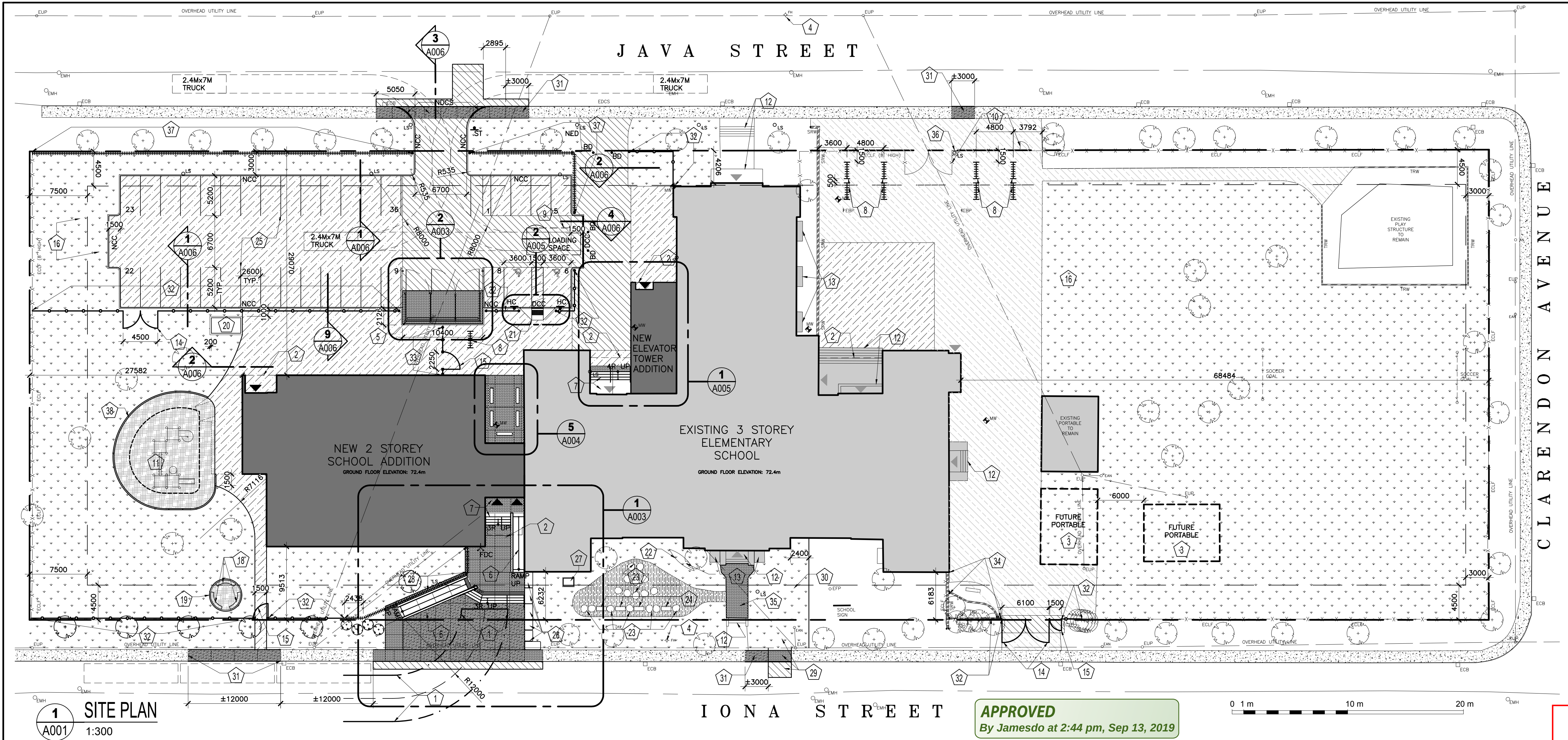
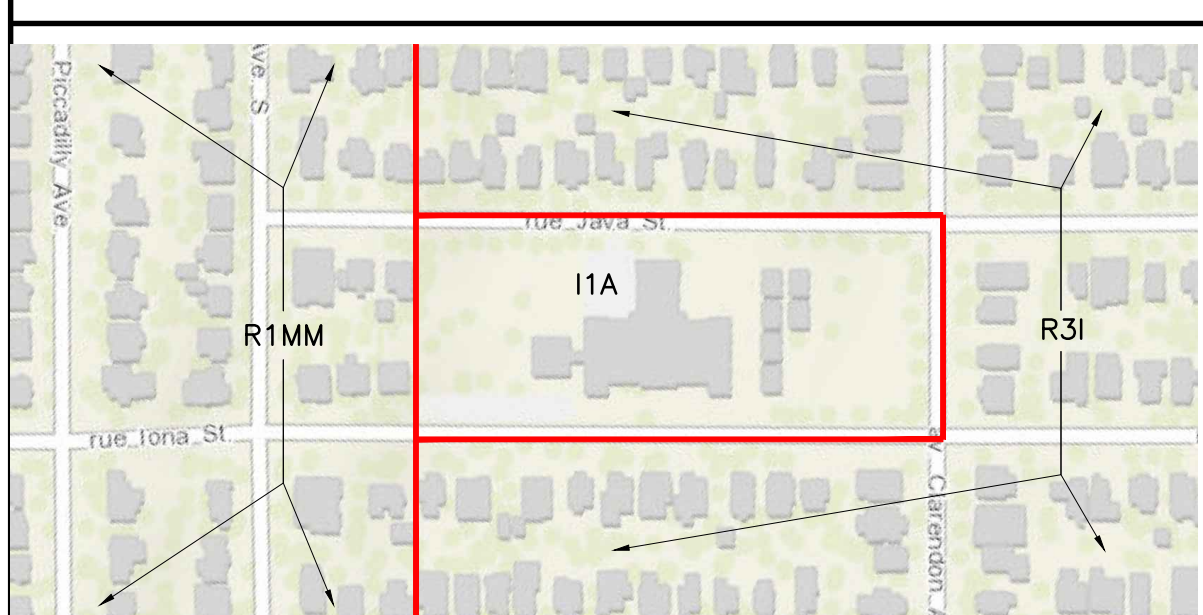




SITE PLAN LEGEND

	BARRIER FREE PARKING - PAVEMENT MARKING		EXISTING MAN HOLE (REFER TO CIVIL)		EXISTING DEPRESSED CURB AND SIDEWALK
	EXISTING BUILDING ENTRANCE/EXIT		EXISTING CATCH BASIN (REFER TO CIVIL)		EXISTING TREE TO REMAIN
	NEW BUILDING ENTRANCE/EXIT		EXISTING UTILITY POLE (REFER TO CIVIL)		NEW SMALL TREE
	NEW CONCRETE CURB		EXISTING UTILITY POLE ANCHOR (REFER TO CIVIL)		CLUSTER OF EXISTING TREES TO REMAIN
	DEPRESSED CONCRETE CURB		EXISTING FLAG POLE (REFER TO CIVIL)		NEW BOLLARD
	NEW SEMI-MOUNTABLE DEPRESSED CURB REFER TO OPSD-600.090		EXISTING FIRE HYDRANT		
	NEW DEPRESSED CURB AND SIDEWALK REFER TO CITY OF OTTAWA STANDARD DETAIL 'CURB RETURN ENTRANCES' SC7.1		EXISTING BASKETBALL POST		FIRE ROUTE SIGN
	NEW FIRE DEPARTMENT CONNECTION		EXISTING CHAINLINK FENCE		HANDICAPPED PARKING SIGN
	NEW CHAINLINK FENCE (6' HIGH)		EXISTING TIMBER RETAINING WALL		NO ENTRY, DELIVERIES ONLY SIGN
	NEW CHAINLINK FENCE (4' HIGH)		EXISTING STONE RETAINING WALL		STOP SIGN
	NEW ORNAMENTAL ALUMINUM FENCE (6' HIGH)				



2 ZONING MAP

A001 N.T.S

SITE PLAN NOTES

- FIRE ROUTE - 6M WIDE
- CANOPY OR ROOF OVERHANG ABOVE
- LOCATION OF FUTURE PORTABLES.
- EXISTING FIRE HYDRANT
- NEW GARBAGE ENCLOSURE
- NEW CONCRETE RAMP
- NEW CONCRETE STEPS AND LANDING
- NEW BICYCLE RACKS
- LOADING SPACE (3.5M x 7.0M)
- EXISTING GATE TO REMAIN
- LOCATION OF NEW PLAY STRUCTURE PROVIDED AND INSTALLED BY OWNER
- EXISTING CONCRETE STEPS TO REMAIN 5/A005
- EXISTING WINDOW WELL TO REMAIN 5/A005
- NEW DOUBLE CHAIN LINK GATE, 6' HIGH. SEE PLANS FOR WIDTH. ALSO REFER TO DETAIL 1/A004
- NEW SINGLE CHAIN LINK GATE, 6' HIGH. SEE PLANS FOR WIDTH. ALSO REFER TO DETAIL 1/A004
- SNOW STORAGE AREA
- NOT USED
- RELOCATED EXISTING BENCH
- CONCRETE CURB 2/A005
- RELOCATED EXISTING CONCRETE SHED ON 600MM DEEP COMPACTED GRANULAR 'A' BASE
- BARRIER FREE CURB WITH TACTILE INDICATORS REFER TO DETAIL 4/A004
- REINSTATED EXISTING CANOE
- REINSTATED EXISTING ROCK
- REINSTATED EXISTING TIMBER BENCHES
- NEW PAINTED PARKING PAVEMENT MARKINGS, TYP'L
- ARMOR STONE RETAINING WALL
- NEW TRANSFORMER ON EXISTING CONCRETE PAD
- ORNAMENTAL ALUMINUM FENCE (6' HIGH)
- PROVIDE NEW ASPHALT, CONCRETE WALK, CURB AND SOD AS REQUIRED FOR SERVICES WORK. REFER TO CIVIL FOR ADDITIONAL INFORMATION.
- EXTENT OF NEW SOD AND TOPSOIL SHALL NOT BE LIMITED TO AREA SHOWN. PROVIDE NEW SOD AND TOPSOIL TO REPLACE DAMAGED SOD DUE TO CONSTRUCTION AND DEMOLITION ACTIVITIES.
- NEW CONCRETE SIDEWALK/CURB IN PLACE OF REMOVED BROKEN SIDEWALK AND BETWEEN EXISTING CONTROL JOINTS
- NEW CHAIN LINK FENCE, 6' HIGH.
- NEW CHAIN LINK FENCE AND GATE, 4' HIGH.
- EXISTING HEAVY TIMBER RETAINING WALL TO REMAIN.
- NEW SIDEWALK
- NEW LIGHT STANDARD, SEE ELECTRICAL DRAWINGS. PAVING TO BE REDONE
- NEW ORNAMENTAL ALUMINUM FENCE (4' HIGH)
- CONCRETE CURB, SEE LANDSCAPING DRAWINGS.
- REINSTATE ASPHALT AT LOCATION OF REMOVED UNDERGROUND STORAGE TANK. REFER TO CM3 REPORT FOR ADDITIONAL INFORMATION.

SITE DATA

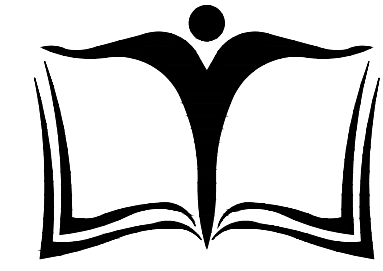
LOT AREA	11,547 m ²	TOPOGRAPHICAL AND SURVEY INFORMATION PROVIDED BY FARLEY, SMITH & DENIS SURVEYING LTD.
FOOTPRINT		(613)727-8226 FAX (613)727-1826 File No: 498-18
EXISTING SCHOOL FOOTPRINT	1679 m ²	
EXISTING 1 PORTABLE FOOTPRINT	72 m ²	
FUTURE 2 PORTABLES FOOTPRINT	144 m ²	
NEW SCHOOL ADDITION FOOTPRINT	690 m ²	
GROSS FLOOR AREA (AS PER CITY OF OTTAWA ZONING BY-LAW DEFINITION)	2656.9 m ²	LEGAL DESCRIPTION: LOTS 2241 TO 2266 (BOTH INCLUSIVE)
EXISTING SCHOOL	72 m ²	REGISTERED PLAN M-48
EXISTING 1 PORTABLE TO REMAIN	72 m ²	CITY OF OTTAWA
NEW SCHOOL GROSS FLOOR AREA	921.7 m ²	
FUTURE PORTABLES GROSS FLOOR AREA	144 m ²	
TOTAL GROSS FLOOR AREA	3794.6 m ²	

CITY OF OTTAWA ZONING

REQUIRED	PROVIDED
ZONING - I1A SUBZONE MATURE NEIGHBOURHOODS OVERLAY SCHEDULE 1 - AREA A SCHEDULE 1A - AREA X	
LOT AREA MIN. 400.0m ²	11,547m ²
LOT WIDTH MIN. 15.0m	61.01 m
LOT COVERAGE MAX. 35%	20.52 %
BUILDING HEIGHT EXISTING MAX. 15.0m	14.95 m
BUILDING HEIGHT ADDITION MAX. 15.0m	9.00 m
FRONT YARD SETBACK MIN. 3.0m	68.48 m
REAR YARD SETBACK MIN. 7.5m	27.58 m
CORNER YARD NORTH SETBACK MIN. 4.5m	EXISTING 6.2 m
CORNER YARD SOUTH SETBACK MIN. 4.5m	EXISTING 4.2 m

PARKING CALCULATIONS

MOTOR VEHICLE PARKING (EXISTING 36 PARKING STALLS)			
REQUIRED	25 CLASSROOMS + 3 PORTABLES = 28 TOTAL		
USE	No. CLASS	SPACES PER	SPACES REQ'D
SCHOOL AND PORTABLES	28	0.75/CLASS	21
TOTAL REQUIRED PARKING SPACES			21 SPACES
TOTAL REQUIRED PARKING SPACES FOR THE PHYSICALLY DISABLED PER CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARD 3.1.2 TABLE 3.			2 SPACES
PROVIDED	SPACES @ 5.2m X 2.6m		34 SPACES
	BARRIER FREE SPACES @ 5.2m X 3.66m		2 SPACES
TOTAL SPACES PROVIDED			36 SPACES
BICYCLE PARKING (0.6m X 1.8m)			
REQUIRED	USE	GROSS AREA	SPACES PER
	SCHOOL	3794m ²	1 / 100m ²
	TOTAL REQUIRED PARKING SPACES		38 SPACES
PROVIDED	TOTAL SPACES PROVIDED		90 SPACES
LOADING SPACES (3.5m X 7m)			
REQUIRED	USE	GROSS AREA	TABLE 113A
	SCHOOL	3794m ²	COLUMN V
	TOTAL REQUIRED PARKING SPACES		1 SPACES
PROVIDED	TOTAL SPACES PROVIDED		1 SPACES



OTTAWA-CARLETON
DISTRICT SCHOOL BOARD

3	3	2019/09/18	RESPONSE TO CITY'S COMMENTS
3	2	2019/06/17	RESPONSE TO CITY'S COMMENTS
3	1	2019/06/11	RESPONSE TO CITY'S COMMENTS
3	0	2019/06/07	RESPONSE TO CITY'S COMMENTS
2	0	2019/04/26	RESPONSE TO CITY'S COMMENTS
1	0	2018/12/17	ISSUED FOR SITE PLAN CONTROL

ISSUE NO.	REV.	NO.	DATE	ISSUE

LES IDEES, CONCEPTS, DISPOSITIONS ET PLANS MONTRÉS OU REPRÉSENTÉS PAR CE DESSIN APPARTIENNENT À EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC. ET ONT ÉTÉ CRÉÉS, ET DÉVELOPPÉS POUR ÊTRE UTILISÉS DANS LE CADRE DU PRÉSENT PROJET. ILS NE DOIVENT PAS ÊTRE UTILISÉS À D'AUTRES FINS NI COMMUNIQUÉS À QUI QUE CE SOIT SANS LA PERMISSION ÉCRITE DE EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC.

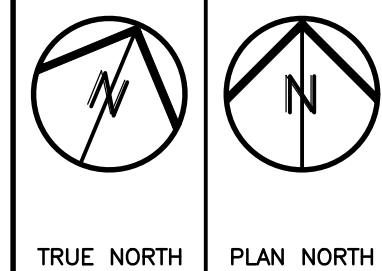
L'ARCHITECTE DÉCLINE TOUTE RESPONSABILITÉ DÉCOULANT DE PROBLÈMES FAISANT SUITE AU NON RESPECT DES PLANS ET DEVIS OU DE L'INTENTION DU CONCEPT QU'ILS TRANSMETTENT, OU DE TOUTS PROBLÈMES POUVANT RÉSULTER DU DÉFAUT DE TIERS D'OBTENIR OU DE SUIVRE LES INSTRUCTIONS DE L'ARCHITECTE RELATIVEMENT AUX ERREURS, OMISSIONS, INCONSISTENCES, AMBIGUITÉS OU CONTRADICTIONS ALLEGUÉS.

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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS



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DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

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PROJECT TITLE/TITRE DU PROJET
ELMTLE PUBLIC SCHOOL
ADDITION AND RENOVATION
49 IONA STREET, OTTAWA, ON
K1Y 3L9

OTTAWA-CARLETON DISTRICT SCHOOL BOARD
133 GREENBANK ROAD
NEPEAN, ONTARIO, K2H 6L3

DRAWING TITLE/TITRE DU DESSIN
SITE PLAN

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