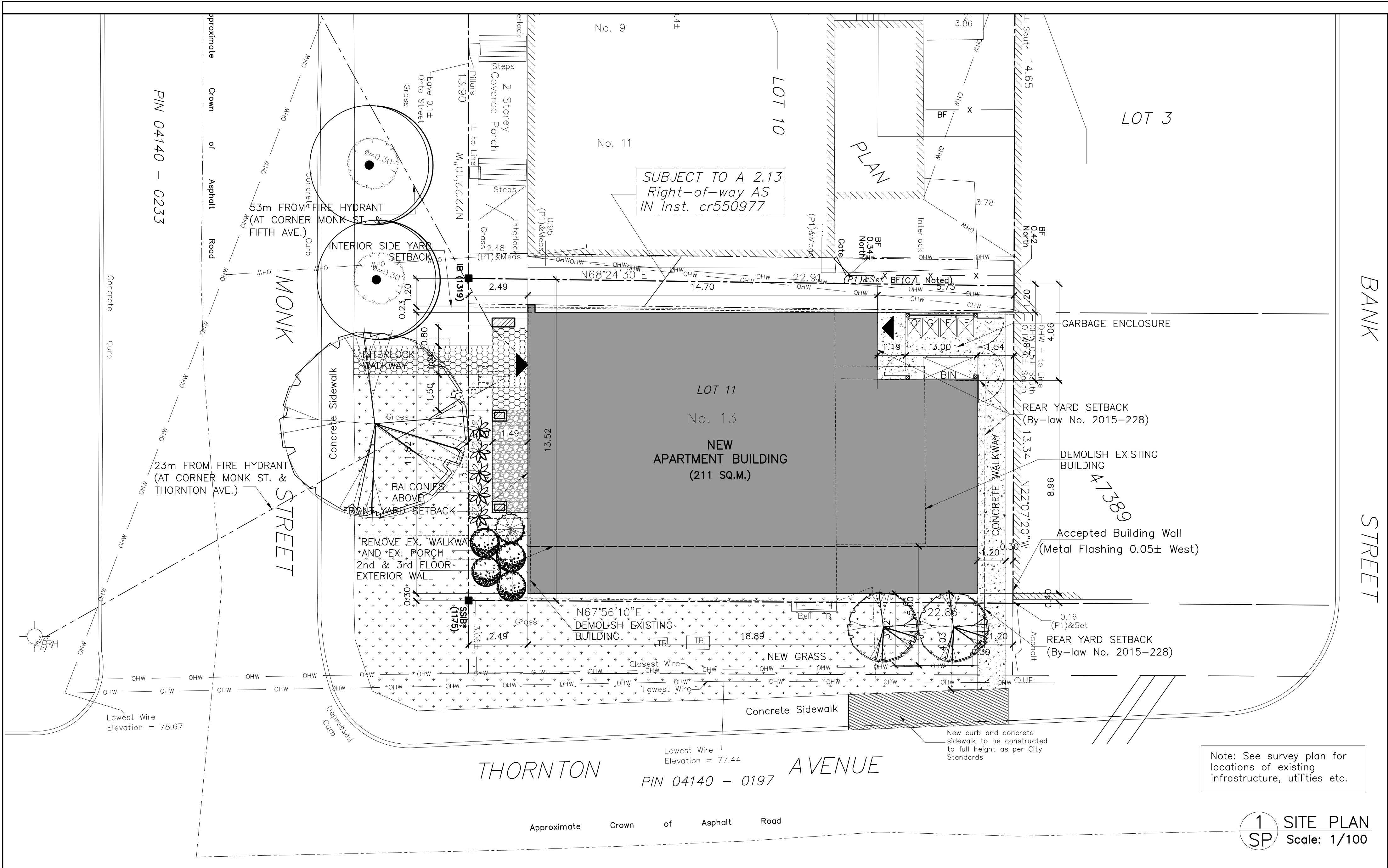
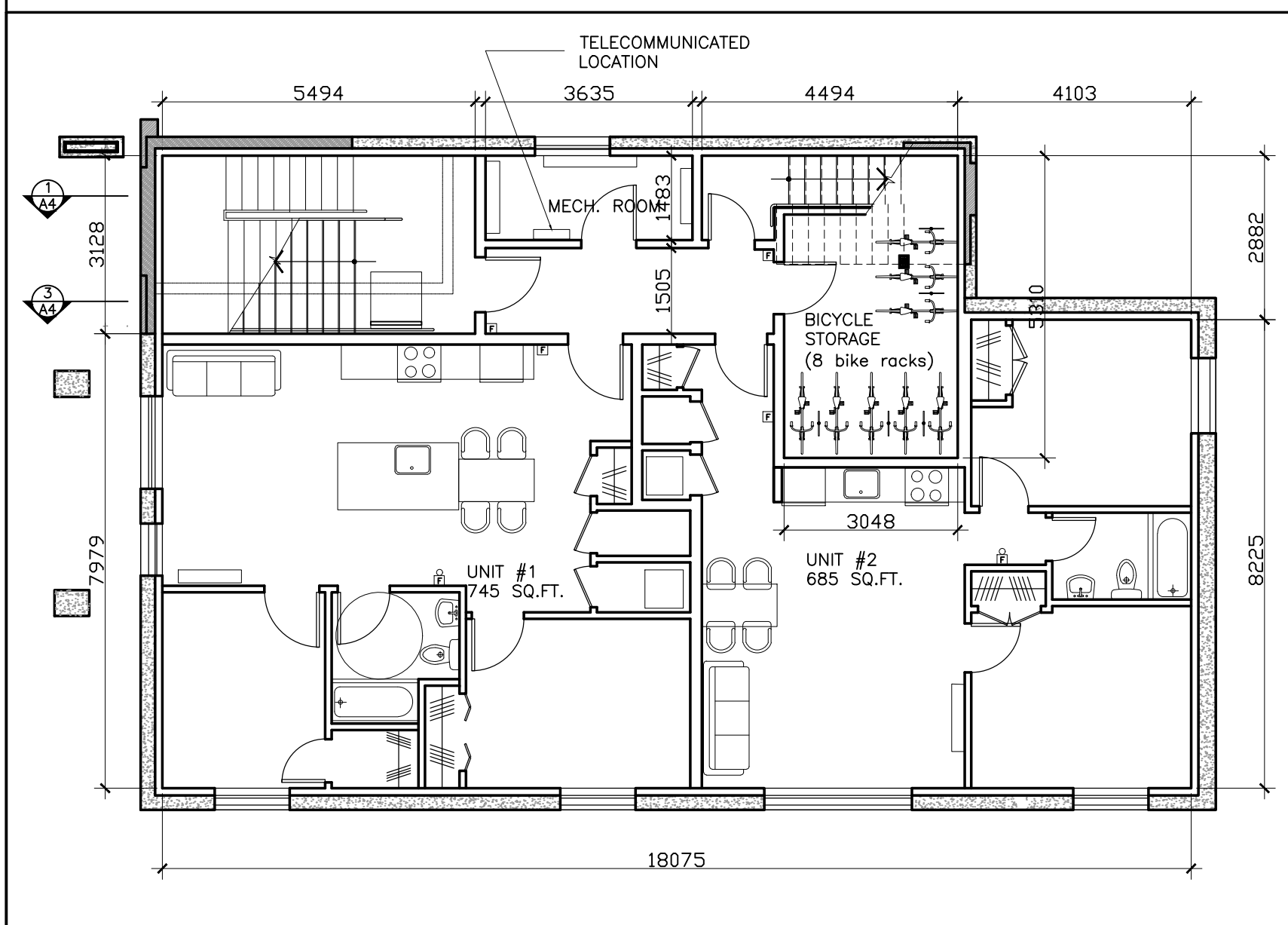
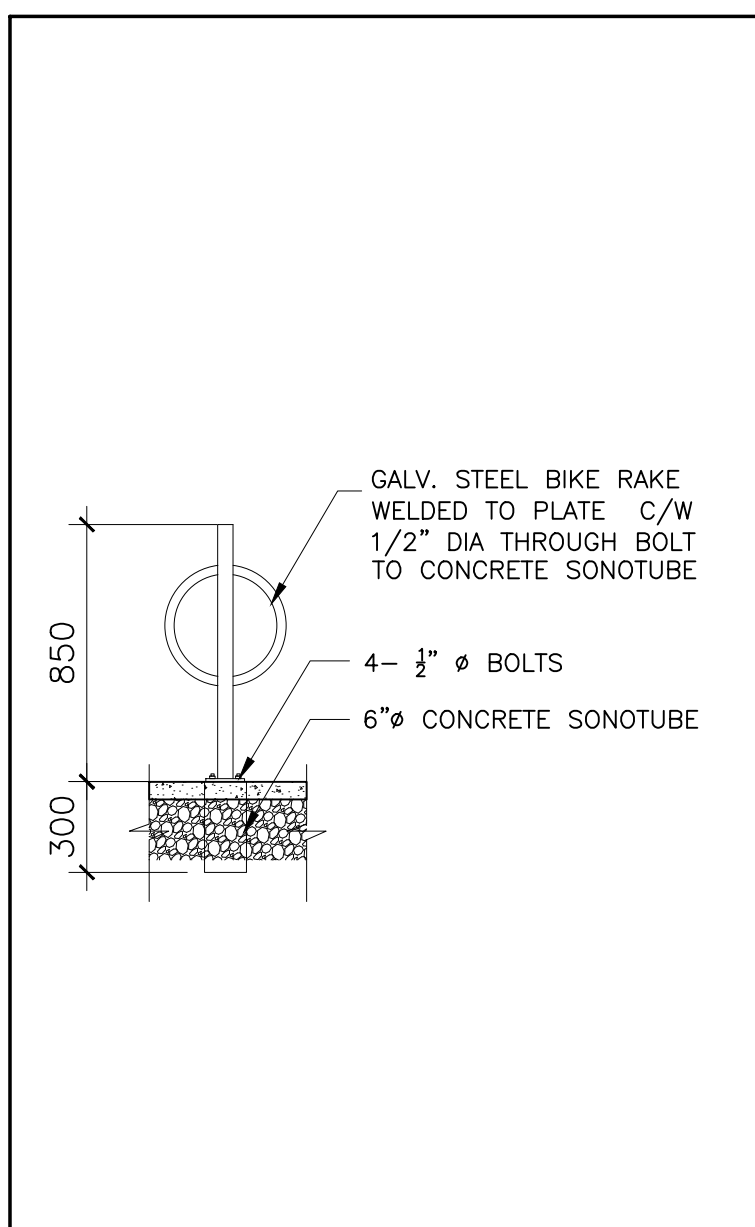




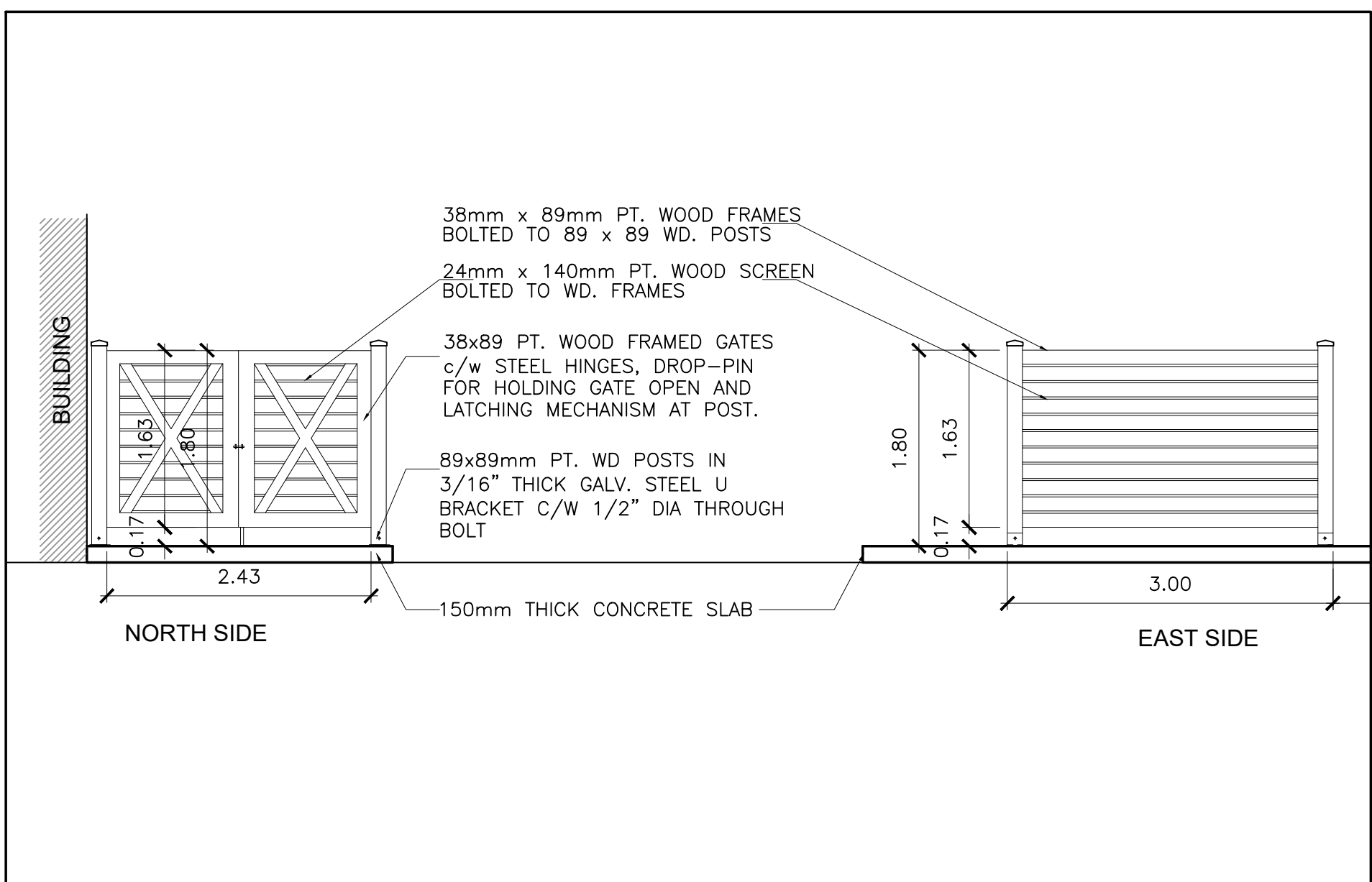
1 SITE PLAN
Scale: 1/100



2 BASEMENT PLAN
Scale: 1/100



3 BIKE RACK
Scale: 1/25



4 GARBAGE ENCLOSURE
Scale: 1/50


DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Jamesdo at 2:34 pm, Aug 20, 2019

2 LOCATION PLAN
NTS

PROPERTY DESCRIPTION:
Legal Description: Part 1, plan of part of lot 11
registered plan 47389 City of Ottawa

Based on survey prepared by Surveyed by
Annis, O'Sullivan, Vollebakk Ltd.

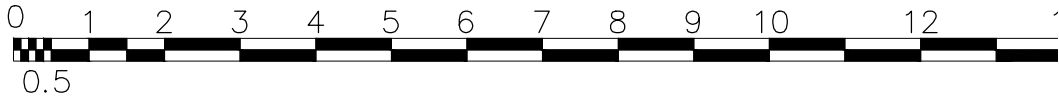
DEVELOPMENT DATA:

Site Zoning Designation: R4T
Site area: 307.5 m²
Frontage as per survey: 13.53 m.
Depth as per survey: 22.91 m.
Site Plan Control Approval for: Four storey apartment
Building Area (Footprint): 211 m²
Gross Floor Area : 508.9 m²

City of Ottawa Zoning By-law No. 2008-250 and Revised By-law No. 2015-228		
R4T		
PRINCIPAL DWELLING TYPE	REQUIRED FOR LOW RISE APARTMENT	PROPOSED 4 STOREY, 8 UNIT
MINIMUM LOT WIDTH	15m	13.52m (GRANTED)
MINIMUM LOT AREA	450m ²	307.5m ² (GRANTED)
MAXIMUM BUILDING HEIGHT	14.5m	11 m
MINIMUM FRONT YARD SETBACK	Average of neighboring buildings	2.49m
MINIMUM CORNER SIDE YARD SETBACK	Average of neighboring buildings (0.16m)	0.3m
MINIMUM REAR YARD SETBACK	1.2m (with 30% lot width & 25% lot depth)	1.5m (with 30% lot width & 25% lot depth)
MINIMUM INTERIOR SIDE YARD SETBACK	1.2m	1.2m
MINIMUM LANDSCAPE AREA	30% (92.25 m ²)	27.4% (84.35 m ²) (GRANTED)
AMENITY SPACE (at rear yard)	8 units @15m ² =120m ²	3.48 m ² (GRANTED)
Parking Rate		
Motor Vehicle	0	0
Bicycle Parking (0.5/unit)	8/2=4 spaces	8 spaces

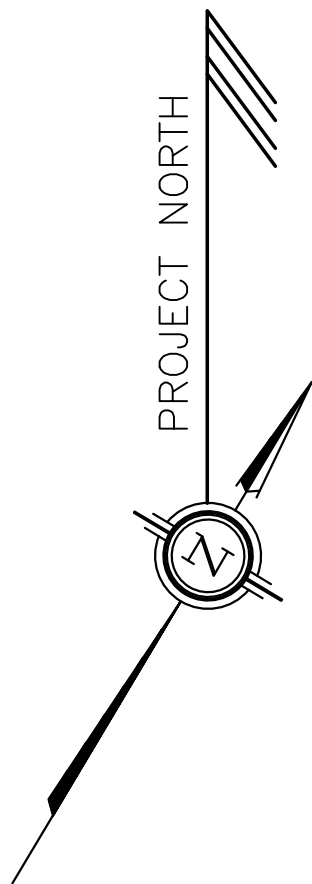
LEGEND:

- ENTRANCE
- PROPERTY LINE
- SETBACK LINE
- REMOVE EXISTING WALL
- NEW BUILDING
- LANDSCAPE AREA
- INTERLOCKING WALKWAY
- CAST-IN-PLACE CONCRETE
- RIVER ROCK



NEW APARTMENT BUILDING
13 MONK ST.
OTTAWA, ONTARIO
K1S 3Y5

CLIENT:
ART CONSTRUCTION
5 THORNTON AVE. OTTAWA, ON.
613 867 6567
artcontracting@hotmail.com



LEIBE ENGINEERING ASSOCIATES
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Nepean, Ontario. K2E 7Z6
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CIVIL ENGINEER AND LANDSCAPE ARCHITECT
STANTEC
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Ottawa ON K2C 3G4
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GEOTECHNICAL
GEMTEC
CONSULTING ENGINEERS & SCIENTISTS
32 STEACIE DR., OTT., ONT.
K0A 1L0 613-836-1422

SURVEYOR
ANNIS, O'SULLIVAN, VOLLEBEKK Ltd.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850
Fax: (613) 727-1079

SUSAN D. SMITH ARCHITECT
1114 GLADSTONE AVE
OTTAWA, ONTARIO
K1Y 3H5
613-722-5327
sds@magma.ca

4	REISSUED FOR BUILDING PERMIT	JUN. 19/2019
3	REISSUED FOR S.P. CONTROL	JUN. 5/2019
2	ISSUED FOR BUILDING PERMIT	APR. 10/2019
1	ISSUED FOR SITE PLAN CONTROL	FEB. 25/2019
0	ISSUED FOR REVIEW	JAN. 21/2019
No.	REVISION	DATE

NOTES:
1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering of materials.
2. All work to be in accordance with the Ontario Building Code, latest edition.

SITE PLAN

Scale	1:100
Drawn	TD
Checked	SDS
Date	DEC./2018
Job #	1843

SP

#17906

007-12-19-0028