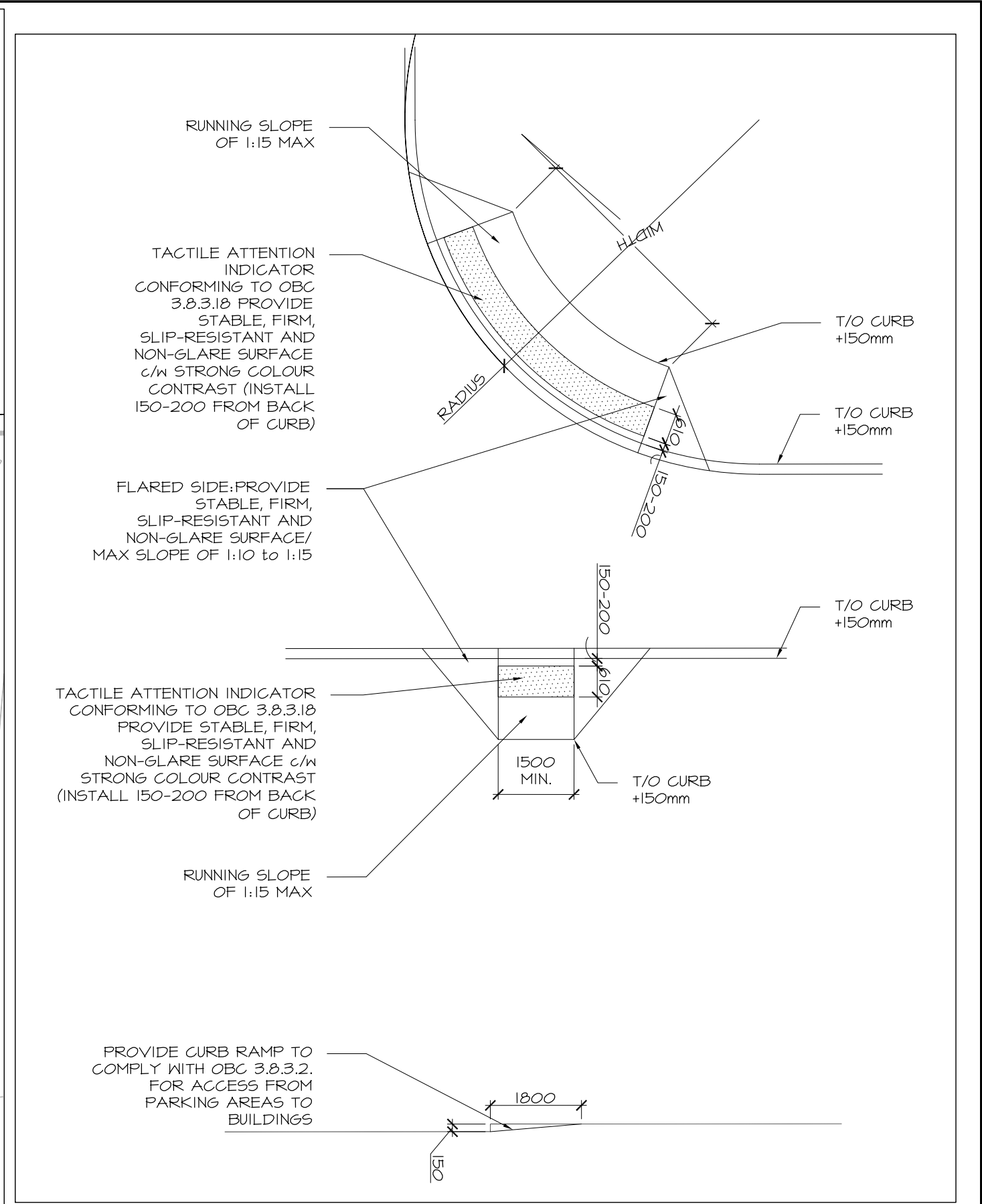
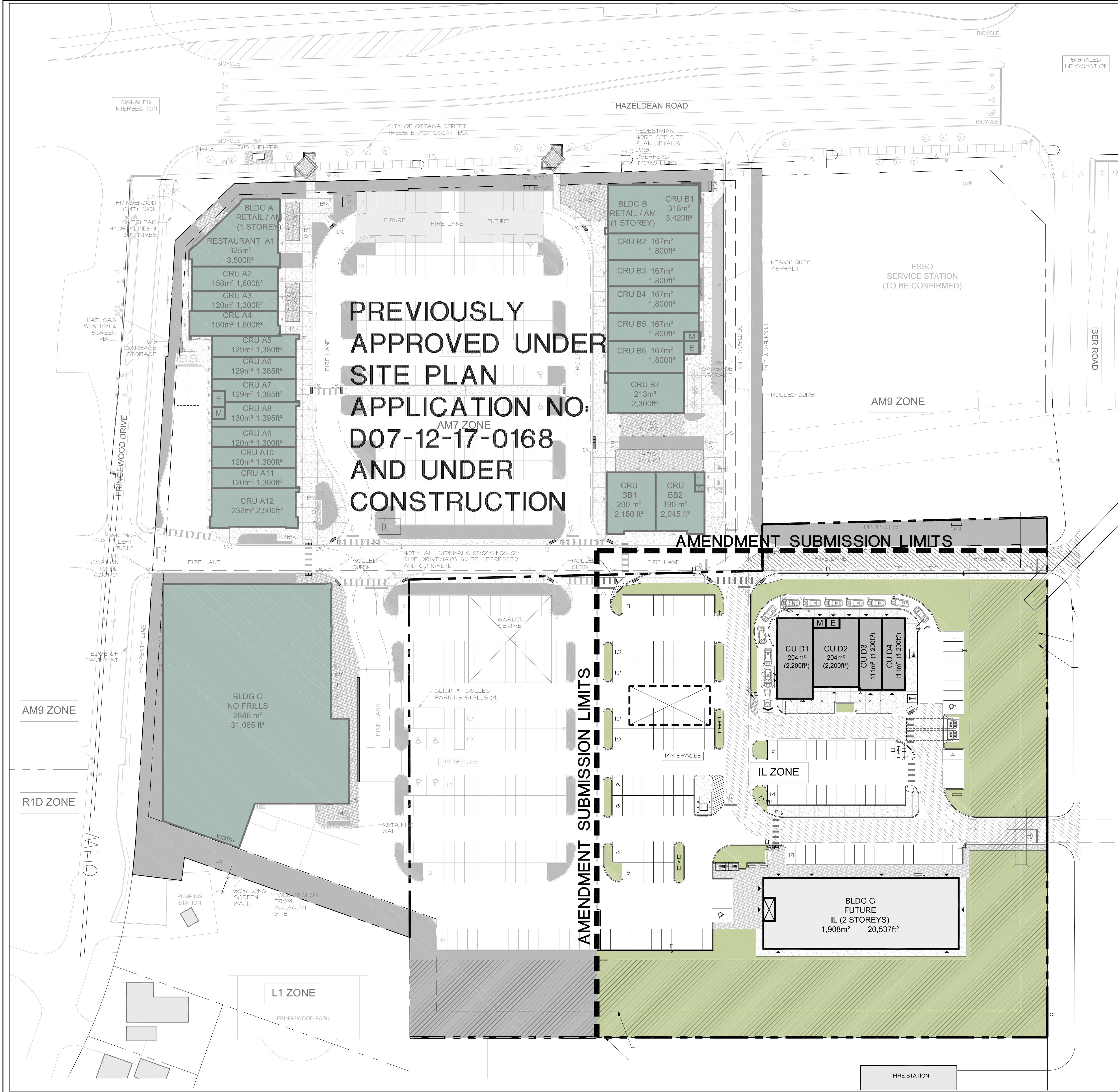




2 A01 TYPICAL TWSI DETAILS/ TO BE PROVIDED AT EACH CROSS-WALK NTS

	REQUIRED	PROVIDED
	IL	IL
PERMITTED USE (AMONG OTHERS)	DRIVE-THROUGH FACILITY, AUTOMOBILE SHOP, ANIMAL CARE, ECT.	ALL PERMITTED USES
MIN. LOT AREA	1,000 SQ.M.	44,355 SQ.M.
MIN. LOT WIDTH	NO MIN.	MULTIPLE WIDTHS EXCEEDING 18m
MIN. FRONT & CORNER YARD SETBACK	3m	3m
MIN. REAR YARD SETBACK	3m	10m
MIN. INTERIOR SETBACK	3m	3m
MIN. OF 30% OF LOT WIDTH WITH 3m OF FRONT LOT LINE, MUST BE OCCUPIED BY BUILDING WALLS WHEN LOT IS 40m OR WIDER	N/A	N/A
MAX. BUILDING HEIGHT	22m	6.3m
MAX F.S.I.	2	1635/21795 = 0.075
MIN. WIDTH LANDSCAPE AREAS	3m WHEN ABUTTING STREET; OTHERWISE NO MIN.	3m
ACCESS DRIVE & PARKING AISLE (MIN. WIDTH)	6.1m	6.1m
PARKING SPACE - MIN. WIDTH X MIN. LENGTH	5.2m X 2.6m	5.2m X 2.6m
MIN. BARRIER FREE PARKING	2 SPACES	2 BARRIER FREE PARKING SPOTS
BICYCLE PARKING	1/250 SQ.M. = 44	64 BIKE PARKING SPOTS

- LEGEND:
- CLS LIGHT STANDARD/ EXISTING
 - STREET TREE/ EXISTING
 - HYDRO POLE/GUY WIRE
 - BARRIER-FREE PARKING
 - BIKE RACK
 - GARBAGE RECEPTACLE
 - BENCH
 - FIRE LANE
 - BUILDING ENTRANCE/EXIT
 - UNIT PAVERS - TYPE 1
 - UNIT PAVERS - TYPE 2
 - PAINTED LINE CROSSWALK
 - DEPRESSED CURB (C/W TWSI)
 - WATERCOURSE REALIGNMENT
 - PROPOSED BLDG FOOTPRINT - AM LANDS
 - PROPOSED BLDG FOOTPRINT - IL LANDS
 - MAIL/ COMMUNITY GROUP
 - GARBAGE
 - STOP LINE
 - ROLLED CURB



CONTEXT PLAN: NTS

8	SEPT. 20, 2019	ISSUED FOR SPA AMENDMENT #2
7	MAY 23, 2019	ISSUED FOR REVISION TO SPA
6	MAR. 29, 2019	ISSUED FOR TENDER
5	MAR. 08, 2019	ISSUED FOR PERMIT-ZONING REVIEW
4	DEC. 08, 2017	ISSUED FOR SITE PLAN REVISION
3	AUG. 12, 2014	FINAL RESPONSE TO CITY COMMENTS
2	APRIL 8, 2014	RESPONSE TO CITY COMMENTS #2
1	JAN. 14, 2014	RESPONSE TO SITE PLAN COMMENTS

no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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PROJECT/LOCATION:
HUNTINGTON PROPERTIES

5754 HAZELDEAN RD.

DRAWING TITLE:
SITE PLAN

DRAWN BY: SL	DATE: 12/07/2017	SCALE: 1:500
PROJECT: 1734		DRAWING NO.: A01
		REVISION NO.: