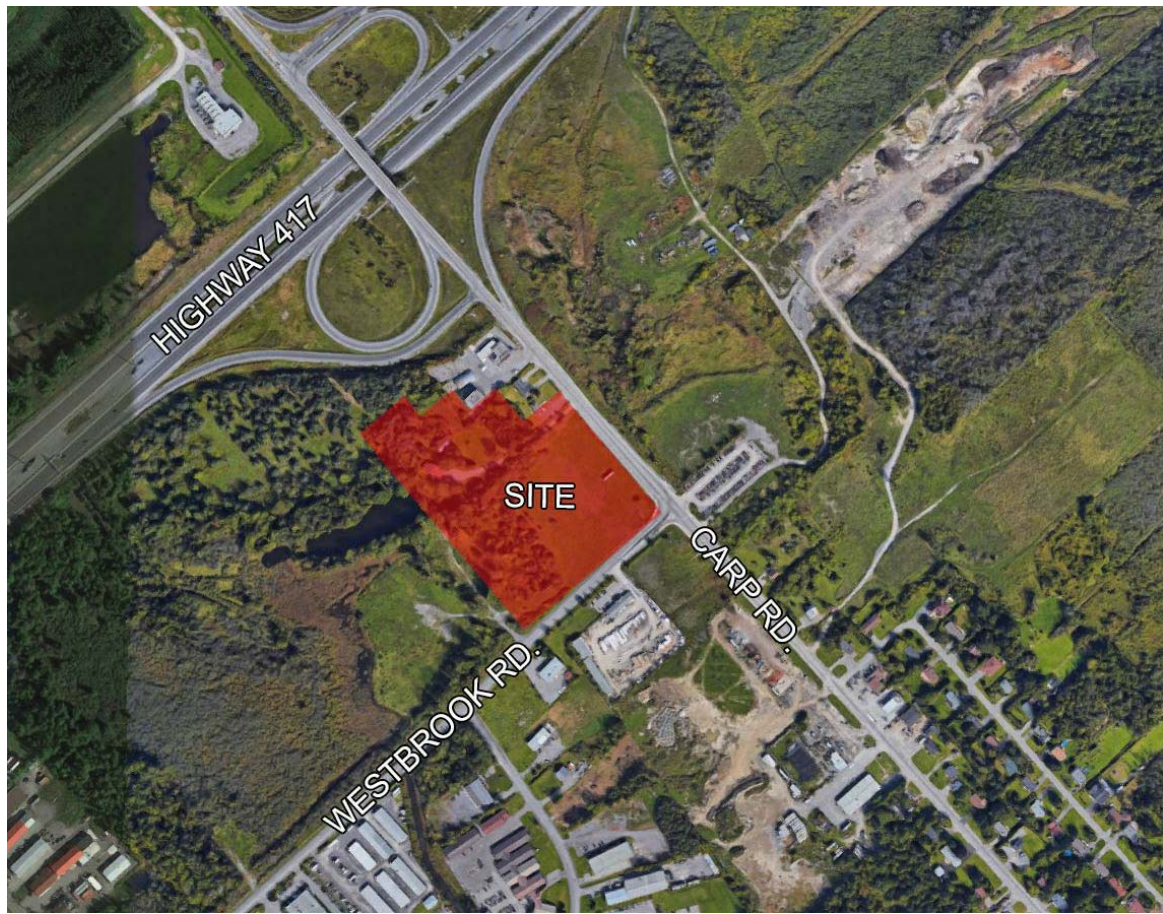
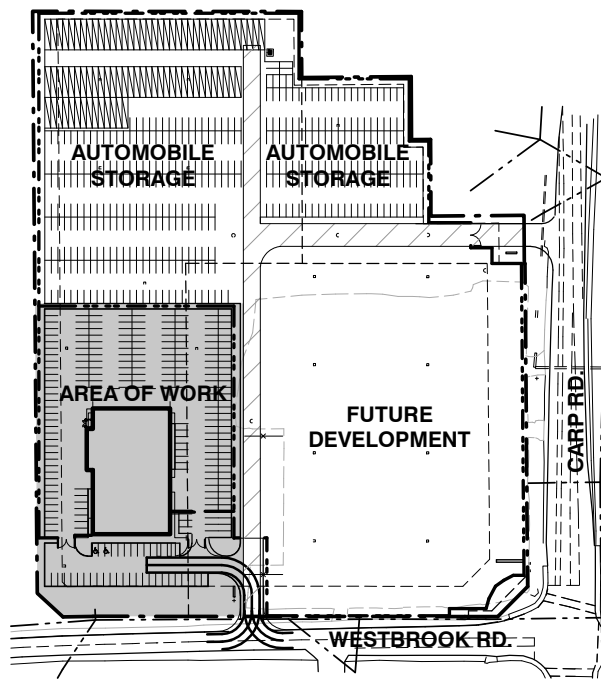




1 LOCATION PLAN
A100 SCALE N.T.S.



2 KEY PLAN
A100 SCALE 1 : 3000



PHOTO SHOWING PROPOSED IRON FENCE DESIGN
IRON EAGLE '1 SERIES' FENCE, MODEL 2100
(OR APPROVED EQ)
FENCE TO BE 1.5m HIGH, POSTS SPACED @ 2.5m MAX.

Owner:
ZENA INVESTMENT CORPORATION
1200 BASELINE ROAD
OTTAWA, ONTARIO K2C 0A6
Tel: (613) 592-2221 ext. 322
Fax: (613) 592-2221
e-mail: gavin@myers.ca

Mechanical & Electrical Engineer:
M & E ENGINEERING
205 KINCARDINE DRIVE
OTTAWA, ONTARIO K2V 1C5
Tel: (613) 836-3420
Fax: (613) 836-5957
e-mail: massoud@meengineering.ca

Project Manager:
BBS CONSTRUCTION (ONTARIO) LTD.
1805 WOODWARD DRIVE
OTTAWA, ONTARIO K2C 0P9
Tel: (613) 226-8830
Fax: (613) 226-7709
e-mail: trits@bbsconstruction.ca

Civil Engineer:
McINTOSH PERRY CONSULTING ENGINEERING LTD.
115 WALGREEN ROAD
CARP, ONTARIO K0A 1L0
Tel: (613) 836-2184
Fax: (613) 836-3742
e-mail: jjonker@mcintoshperry.com

Landscape Architect:
GINO J. AIELLO LANDSCAPE ARCHITECT
50 CAMELOT DRIVE
OTTAWA, ONTARIO K2G 5X8
Tel: (613) 852-1343
Fax: (613) 852-1343
e-mail: gino@giola.com

Project Zoning Review/Statistics

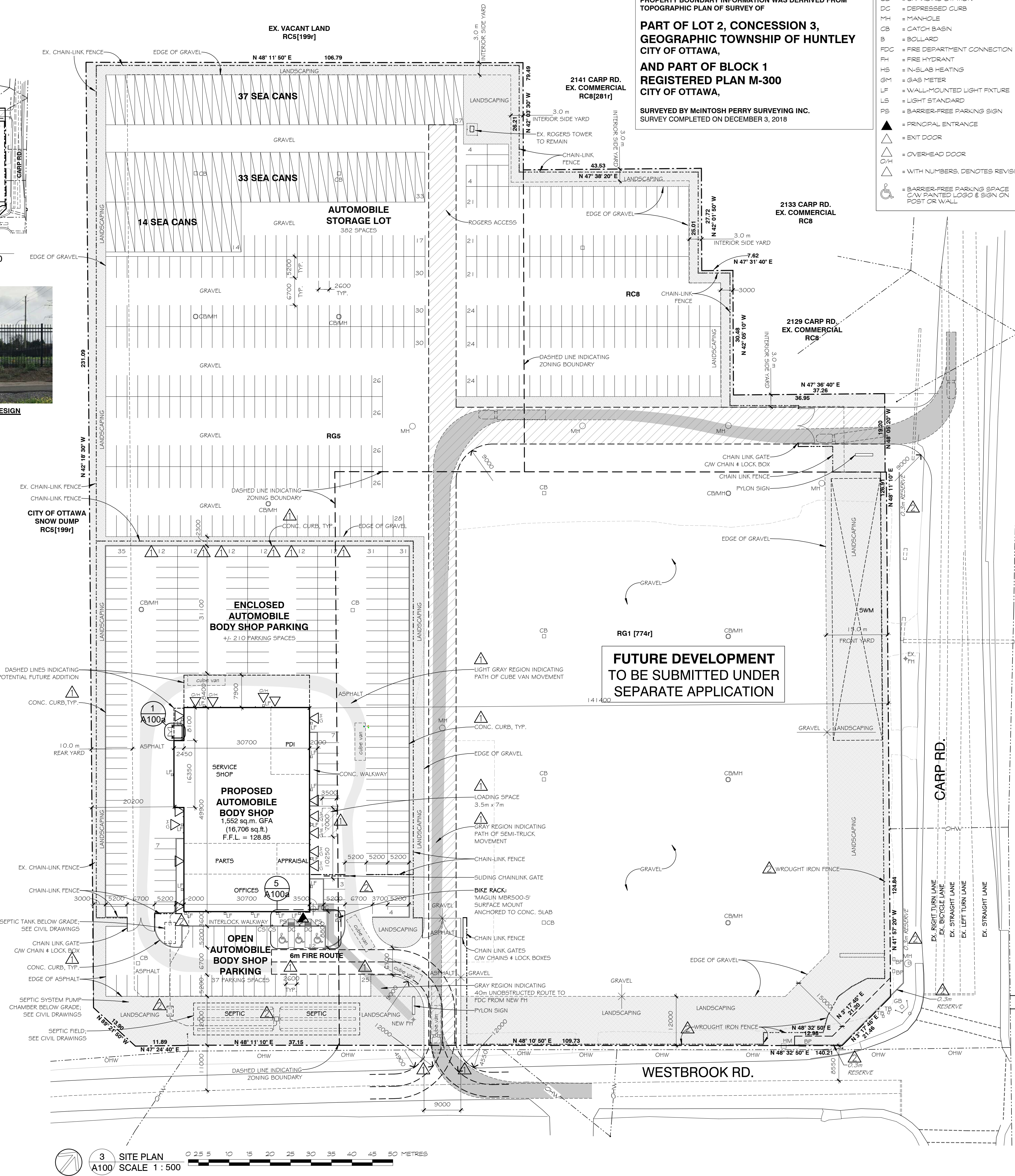
Municipality: City of Ottawa
Municipal Address: 2113 Carp Rd.
Registered Owner: Zena Investment Corporation
Lot Area: 42,148sq.m. (453,680 sq.ft. (10.4 acres))

Zoning Analysis
Ottawa
Zoning By-law: 2008-250
Zone: RG1 [774r] / RG5 / RC8
Proposed Use: Automobile Body Shop / Automobile Storage Lot

Building Areas	Gross (out-to-out)	
	Sq.m.	Sq.ft.
Ground Floor		
Service Area	1,253	13,481
Ancillary Offices	278	2,995
Mezzanine	1,531	16,476
	21	230
Totals	1,552	16,706

Development Standards		
	Required	Provided
Minimum Lot Area	4,000 sq.m.	42,148 sq.m.
Minimum Lot Width	30m	194.8m
Minimum Required Yard		
Front Yard (Carp Rd.)	15m	141.4m
Corner Side Yard (Westbrook Dr.)	12m	32.6m
Interior Side Yard	4.5m	157.7m
Rear Yard	7.5m	22.3m
Maximum Building Height	15m	7.61m
Maximum Lot Coverage	25%	3.70%
Minimum Width of Landscaping		
Abutting a Street	3m	3m
All other cases	No min.	3m
Parking Spaces		
Service (Body Shop)		
- 3/bay @ 17 bays	51	
Offices		
- 2.4 /100 sq.m @ 278sq.m.	8	
Total	59	233
Loading Spaces (3.5m x 7m)	1	1
Bicycle Parking (1/1500 sq.m. @ 1,552 sq.m.)	1	2
Parking for Physically Disabled	3	3

Area 'D' on Schedule 1A



LEGAL DESCRIPTION:

PROPERTY BOUNDARY INFORMATION WAS DERIVED FROM TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOT 2, CONCESSION 3, GEOGRAPHIC TOWNSHIP OF HUNTLEY CITY OF OTTAWA, AND PART OF BLOCK 1 REGISTERED PLAN M-300 CITY OF OTTAWA,
SURVEYED BY MCINTOSH PERRY SURVEYING INC. SURVEY COMPLETED ON DECEMBER 3, 2018

LEGEND:

- CS = CHARGING STATION
- DC = DEPRESSED CURB
- MH = MANHOLE
- CB = CATCH BASIN
- B = BOLLARD
- FDC = FIRE DEPARTMENT CONNECTION
- FH = FIRE HYDRANT
- HS = IN-SLAB HEATING
- GM = GAS METER
- LF = WALL-MOUNTED LIGHT FIXTURE
- LS = LIGHT STANDARD
- PS = BARRIER-FREE PARKING SIGN
- ▲ = PRINCIPAL ENTRANCE
- △ = EXIT DOOR
- △/H = OVER-HEAD DOOR
- △/N = WITH NUMBERS, DENOTES REVISION
- △/P = BARRIER-FREE PARKING SPACE
- △/W = PAINTED LOGO & SIGN ON POST OR WALL

REVISIONS:

No.	DATE	DESCRIPTION
1	MAR 12/19	RESPONSE TO PLANNING COMMENTS
2	JUL 5/19	RESPONSE TO PLANNING COMMENTS
3	AUG 15/19	RESPONSE TO PLANNING COMMENTS

PERMIT	
TENDER	
CONSTRUCTION	

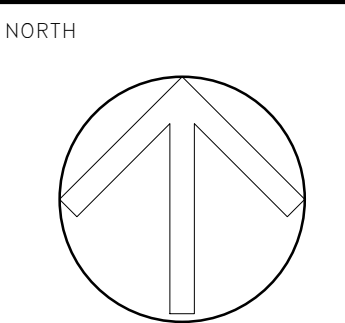
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. DO NOT SCALE DRAWINGS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. COPYRIGHT RESERVED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF KWC ARCHITECTS INC. AND SHALL NOT BE USED WITHOUT THE ARCHITECT'S CONSENT.



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Ottawa Ontario Canada K1Y 4R4

KWC ARCHITECTS INC.

PHONE (613) 238-2117
FAX (613) 238-6595
E MAIL kwc@kwc-arch.com



ARCHITECT'S/ENGINEER'S STAMP



BBS CONSTRUCTION (ONTARIO) LTD.
1805 WOODWARD DRIVE,
OTTAWA, ON K2C 0P9 CANADA
TEL.613-226-8830 FAX:613-226-7709

OWNER
ZENA INVESTMENT CORPORATION

PROJECT
PROPOSED AUTOMOBILE BODY SHOP 'MYERS CARSTAR CARP RD.'
2113 CARP RD.
OTTAWA, ON.

DRAWING TITLE
SITE PLAN

PROJECT No.	1810	DRAWING No.	A100
SCALE	As indicated		
DRAWN BY	AK/TC		
DATE	03 APRIL 2019		