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Notes

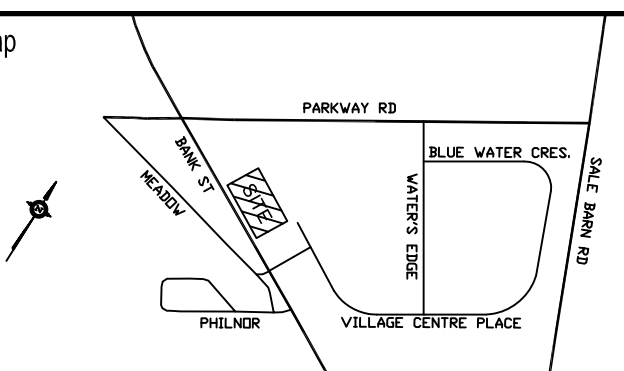
- PARKING AREA LIGHT STANDARD
- HC DISABLED PARKING PERMIT SIGN
- FR FIRE ROUTE SIGN
- DC DEPRESSED CONCRETE CURB
- MAIN ENTRANCE TO UNIT
- CATCH BASIN
- TEST WELL

PART OF LOT 73 REGISTRAR'S COMPILED PLAN 902 PLAN 46-30508 GEOGRAPHIC TOWNSHIP OF OSGOODE NOW IN THE CITY OF OTTAWA DATE: 2019.05.01 BY: [Signature]		
ZONING INFORMATION		
MUNICIPAL ZONING: RC [153]	REQUIRED	PROVIDED
LOT AREA (MIN)	4000m ²	14,164m ²
LOT FRONTAGE (MIN)	30.0m	168m
BUILDING HEIGHT INDEX (MAX)	10.7m	6.4m
SETBACKS		
FRONT YARD	10.0m	10.0m
CORNER SIDE	6.0m	N/A
INTERIOR SIDE	3.0m	3.0m
REAR YARD	10.0m	41.3m
BUILDING AREA: 18.28m x 30.48m = 557m ² x 3 = 1,671m ²		
TOTAL AREA: 2,600m ²		
LOT AREA: 14,164m ²		
LOT COVERAGE		
BUILDINGS = 2,600m ² or 18.4%		
PARKING, LANES, SIDEWALKS = 6,794m ² or 47.9%		
LANDSCAPE = 4,500m ² or 33.7%		
PARKING REQUIREMENTS		
SHOPPING CENTRE (3.6/100 m ²) = 94 SPACES (177 SPACES PROVIDED)		
LOADING PARKING REQUIREMENTS		
SHOPPING CENTRE (1/2000-4999m ²) = 1 SPACES (4 STALLS PROVIDED)		
BIKE RACK REQUIREMENTS		
SHOPPING CENTRE (1/500m ²) = 6 SPACES (16 STALLS PROVIDED)		

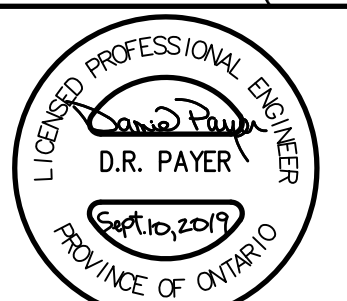
Revision

0. SUBMITTED FOR APPROVAL	FEB 19/19
1. REVISED AS PER COMMENTS	JUL 12/19
2. REVISED AS PER COMMENTS	SEP 10/19

Location Map



Seal

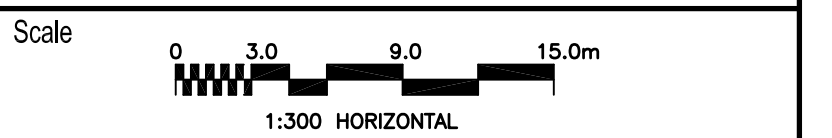


Client / Project

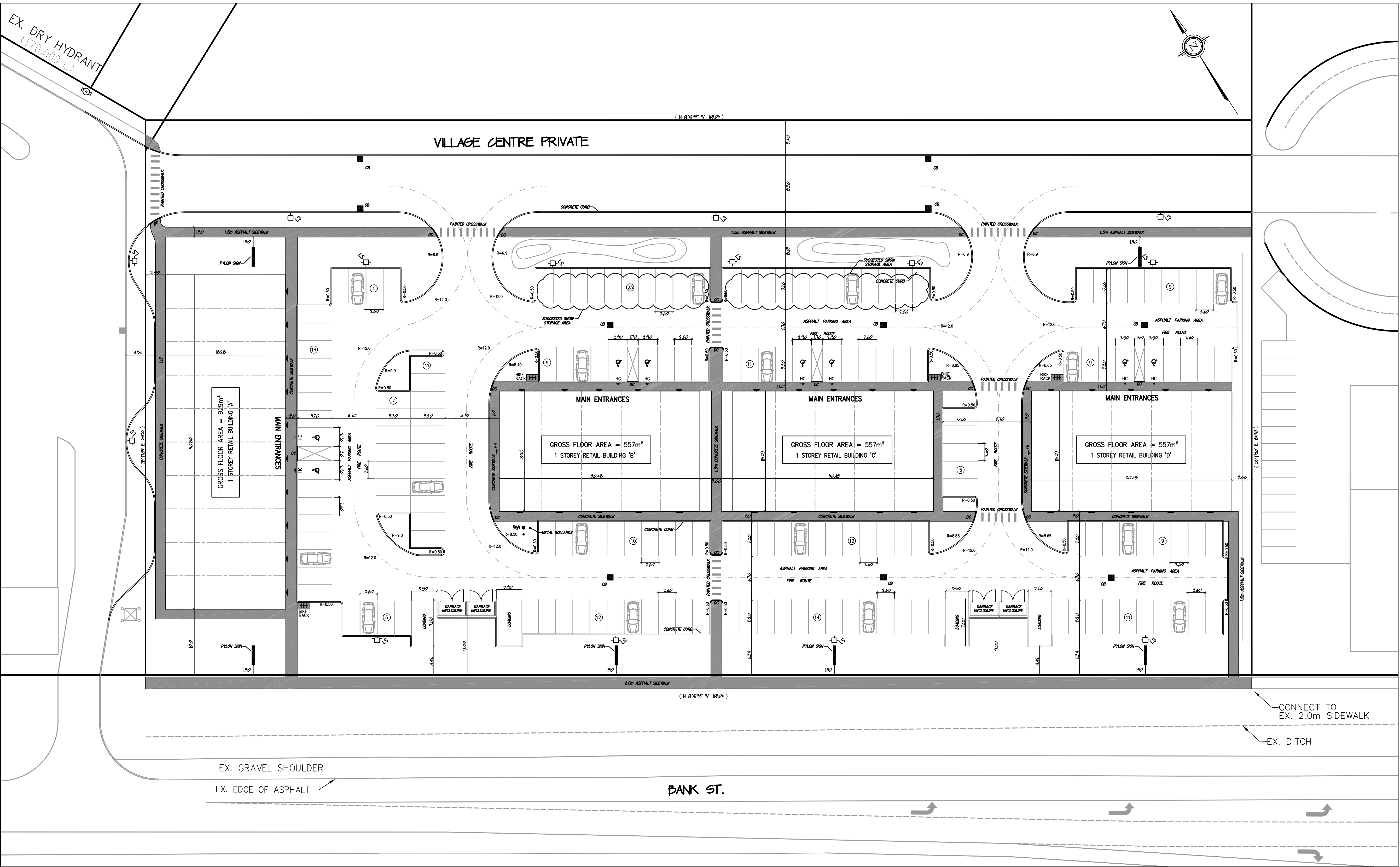
GREELY FAMILY FARM INC.
6075 BANK ST.

Drawing Name

SITE PLAN



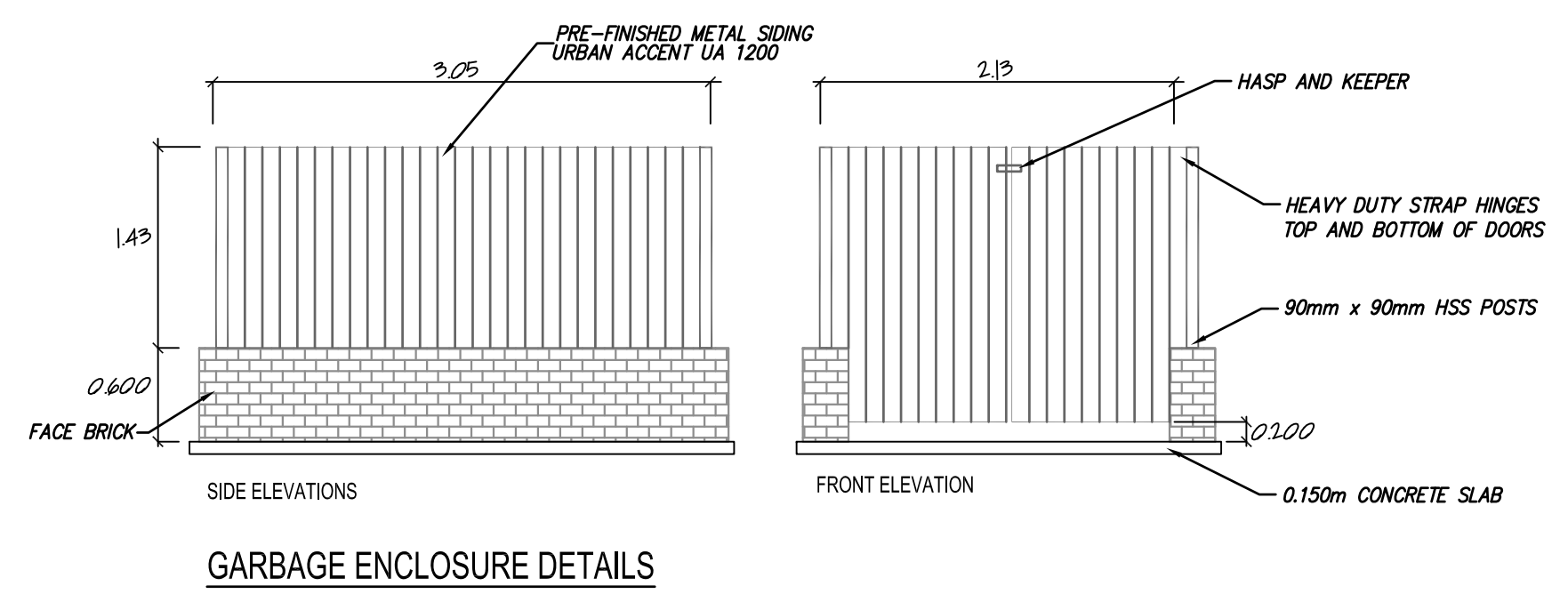
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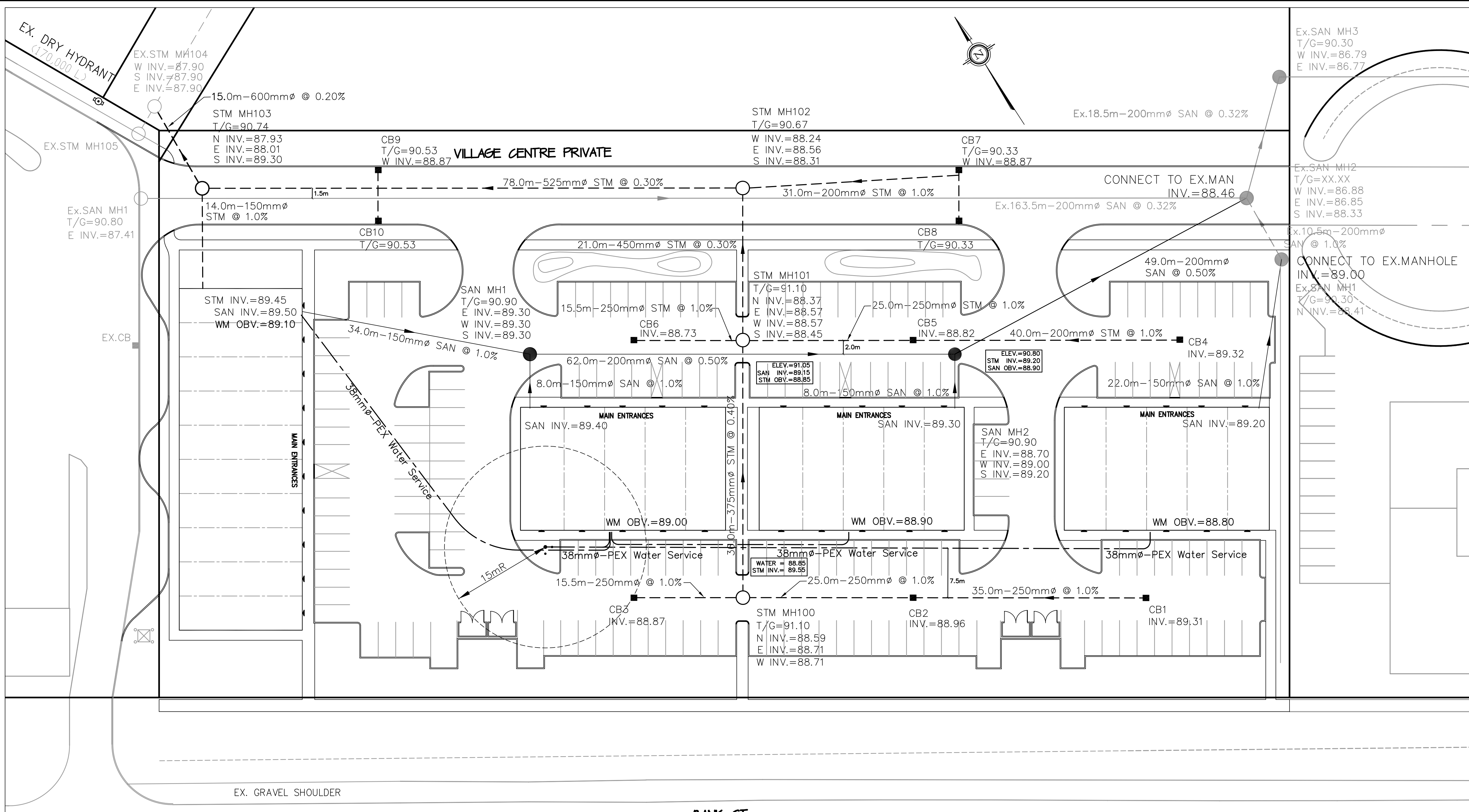


DISABLED PARKING PERMIT SIGN
Rb 93 (60x75) cm
Support: Steel

FIRE ROUTE SIGN
S-5 (30x45) cm
Support: Steel or Wall

TRAFFIC SIGNS





2343 Lorraine St.
Rockland ON Canada
K4K 1K7
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Fax: (613) 821-7997

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Construction Notes

CURBS/SEWERS/ASPHALT:

1) ALL PROPOSED INTERNAL CURBING TO BE BANNER TYPE AS PER OSD400.11 OR CITY STD. DWG. NO. SCL-1. ALL TOPS OF CURBS TO BE 100mm ABOVE PROPOSED GUTTER LINE, UNLESS OTHERWISE NOTED.

2) PROPOSED CONCRETE SIDEWALK TO BE CONSTRUCTED TO CITY STANDARD SCA.

UTILITY SUPPORTS AND TRENCHES:

1) SUPPORT DETAIL FOR EXISTING UTILITY CROSSING SEWER OR WATERMAIN TRENCH AS PER STD. DWG. S10.

2) ALL UTILITIES SHALL BE LOCATED, SUPPORTED AND PROTECTED TO THE SATISFACTION OF THE UTILITY COMPANY DURING THE CONSTRUCTION PERIOD.

SANITARY:

1) ALL SANITARY SEWERS ARE TO BE PVC-SDR 35 IN ACCORDANCE WITH CSA-B162.2, ASTM D-2771 AND ASTM D-3034 OR LATEST REVISIONS, UNLESS OTHERWISE NOTED. ALL SANITARY LATERALS TO BUILDS TO BE 150mm OR 200mm PVC-SDR 35 AS NOTED ON SERVING PLAN AND A MINIMUM SLOPE OF 1% FROM BUILDING TO CLEAN OUT MANHOLE.

2) ALL RELOCATION, RECONSTRUCTION AND RESTORATION TO BE PERFORMED ON SITE AT THE TIME OF CONSTRUCTION, OF ENGINEERING.

3) SANITARY MANHOLES SHALL BE 1200mm IN ACCORDANCE WITH OSD701.01 UNLESS OTHERWISE NOTED FRAME AND COVER SHALL BE IN ACCORDANCE WITH OSD 451.01.

4) RECORDING FOR PVC SANITARY SEWERS AS PER OSD 802.01a, TYPE 1 AND 2, GRANULAR "X" COMPACTED TO 100% SPD.

5) THE CONTRACTOR IS TO CAP ALL SANITARY SERVICES 1.5 METRES AWAY FROM THE PROPOSED BUILDING LINES UNLESS OTHERWISE NOTED.

6) TRENCHING & BACKFILL AS PER STD DWG SR ROAD CUT REINSTATEMENTS AS PER STD DWG R10.

7) ALL TESTING OF SANITARY AND STORM SERVICES TO BE IN ACCORDANCE WITH ONTARIO PROVINCIAL STANDARD SPECIFICATIONS.

WELL SERVICE:

1) WATER SERVICE SHALL BE A 25mm POLY PIPE GREEN STRIPE AS PROVIDED BY A LICENSED WELL CONTRACTOR.

STORM:

1) ALL STORM SEWERS 450mm AND SMALLER TO BE PVC-SDR 35 IN ACCORDANCE WITH CSA-B162.2, ASTM D-2771 AND ASTM D-3034 OR LATEST REVISIONS, UNLESS OTHERWISE NOTED. ROOF TOP STORM LEADS 150mm AND SMALLER TO BE PVC-SDR 35.

2) RECORDING FOR PVC STORM SEWERS AS PER OSD 802.01a, GRANULAR "X" COMPACTED TO 100% SPD.

3) EXISTING SEWER SERVICE MATERIAL TYPE AND SIZE TO BE CONFIRMED ON SITE AT THE TIME OF CONSTRUCTION.

4) ALL RELOCATION, RECONSTRUCTION AND RESTORATION TO BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEERING DEPARTMENT.

5) ALL STORM SERVICES TO BUILDINGS SHALL BE AT A MINIMUM SLOPE OF 1.0%.

6) ALL EXISTING SEWERS ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

7) ULTRA-HIBRID PVC PIPE SHALL NOT BE USED, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

8) TRENCHING & BACKFILL AS PER STD DWG SR ROAD CUT REINSTATEMENTS AS PER STD DWG R10.

9) STORM MANHOLES TO BE 1200mm AS PER OSD 771.01a AND 771.01b, FRAME & COVER AS PER OSD 451.01.

10) ALL TESTING OF STORM SERVICES TO BE IN ACCORDANCE WITH ONTARIO PROVINCIAL STANDARD SPECIFICATIONS.

11) AT ALL CATCH BASIN & CATCH BASIN MANHOLE SAG POINTS INCLUDE FOUR (4) 4.0m LONG, 100mm POCUSSEBARS WITH FILTER CLOTH, CAP ONE END AND CONNECT THE OTHER TO THE CATCH BASIN OR CATCH BASIN MANHOLE.

12) AT ALL CATCH BASIN MANHOLES AS PER OSD 771.01a, FRAME AND GRATE AS PER OSD 451.01.

13) ALL CATCH BASIN MANHOLES AS PER OSD 771.01a, FRAME AND GRATE AS PER OSD 451.01.

14) ALL CATCH BASIN LEADS TO BE 150mm PVC-SDR 35 IN ACCORDANCE WITH CSA-B162.2, ASTM D-2771 AND ASTM D-3034 OR LATEST REVISIONS, UNLESS OTHERWISE NOTED.

15) ALL STORM SEWERS SHALL BE FLUSHED AND CLEANED AS PER ONTARIO PROVINCIAL STANDARD SPECIFICATIONS.

16) ALL CATCH BASINS SHALL BE AS PER OSD-770.01a, CATCH BASIN FRAME AND GRATE AS PER OSD-450.01.

PAVEMENT STRUCTURE:

LIGHT DUTY:
50mm SP 12.5 ASPHALTIC CONCRETE
150mm GRANULAR "X" CRUSHED LESTONE
200mm GRANULAR "X" CRUSHED LESTONE

HEAVY DUTY:
75mm SP 12.5 ASPHALTIC CONCRETE
50mm SP 19 ASPHALTIC CONCRETE
150mm GRANULAR "X" CRUSHED LESTONE
400mm GRANULAR "X" CRUSHED LESTONE

Revision

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1. REVISED AS PER COMMENTS	JUL 12/19
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Location Map

Seal

Client / Project

GREELY FAMILY FARM INC.

6075 BANK ST.

Drawing Name

SITE SERVICING PLAN

Scale

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General Notes

1) DRAWINGS ARE NOT TO BE SCALED.

2) ALL DRIVEWAY AND GRADING MATERIAL AND CONSTRUCTION METHODS MUST CONFORM TO CURRENT CITY STANDARDS AND SPECIFICATIONS.

3) ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE SITE PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER BEFORE PROCEEDING.

4) UNLESS OTHERWISE NOTED ON THE DRAWINGS THE STANDARD CITY AND CPD DRAWINGS AND CPSS ARE TO CONSTITUTE PART OF THIS CONTRACT AND SITE PLAN DRAWINGS.

5) REFER TO CITY STANDARDS AND SPECIFICATIONS FOR LIST OF APPROVED MANUFACTURERS AND MATERIALS.

6) EXISTING STRUCTURES ARE NOT TO BE DISTURBED, NOR ENCROACHMENT ON ADJACENT PROPERTIES UNLESS INSTRUCTED BY THE ENGINEER.

7) THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNERS CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS: ROAD CUTS, SEWER PERMITS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL PERMITS, ETC.

8) PRIOR TO CONSTRUCTION THE ENGINEER IS TO BE NOTIFIED BY THE OWNER AND THE CONTRACTOR AS TO THE EXTENT OF THE CONSTRUCTION LIMITS THEY PROPOSE. THE CITY IS TO BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

9) THE PLANS TO BE READ IN CONJUNCTION WITH THE SITE PLAN, LANDSCAPE PLAN, SITE MECHANICAL PLANS, SITE ELECTRICAL PLANS, AND ANY OTHER PLANS OR DRAWINGS WHICH DEPICT WORKS THAT ARE PROPOSED FOR THIS SITE.

10) ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS, AS WELL AS ANY APPLICABLE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.

11) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGAGE, DELINEATIONS, MARKERS AND BARRIERS. ALL SIGAGE, ETC. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS FOR THE CITY AND THE AUTO MANUAL OF UNIFORM TRAFFIC CONTROL SERVICES FOR ONTARIO.

12) THE CONTRACTOR SHALL ENDEAVOR TO PREVENT ROAD TRACKING ONTO EXISTING RIGHT-OF-WAYS AND SHALL PROVIDE FOR CLEANUP AT HIS OWN EXPENSE AS DIRECTED BY THE CITY. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO CONTROL, DUST ON THE PROJECT AND HE SHALL PROVIDE AT HIS OWN EXPENSE, CONTROLLING MEASURES AS DIRECTED BY THE CITY.

13) THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND SERVICES PRIOR TO AND DURING CONSTRUCTION. LOCATION OF EXISTING UTILITIES AND SITE SERVICES TO BE SHOWN IN THE FIELD.

14) THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.

15) THE CONTRACTOR IS TO OBTAIN AND PAY FOR ANY NECESSARY PERMITS FOR ANY MUNICIPAL ROAD CUTS FOR THE INSTALLATION OF SANITARY, STORM, AND WATER SERVICE CONNECTIONS. ROAD CUTS TO BE RESTORED AS PER CITY STANDARDS DRAWING.

16) DRIVEWAYS SHALL BE SETBACK A MINIMUM CLEARANCE OF 1.0 m FROM ALL ABOVEGROUND SERVICES OR OTHER OBSTRUCTIONS.

17) ALL CONSTRUCTION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.

18) CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH A MIN. OF 450mm THICK CRUSHED STONE BASE FROM MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE TO THE SATISFACTION OF THE CITY.

19) MINIMUM CLEARANCE OF 2.5m FROM ALL ABOVE GROUND SERVICES AND UTILITIES.

20) OUTSIDE LIGHTING TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE, CONFORMING TO THE CITY OF OTTAWA SITE LIGHTING GUIDELINES.

Legend

- PROPOSED WELL WATER SERVICE
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY SEWER
- PROPOSED STORM MANHOLE
- PROPOSED STORM SEWER
- PROPOSED STORM CATCH BASIN
- PROPOSED UTILITY SERVICES
- PROPOSED CONCRETE CURB
- DEPRESSED CONCRETE CURB
- MAIN ENTRANCE TO UNIT

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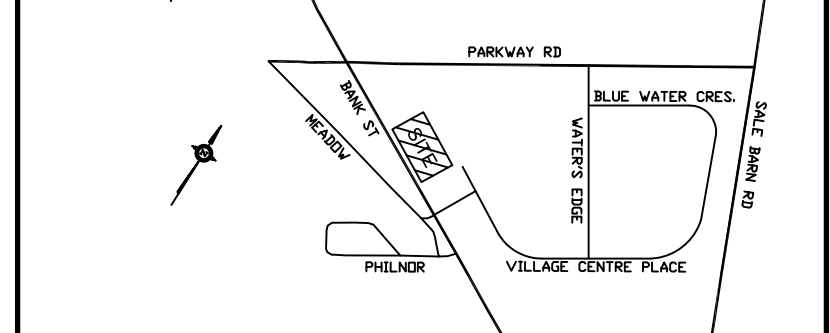
Legend

- EXISTING ELEVATION
- PROPOSED ELEVATION
- % SLOPE
- PROPOSED DIRECTION OF FLOW
- PROPOSED DIRECTION OF FLOW
- PROPOSED FIRST FLOOR ELEVATION
- TERRACING 3:1 (MAXIMUM SLOPE)
- MAJOR DRAINAGE SYSTEM
- MAXIMUM PONDING LIMIT C/W ELEVATION
- CATCH BASIN
- MAIN ENTRANCE TO UNIT
- SLAB ON GRADE ELEVATION
- UNDERSIDE OF FOOTING ELEVATION

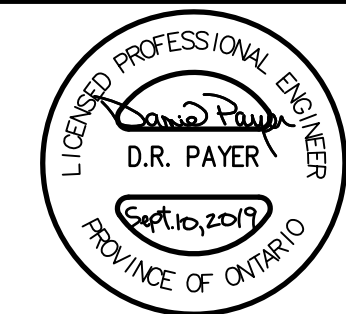
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Location Map



Seal



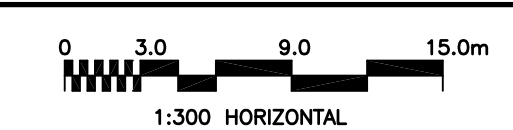
Client / Project

GREELY FAMILY FARM INC.
6075 BANK ST.

Drawing Name

GRADING PLAN

Scale



Revision

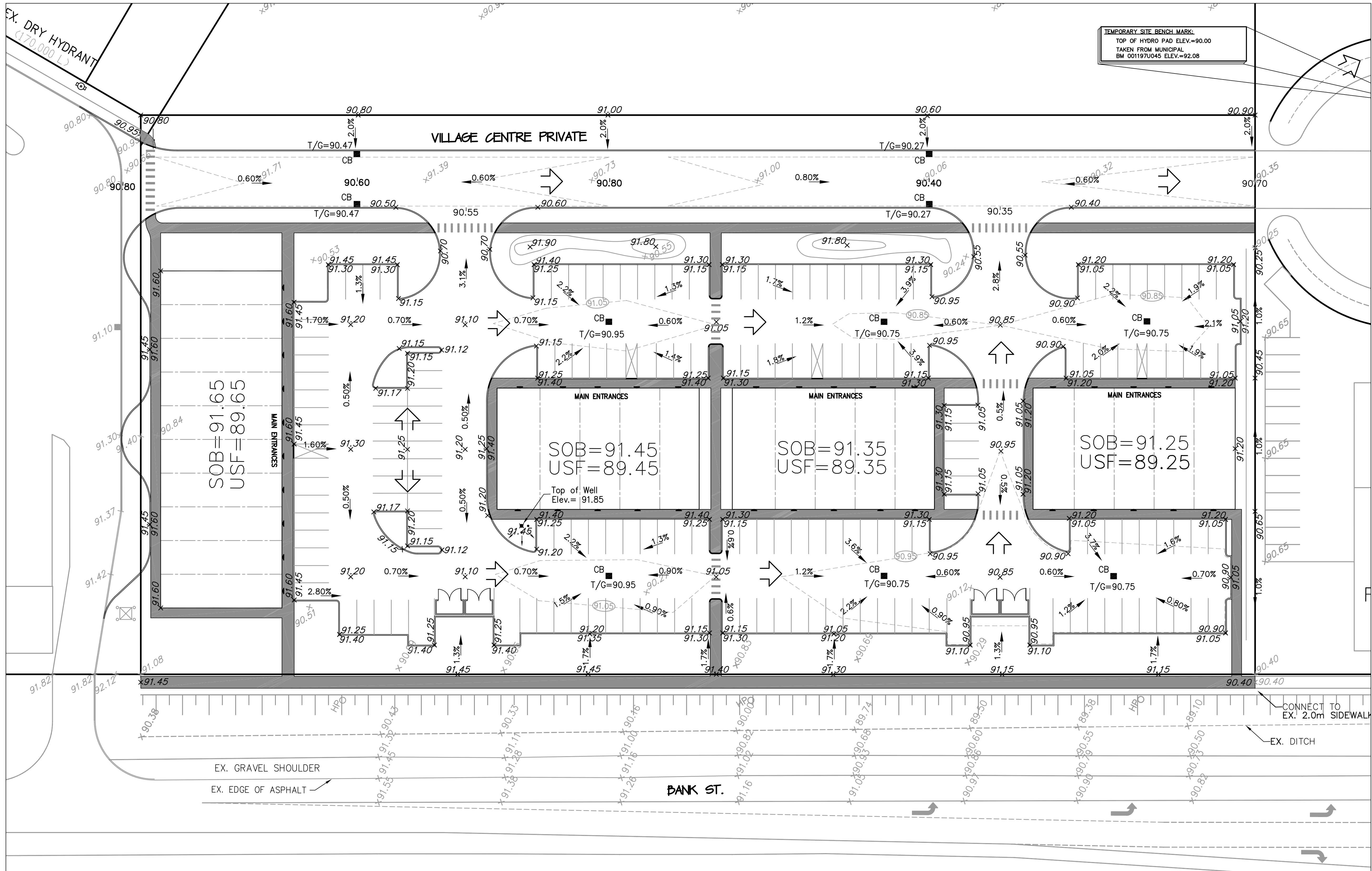
REV-2

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Drawing No.

GP



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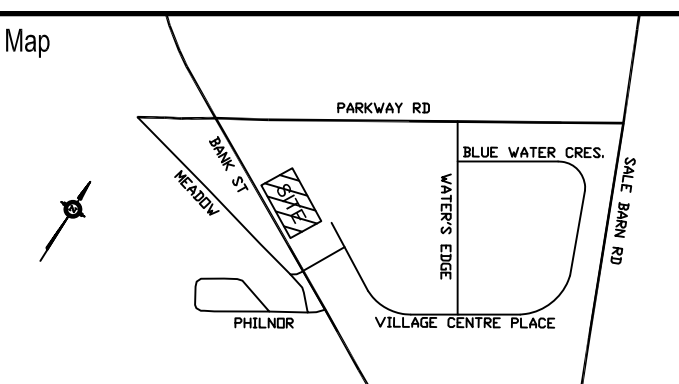
Legend

- MAJOR DRAINAGE SYSTEM
DRAINAGE AREA
SITE AREA
RUNOFF COEFFICIENT

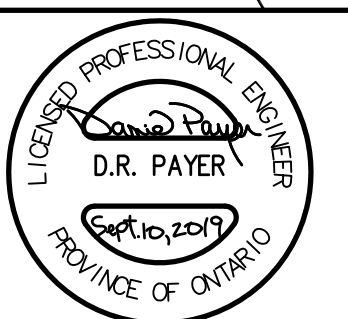
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Location Map



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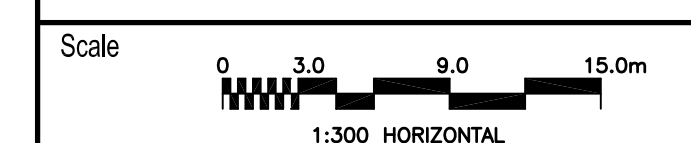


Client / Project

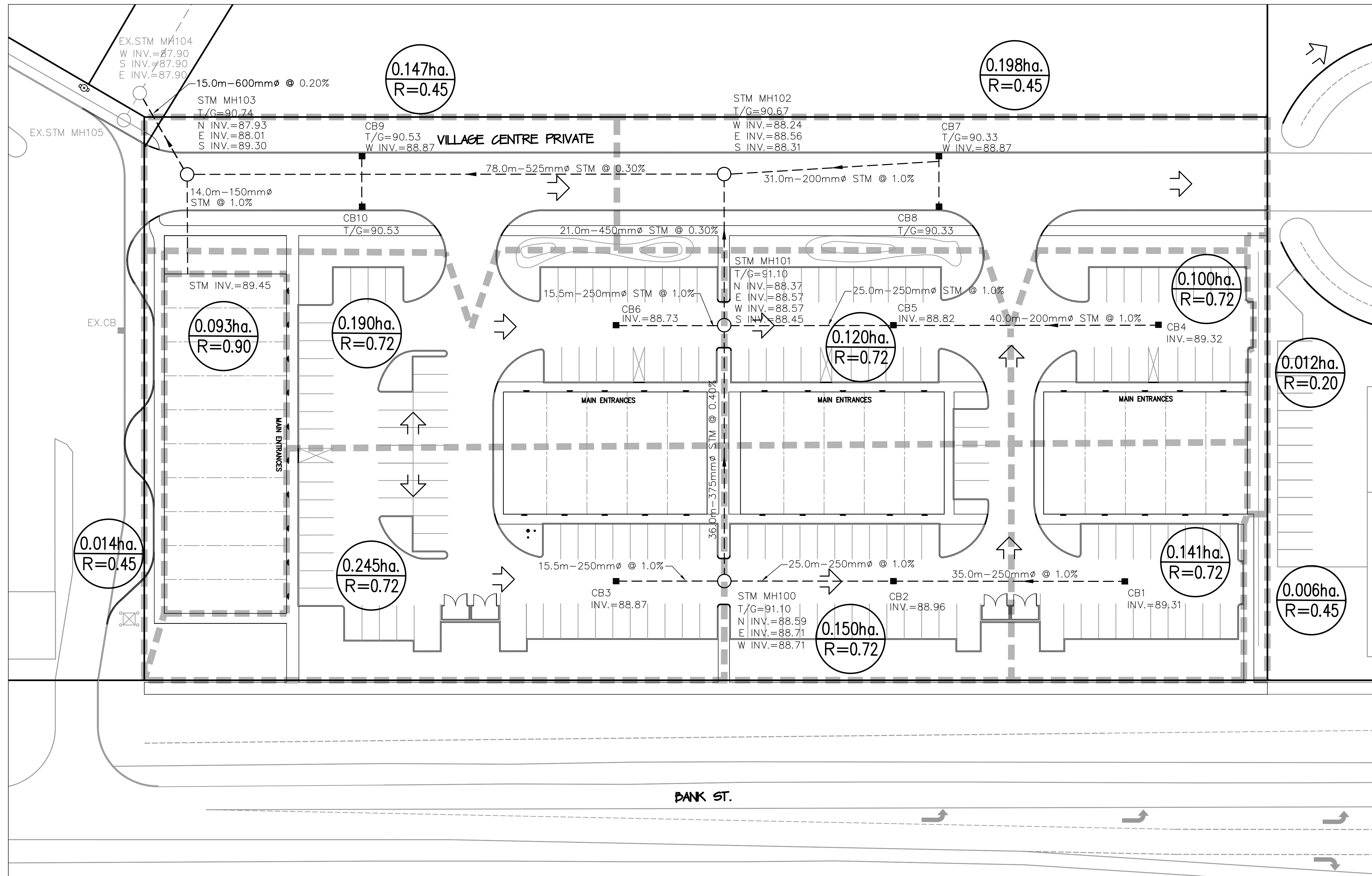
GREELY FAMILY FARM INC.
6075 BANK ST.

Drawing Name

DRAINAGE AREA PLAN



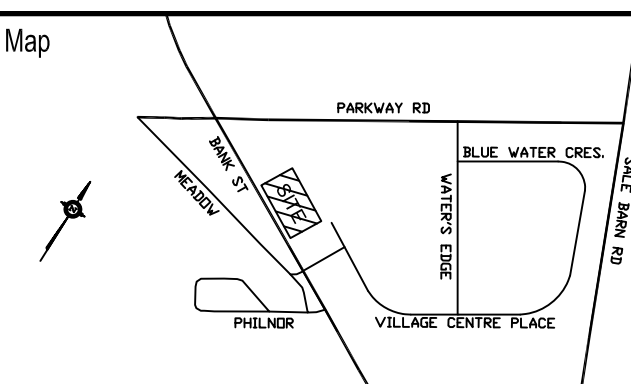
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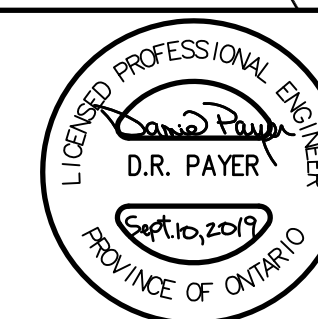
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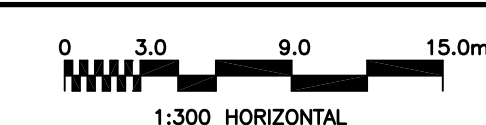
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6075 BANK ST.

Drawing Name

OFF-SITE DRAINAGE PLAN

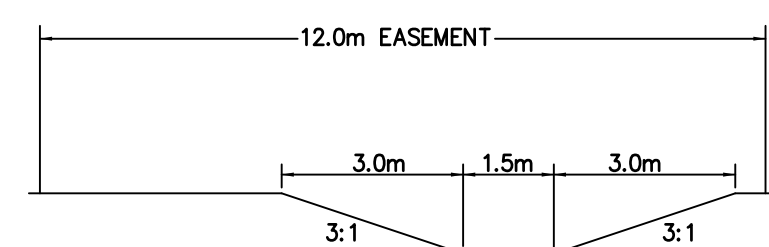
Scale



Revision
REV-2

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OS



SECTION A - A

