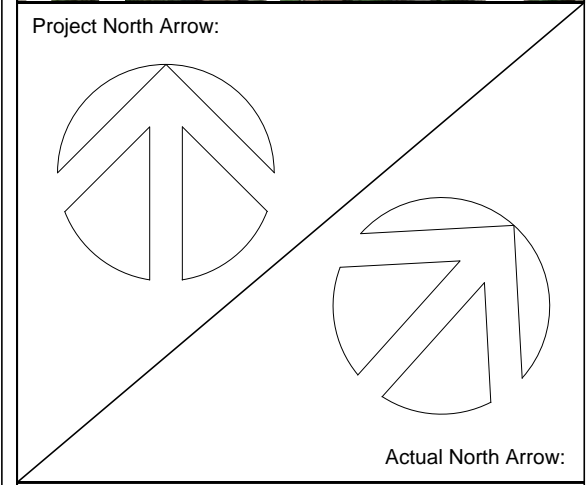


No.:	Issued For:	Date:
01	For Coordination	August 29, 2019
02	For Site Plan Approval	September 3, 2019

- It is the responsibility of the appropriate Contractor to verify all dimensions on site and report all errors and/or omissions to the Architect. All Contractors must comply with permit codes & by-laws. Do not scale drawings. This drawing may not be used for construction until signed. Architect's copyright reserved. Metric Scale Drawing. All measurements are in millimeters (mm) unless otherwise noted.
- Symbol Legend:
- DENOTES PROPOSED BUILDING
  - ▤ DENOTES EXISTING BUILDING
  - - - DENOTES LINE OF CONSTRUCTION ABOVE
  - ▨ DENOTES LANDSCAPE AREA
  - ▨ DENOTES UNIT PAVING
  - ▨ DENOTES CONCRETE SURFACE
  - ▨ DENOTES EXISTING BUILDING TO BE REMOVED
  - - - DENOTES PROPERTY LINE
  - - - DENOTES SITE SETBACK
  - - - DENOTES C/L STREET AND/OR FIRE ACCESS ROUTE
  - ▲ DENOTES BUILDING ENTRANCES
  - DC DENOTES DEPRESSED CURB
  - ♿ DENOTES ACCESSIBLE PARKING SPACE
  - ♿ DENOTES 300mm (W) x 450mm (H) ALUMINUM SIGN
  - ♿ DENOTES 610mm (D) TACTILE WALKING SURFACE INDICATOR (TWSI) SET 150mm BACK FROM EDGE OF DEPRESSED CURB
  - ▨ DENOTES ACCESS AISLE FOR ACCESSIBLE PARKING SPACE WITH HIGH COLOUR CONTRASTS DIAGONAL PAVEMENT MARKING
  - ||||| DENOTES BICYCLE RING RACK
  - DENOTES BOLLARD



<b>1</b> A1.0	<b>Site Plan</b> 1:200
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<b>Site Information:</b>	<b>Building Information:</b>
Municipal Address: 5986-5992 Hazeldean Road, Ottawa ON	Proposed Mixed-Use Building
Legal Description: Part of Lot 25, Concession 11, Township of Goulbourn, City of Ottawa	Footprint Area: 594.3m <sup>2</sup> (6,397ft <sup>2</sup> )
Total Site Area: 0.3542 hectares (0.8752473 acres), 3,542m <sup>2</sup> (38,126ft <sup>2</sup> ) - Parts 1 & 2	1st Floor Gross Floor Area: 460.1m <sup>2</sup> (4,952ft <sup>2</sup> ) * - (3) Group 'D' Personal Service Businesses
Survey Information: This site plan has been compiled using the July 26, 2019 - Topographic Survey prepared & issued by Fairhall, Moffat & Woodland Ltd., Ontario Land Surveyors	2nd Floor Gross Floor Area: 511.7m <sup>2</sup> (5,508ft <sup>2</sup> ) * - (1) Group 'D' Office
	3rd Floor Gross Floor Area: 459.2m <sup>2</sup> (4,943ft <sup>2</sup> ) * - (6) Group 'C' Residential Dwelling Units
	Total Gross Floor Area: 1,431.0m <sup>2</sup> (15,403ft <sup>2</sup> ) *
<b>Zoning Information:</b>	* Area measured from the interiors of outside walls and including floor area occupied by interior walls but excluding floor area occupied by shared mechanical, service and electrical equipment that serve the building, common hallways, corridors, stairwells, elevator shafts and other voids as per the City of Ottawa Zoning By-Law 2008-250 Consolidation - Section 54 - Gross Floor Area.
Zoning Designation: GM14 H(1) - Area C (Schedule 1A)	Number of Storeys: (3) above grade Proposed Building Height: 10.973m (±36'-0") **
Minimum Lot Area: No minimum	** Vertical distance measured from average grade to the highest point of the flat roof surface as per the City of Ottawa Zoning By-Law 2008-250 Consolidation - Section 54 - Building Height (a).
Minimum Lot Width: No minimum	Proposed Projection Above Building Height Limit: 12.016m (±39'-5") ***
Minimum Front Yard: 3.0m (Hazeldean Road)	*** Permitted projection above the building height limit (top of the flat roof surface) for mechanical shaft and elevator penthouses as per the City of Ottawa Zoning By-Law 2008-250 Consolidation - Section 64 - Permitted Projections Above the Height Limit.
Minimum Corner Yard for Non-Residential Use or Mixed-Use Building Abutting a Residential Zone: 5.0m	<b>Existing One-Storey Building</b>
Minimum Interior Side Yard for a Residential Use Building Equal or Lower than 11.0m in Height: 1.2m	Footprint Area: ±252.9m <sup>2</sup> (±2,722ft <sup>2</sup> )
Minimum Rear Yard for a Lot Line Abutting a Residential Zone: 7.5m	1st Floor Gross Floor Area: ±238.2m <sup>2</sup> (±2,564ft <sup>2</sup> ) * - (1) Group 'E' Retail Equipment Rental Establishment
Maximum Building Height: 11.0m (36'-1")	* Area measured from the interiors of outside walls and including floor area occupied by interior walls as per the City of Ottawa Zoning By-Law 2008-250 Consolidation - Section 54 - Gross Floor Area.
Maximum Floor Space Index: N/A	Number of Storeys: (1) above grade Existing Building Height: <11m (36'-1") **
Maximum Gross Floor Area: 35,000m <sup>2</sup>	** Vertical distance measured from average grade to the mid-point of the sloped garage roof as per the City of Ottawa Zoning By-Law 2008-250 Consolidation - Section 54 - Building Height (c).
Minimum Width of Landscaped Area Abutting a Street and a Residential Zone: 3.0m	

<b>Site Coverage:</b>	<b>Bicycle Parking Information:</b>
Combined Areas for Proposed Mixed-Use Building & Existing One-Storey Building	<b>Bicycle Parking Requirements</b>
Total Footprint Area: = 594.3m <sup>2</sup> (6,397ft <sup>2</sup> ) + ±252.9m <sup>2</sup> (±2,722ft <sup>2</sup> ) = ±847.2m <sup>2</sup> (±9,119ft <sup>2</sup> )	1st Floor Personal Service Businesses [Table 111A (f)]: = 1 space / 500m <sup>2</sup> GFA = 460.1m <sup>2</sup> / 500m <sup>2</sup> = 1 bicycle space
Total Gross Floor Area: = 1,431.0m <sup>2</sup> (15,403ft <sup>2</sup> ) + ±238.2m <sup>2</sup> (±2,564ft <sup>2</sup> ) = ±1,669.2m <sup>2</sup> (±17,967ft <sup>2</sup> )	2nd Floor Office [Table 111A (e)]: = 1 space / 250m <sup>2</sup> GFA = 511.7m <sup>2</sup> / 250m <sup>2</sup> = 3 bicycle spaces
<b>Building &amp; Landscape Coverage</b>	3rd Floor Residential [Table 111A (b)(i)]: = 0.5 space per dwelling unit = 0.5 x 6 dwelling units = 3 bicycle spaces
Proposed Mixed-Use Building + Existing One-Storey Building Coverage: = ±847.2m <sup>2</sup> / 3,542m <sup>2</sup> = 23.9%	Existing One-Storey Retail [Table 111A (e)]: = 1 space / 250m <sup>2</sup> GFA = ±238.2m <sup>2</sup> / 250m <sup>2</sup> = 1 bicycle space
Soft Landscaping (Vegetated) Coverage: = 1,053m <sup>2</sup> / 3,542m <sup>2</sup> = 29.7%	Total Bicycle Parking Required: = 8 bicycle parking spaces
Hard Landscaping (Non-Vegetated) Coverage: = 305m <sup>2</sup> / 3,542m <sup>2</sup> = 8.6%	Total Bicycle Parking Provided: = 8 bicycle parking spaces consisting of: (1) 2-sided 'Maglin MBR300' 6-ring (8) capacity bicycle rack
Asphalt Parking Coverage: = 1,337m <sup>2</sup> / 3,542m <sup>2</sup> = 37.8%	
Floor Space Index: = ±1,669.2m <sup>2</sup> / 3,542m <sup>2</sup> = 0.47	

<b>Parking Information:</b>	<b>Loading Space Information:</b>
<b>Proposed Mixed-Use Building Parking Requirements</b>	<b>Loading Space Requirements</b>
1st Floor Personal Service Businesses [Table 101 (N64)]: = 3.4 spaces / 100m <sup>2</sup> GFA = 460.1m <sup>2</sup> / 100m <sup>2</sup> x 3.4 = 15.6 parking spaces required	1st Floor Personal Service Businesses & 2nd Floor Office [Table 113A (b) & (d)]: = <1,000m <sup>2</sup> GFA @ 971.8m <sup>2</sup> = 0 loading spaces required
2nd Floor Office [Table 101 (N59)]: = 2.4 spaces / 100m <sup>2</sup> GFA = 511.7m <sup>2</sup> / 100m <sup>2</sup> x 2.4 = 12.3 parking spaces required	3rd Floor Residential [Table 113A (e)]: 6 dwelling units = 0 loading spaces required
3rd Floor Residential [Table 101 (R15)]: = 1 space / dwelling unit = 6 dwelling units x 1 = 6 parking spaces required	Existing One-Storey Retail [Table 113A (c)]: = <2,000m <sup>2</sup> GFA @ ±238.2m <sup>2</sup> = 0 loading spaces required
3rd Floor Residential Visitor [Table 102]: = 0.2 space / dwelling unit = 6 dwelling units x 0.2 = 2 parking spaces required	
<b>Existing One-Storey Building Parking Requirements</b>	
1st Floor Retail [Table 101 (N79)]: = 3.4 spaces / 100m <sup>2</sup> GFA = ±238.2m <sup>2</sup> / 100m <sup>2</sup> x 3.4 = 8.1 parking spaces required	
<b>Total Parking Requirements</b>	
Total Parking Required on Site: = 44 parking spaces	
Total Parking Provided on Site: = 44 parking spaces consisting of:	
(1) regular spaces @ 2.6m x 5.2m	
(1) Type A accessible space @ 3.4m x 5.2m w/ 1.5m access aisle	
(2) Type B accessible spaces @ 2.4m x 5.2m w/ 1.5m access aisle	

<b>Project Title:</b>	<b>Job No.:</b>	<b>1817</b>	<b>Drawing No.:</b>
Proposed Mixed-Use Building 5986-5992 Hazeldean Road, Ottawa ON	<b>Scale:</b>	<b>As Noted</b>	<b>A1.0</b>
<b>Drawing List:</b>	<b>Date:</b>	<b>August 29, 2019</b>	
<b>Site Plan</b>	<b>Drawn By:</b>	<b>Reviewed By:</b>	
	<b>TB</b>	<b>PM</b>	