

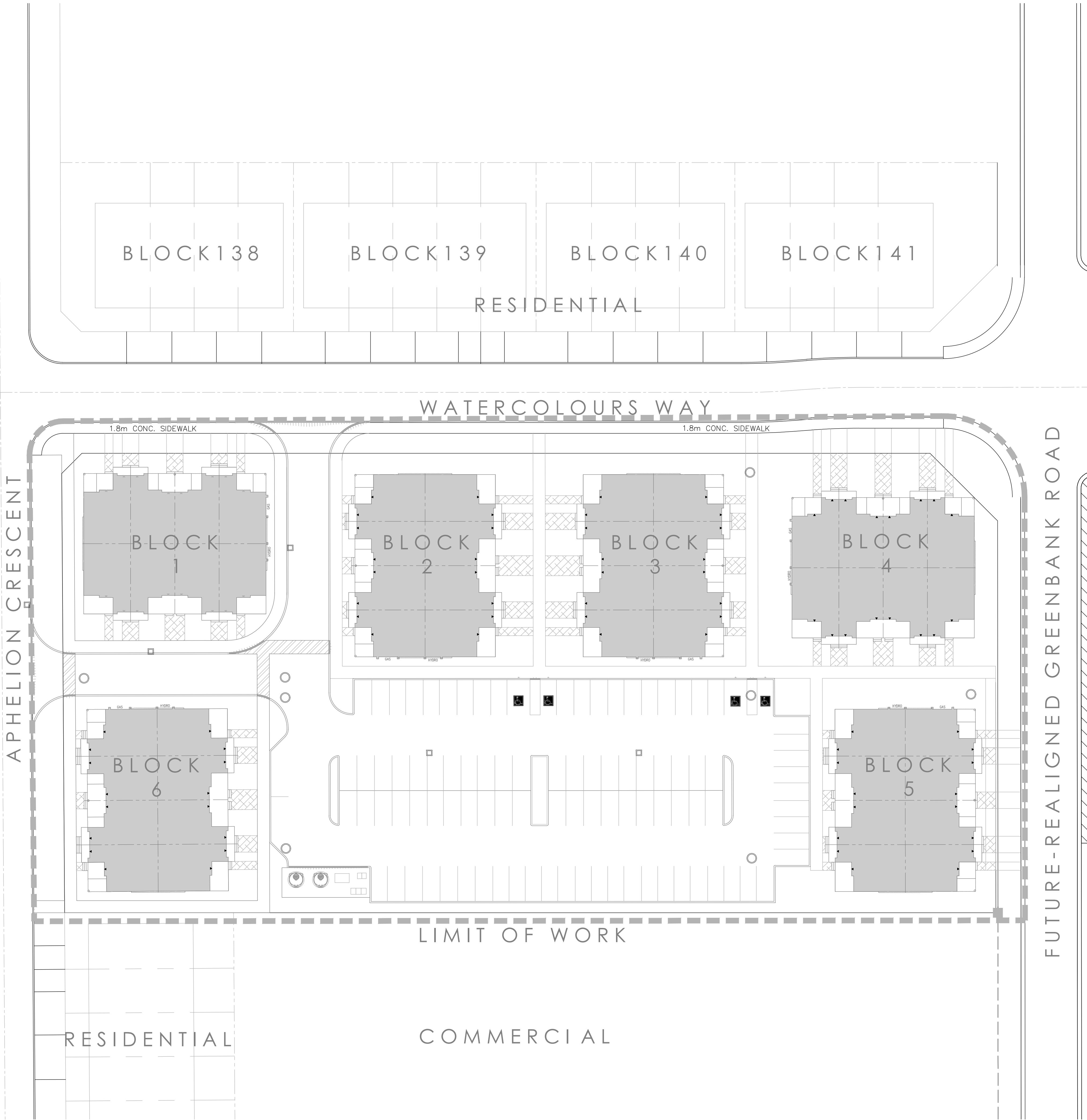


MATTAMY (HALF MOON BAY) LIMITED
HALF MOON BAY WEST
APARTMENT BLOCKS
3508 GREENBANK ROAD



LIST OF DRAWINGS:

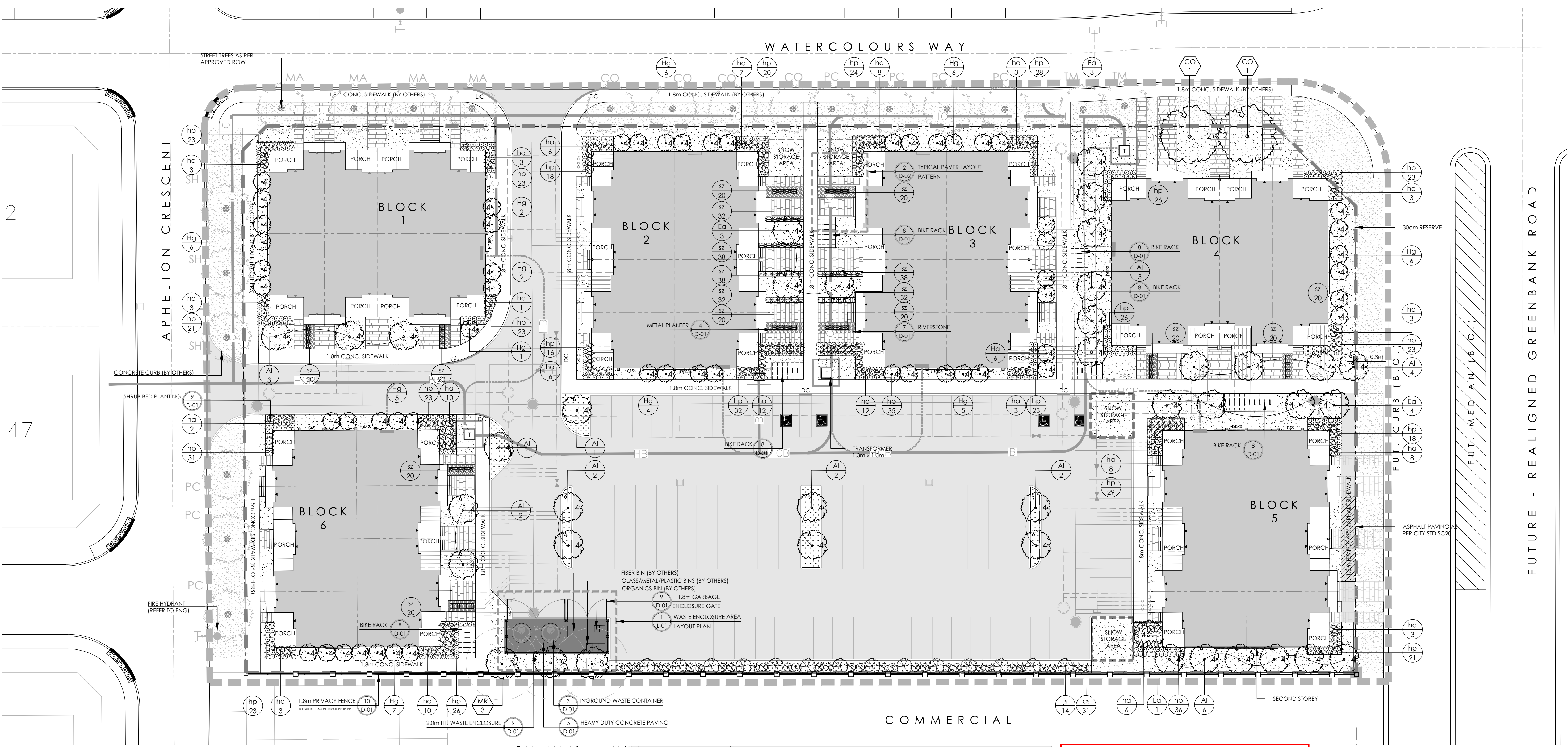
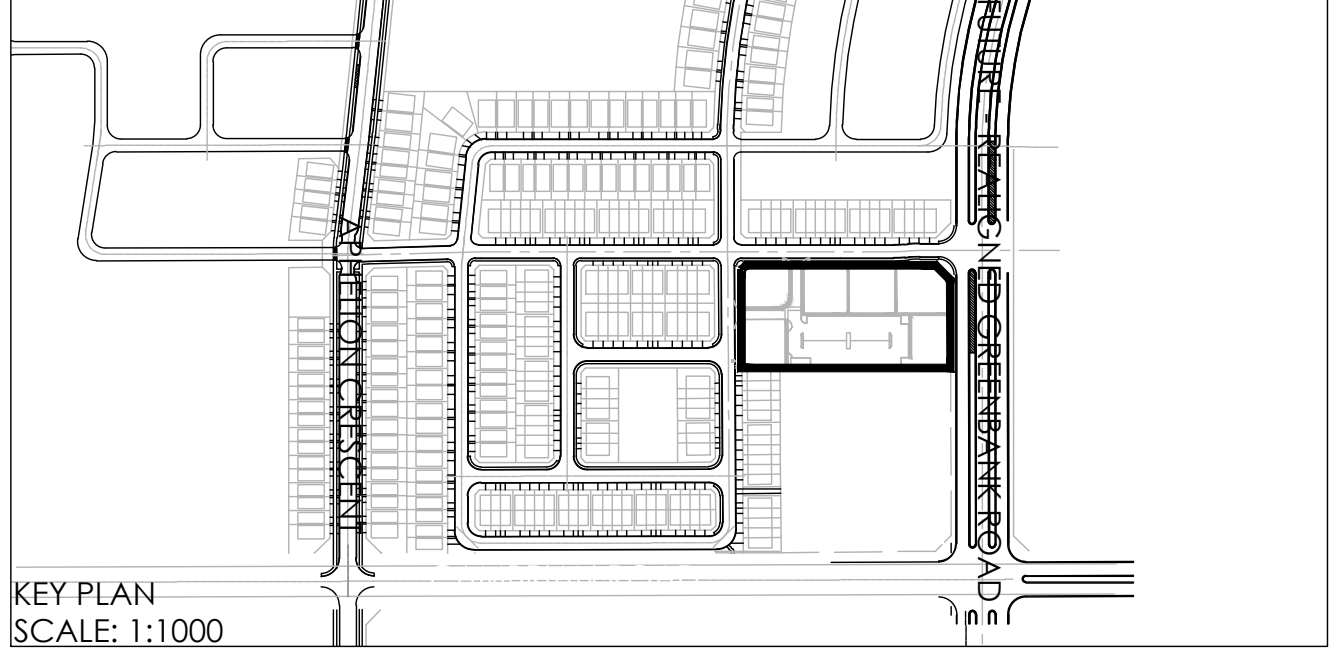
- L-01 - LANDSCAPE PLAN
- D-01 - DETAILS
- D-02 - DETAILS



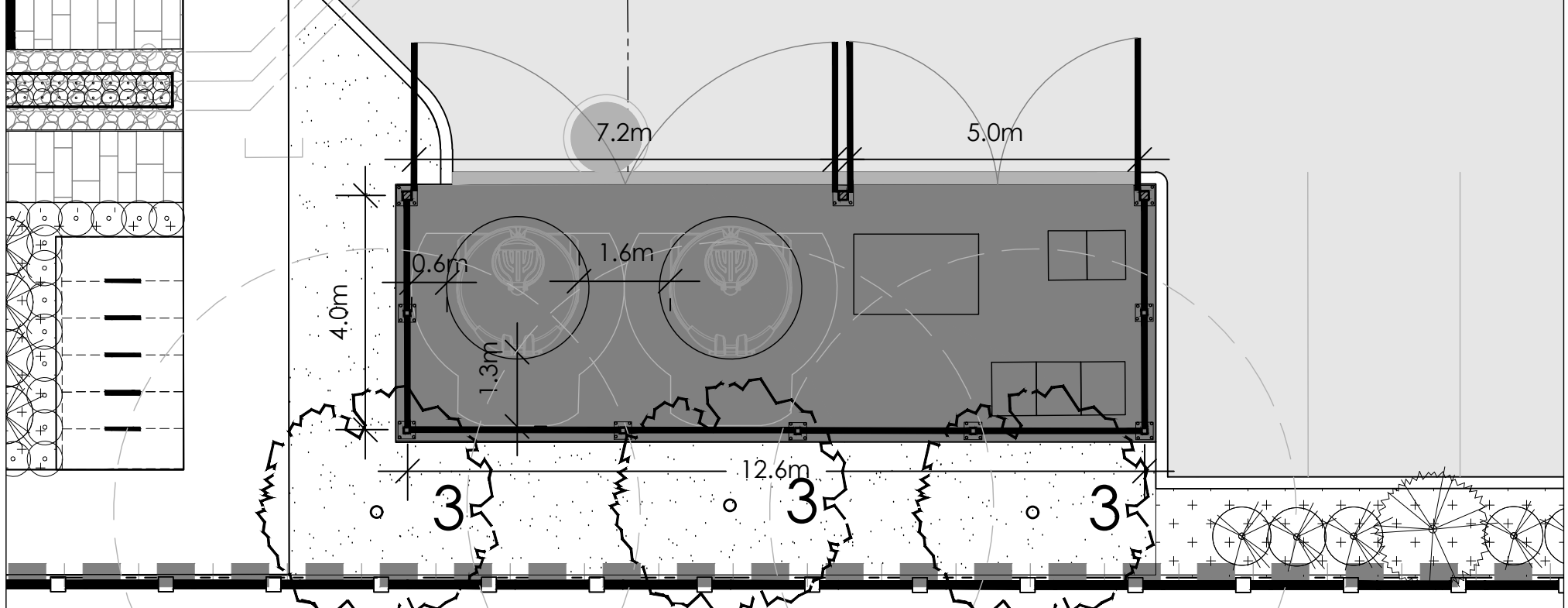
GENERAL NOTES:

1. CELTIS OCCIDENTALIS AND QUERCUS RUBRA TO BE SPRING DUG SPECIMENS AND PLANTED IN THE SPRING ONLY.
2. THE LOCATION OF THE TREES SHOWN ON THIS PLAN IS APPROXIMATE AND SHALL NOT BE SCALED FROM THIS DRAWING. THIS PLAN MUST BE READ IN CONJUNCTION WITH THE APPROVED CUP, GRADING AND SITE PLAN.
3. CONTRACTOR SHALL ENSURE THAT ALL UTILITY LOCATIONS ARE OBTAINED PRIOR TO ANY EXCAVATION FOR LANDSCAPING.
4. LOCATION OF ALL PLANT MATERIALS TO BE STAKED BY THE CONTRACTOR AND VERIFIED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO THE EXCAVATION OF PITS.
5. ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK UNLESS OTHERWISE NOTED.
6. TREES TO HAVE A MINIMUM 1800 CLEAR STEM ABOVE GRADE.
7. PLACE SOD ON A MINIMUM 150mm TOPSOIL.
8. CONTRACTOR TO MAKE GOOD ALL EXISTING AREAS DAMAGED BY HIS WORK TO THE SATISFACTION OF THE CITY OF OTTAWA.

9. ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO YEARS FROM THE DATE OF SUBSTANTIAL PERFORMANCE AS DETERMINED BY THE CITY OF OTTAWA.
10. PERIODIC REVIEWS OF PLANTING SHALL BE CARRIED OUT BY THE LANDSCAPE ARCHITECT.
11. CITY GRASS CUTTING RESPONSIBILITIES FOR SODDED AREAS SHALL BEGIN FOLLOWING PERFORMANCE ACCEPTANCE INSPECTION BY THE LANDSCAPE ARCHITECT AND THE CITY. ACCEPTANCE WILL BE PROVIDED ONLY IF:
 - SOD IS PROPERLY ESTABLISHED.
 - TURF IS FREE OF DEAD SPOTS AND WEEDS.
 - SODDED AREAS HAVE BEEN CUT WITHIN 24 HOURS PRIOR TO ACCEPTANCE INSPECTION.
 - MINIMUM OF 3 WEEKS HAVE ELAPSED FOLLOWING LAYING OF SOD.
 - A MINIMUM OF TWO CUTS HAVE TAKEN PLACE.
 - SODDED AREAS HAVE BEEN TOP-DRESSED, SEEDED AND AERATED
12. STREET TREE PLANTING GUIDELINE
NOTE: APPROVED CROSS SECTIONS SHALL TAKE PRECEDENCE
 - 4.5m - STREET LIGHT
 - 2.5m - STREET LIGHT (SMALL TREE <7m MATURE HT.)
 - 3.0m - HYDRO TRANSFORMER
 - 1.5m - PATH, DRIVEWAY, FENCE, SOUND WALL
 - 4.5m - CONIFERS MINIMUM SETBACK FROM CURB
 - 2.5m - FIRE HYDRANTS
 - 1.5m - WATER SERVICE / CURB STOP
 - 1.0m - BELL / CABLE PEDESTALS



KEY	QTY.	BOTANICAL NAME	COMMON NAME	WATER DEMAND	CAL/HT.	ROOT	SPREAD(m)	HEIGHT(m)
MEDIUM DECIDUOUS TREES								
CO	2	CELTIS OCCIDENTALIS	HACKBERRY	LOW	60	B&B	18	18
ORNAMENTAL / SMALL DECIDUOUS TREES								
MR	3	MALUS RINKI	RINKI CRABAPPLE	MODERATE	60	B&B	5	5
SHRUB (TREE FORM)								
AI	25	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY		45	B&B	6	6
Ea	12	EUONYMUS ALATUS	BURNING BUSH		125cm	TOPCRAFT	4	10
Hg	56	HYDRANGEA PANICULATA 'GRANDIFLORA'	PEE GEE HYDRANGEA		45	B&B	5	8
DECIDUOUS SHRUBS								
CS	46	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD		1 GAL.	PT	1.25	1.25
ha	124	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA		3 GAL.	PT	2	1.5
hp	606	HOSTA 'FIRE AND ICE'	FIRE AND ICE HOSTA		1 GAL.	PT	0.8	0.8
CONIFEROUS SHRUBS								
js	14	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER		3 GAL.	PT	1	3
GRASSES								
SZ	829	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM		1 GAL.	PT	0.4	1



1 WASTE ENCLOSURE AREA LAYOUT PLAN
1:100

LILY XU, MCIP, RPP
(A) MANAGER, DEVELOPMENT REVIEW - SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Lily Xu at 4:25 pm, Nov 04, 2019

SITE INFORMATION	
SITE PLAN	PROVIDED BY KORSIAK URBAN PLANNING DATED AUGUST 2019
COMPOSITE UTILITY PLAN	CUP PROVIDED BY DSEI/PROJ.NO.19-041/DATED AUGUST 2019
GEOTECHNICAL STUDY	GEOTECHNICAL INVESTIGATION REPORT PROPOSED RESIDENTIAL DEVELOPMENT HALF MOON BAY WEST PREPARED BY PATTERSON GROUP REPORT NO PG2246-1 REV.5/DATED NOVEMBER 12-2018
CITY FILE NUMBER	D07-12-19-0057

Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All drawings and specifications are the property of the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.



LEGEND

PROPERTY LINE
LIMIT OF WORK

FENCING

GARBAGE ENCLOSURE GATE
1.8M HIGH PRIVACY FENCE LOCATED 0.15M ON PRIVATE PROPERTY

PLANTING

STREET TREE
LARGE DECIDUOUS TREE (>14m)
4.5m FOUNDATION SETBACK
MEDIUM DECIDUOUS TREE (<14m)
4.5m FOUNDATION SETBACK
ORNAMENTAL / SMALL TREE (<7m)
4.5m FOUNDATION SETBACK
SHRUB (TREE FORM)
DECIDUOUS SHRUB
CONIFEROUS SHRUB
ORNAMENTAL GRASSES

SODDING
MULCH BED

SURFACING

CONCRETE SIDEWALK
ASPHALT PAVING
HEAVY DUTY CONCRETE PAVING
UNIT PAVING
RIVERSTONE

SITE FURNISHING

BIKE RACK
3.0m x 0.6m PLANTER

UTILITIES (BY OTHERS)

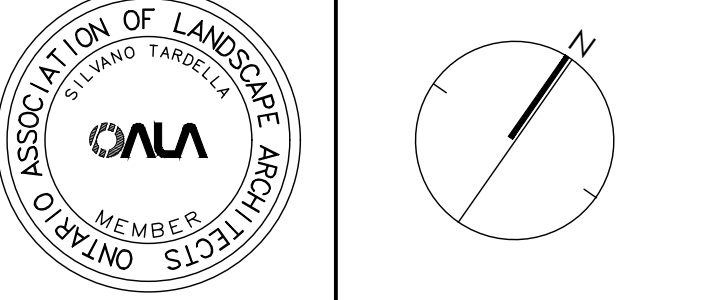
TRANSFORMER
GROUND LEVEL BOX/PEDESTALS
METER CLOSET
TWSI

DETAIL KEY

DETAIL NO. GS, Ea, HP, AI, SZ, JS, CS, HA, CO, PC, TM, DC, MR, PT, D-01, L-01
SHEET NO. 2, 4
SHRUB SPECIES
QUANTITY

No.	Description	Date
4	Re-issued for Third Submission	Oct 28/19
3	Issued for Third Submission	Aug 15/19
2	Issued for Second Submission	July 11/19
1	Issued for First Submission	Mar. 8/19

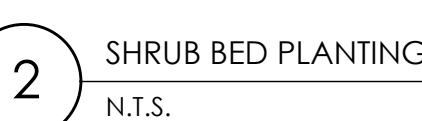
Revision	Consultants
ARCHITECT	GA ARCHITECTS INC. 217 AVENUE RD. SUITE 302, TORONTO ON M5M 4B4
ENGINEER	DAVID SCHAEFER ENGINEERING LTD. 120 BIRCH RD. SUITE 103, OTTAWA ON K1S 2E9
SURVEYOR	JD BARNES LTD. 2540 LANSFORD ROAD, OTTAWA, ON K1S 5N3
OWNER	NATANT HOMES 50 HENRY RD. SUITE 100, OTTAWA, ON K1S 5N3
PLANNING	URBAN PLANNING & DESIGN 225 MCLEOD STREET OTTAWA ON K2P 0B5



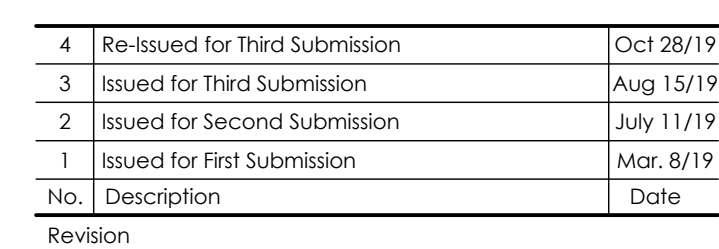
NAK
design strategies
100-250 BESSERER STREET, OTTAWA, ON K1N 6B3 CANADA
T 613.237.2345 F 613.237.6423 NAKDESIGNSTRATEGIES.COM

APARTMENT BLOCKS
HALF MOON BAY WEST
3508 GREENBANK ROAD

LANDSCAPE PLAN	
Date	Mar 2019
Scale	1:250
Drawn	TM
Checked	CM
Job No.	19-041
L-01	



APPROVED
By Lily Xu at 4:27 pm, Nov 04, 2019



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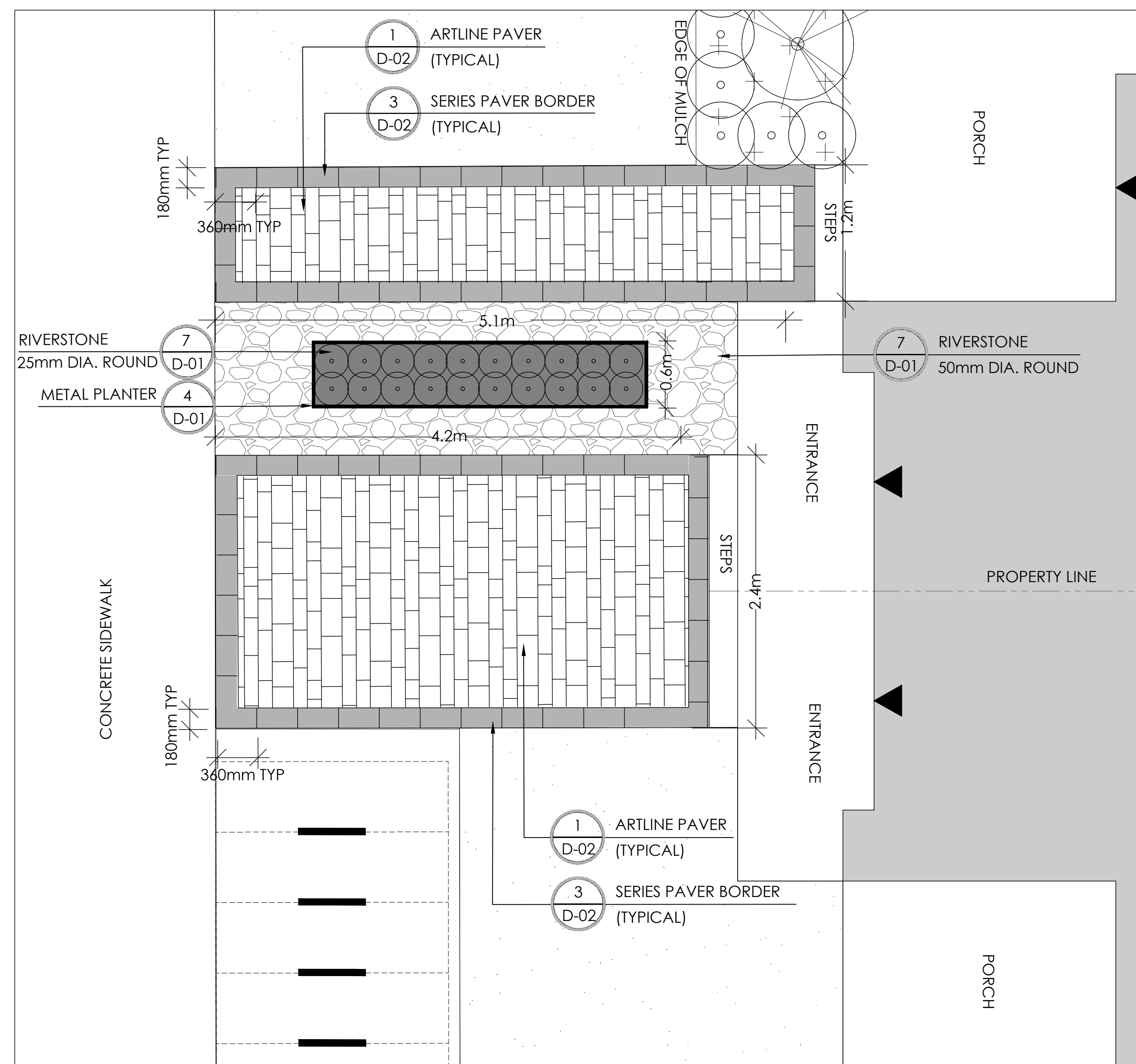
Project

Title	
DETAIL PLAN	
Date Mar 2019	Sheet
Scale NTS	D-01
Drawn TM	
Checked CM	
Job No. 19-041	

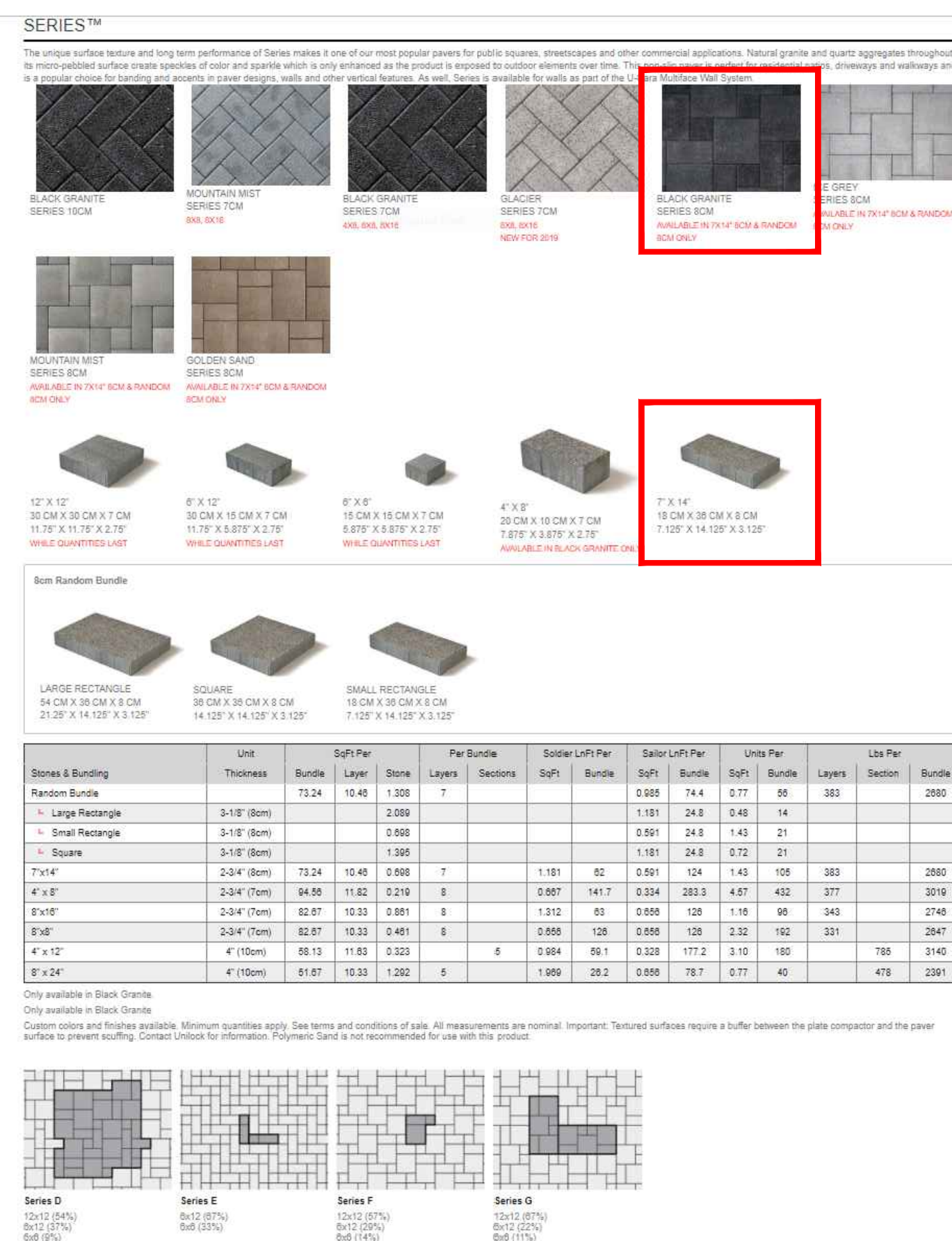


Stones & Bounding	Thickness	Unit			Per Bundle			Solder L/H Per			Solder L/H Per			Units Per			L/H Per		
		Bunde	Layr	Section	Stone	Layrs	Sections	SqFt	Section	Bunde	SqFt	Section	Bunde	SqFt	Section	Bunde	Layr	Section	Bunde
Pickering Manufacturing																			
Random Bunde		93.25	11.66	-	1.00	8	-	-	-	-	-	-	-	2.06	-	192	373	-	2.866
Large 12.5	2 1/2" (Tons)	-	-	-	0.45	-	-	-	-	-	-	-	-	2.20	-	32	-	-	-
Large 18.75	2 1/2" (Tons)	-	-	-	0.91	-	-	-	-	-	-	-	-	1.10	-	16	-	-	-
Medium 12.5	2 1/2" (Tons)	-	-	-	0.35	-	-	-	-	-	-	-	-	2.83	-	32	-	-	-
Medium 18.75	2 1/2" (Tons)	-	-	-	0.68	-	-	-	-	-	-	-	-	1.67	-	16	-	-	-
Small 12.5	2 1/2" (Tons)	-	-	-	0.23	-	-	-	-	-	-	-	-	4.40	-	32	-	-	-
Small 18.75	2 1/2" (Tons)	-	-	-	0.45	-	-	-	-	-	-	-	-	2.20	-	32	-	-	-
X-Large 12.5	2 1/2" (Tons)	-	-	-	0.61	-	-	-	-	-	-	-	-	1.65	-	32	-	-	-

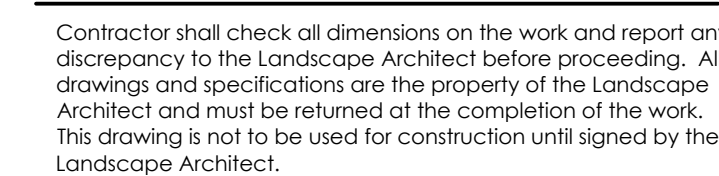
Notes: Product sold in full bundles only on a refundable skid. **Read the Polymeric Sand advisory on page 52.** All measurements are nominal.
Important: A urethane rubber paver mat must be used to prevent scuffing. Contact your Unilock Territory Manager for further information.



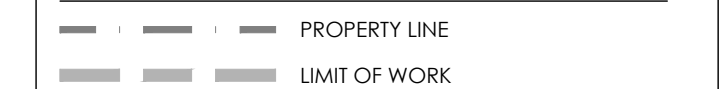
2 TYPICAL PAVER LAYOUT PATTERN
1:30



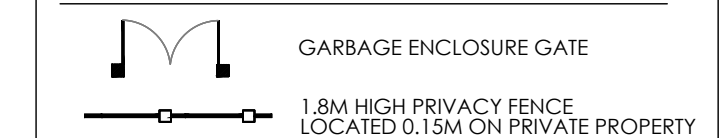
3 PAVER BORDER - UNILOCK: SERIES (TYPICAL)
1:30



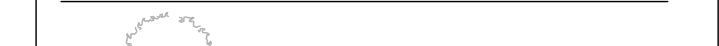
LEGEND



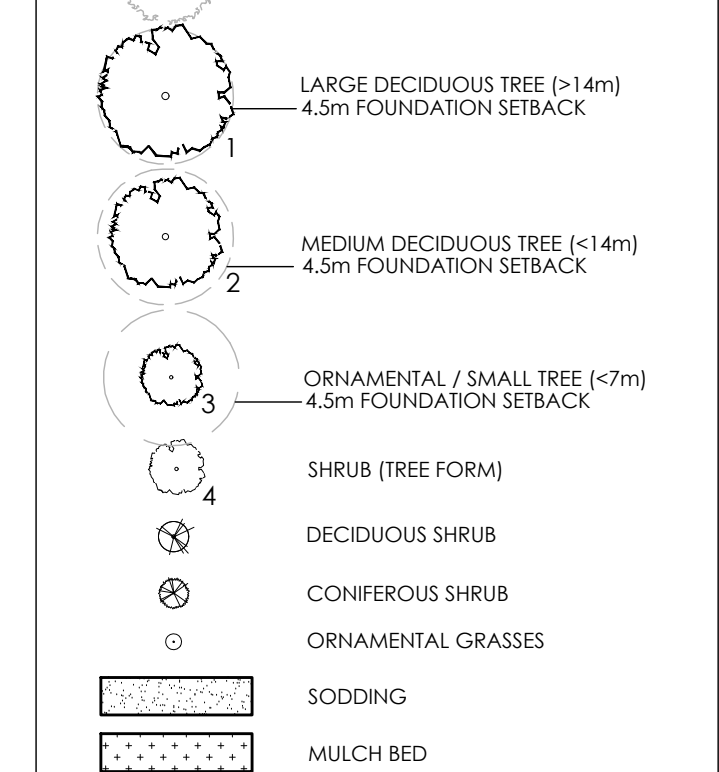
FENCING



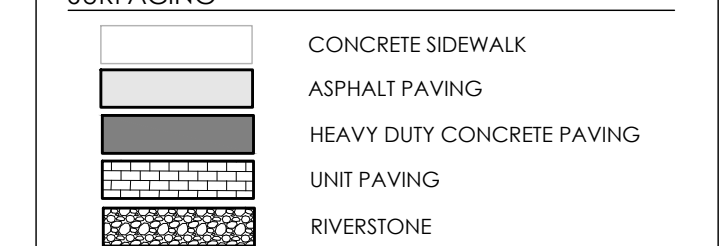
PLANTING



100



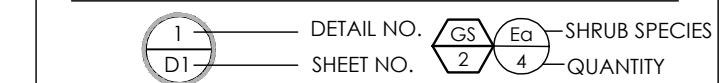
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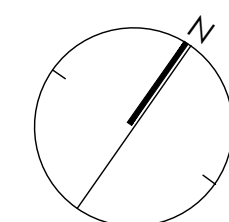
SITE FURNISHING



DETAIL K1



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APARTMENT BLOCKS
HALF MOON BAY WEST
3508 GREENBANK ROAD

Title _____

DETAIL PLAN

Date	Mar 20
Scale	NTS
Drawn	TM
Checked	SL
Job No.	19-041

Sheet

D-02

PLAN NO. 18028

LILY XU, MCIP, RPP
(A) MANAGER, DEVELOPMENT REVIEW - SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

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By Lily Xu at 4:27 pm, Nov 04, 2019