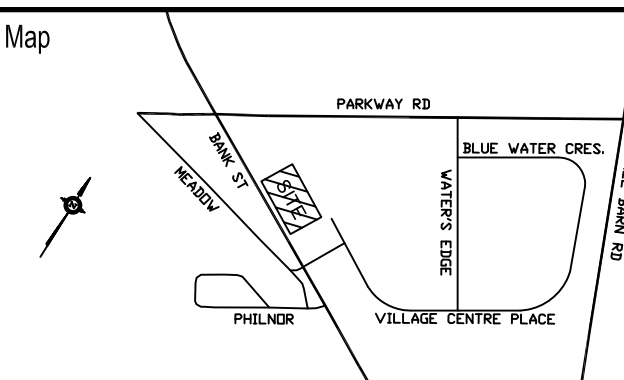
Client / Project

GREELY FAMILY FARM INC.  
6075 BANK ST.

Drawing Name

DRAINAGE AREA PLAN





SECTION A - A

