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Legend

	ORIGINAL GROUND ELEVATION
	PROPOSED ELEVATION
	PROPOSED LOT CORNER ELEVATION EXISTING ELEVATION AT LOT CORNER
	FLOW DIRECTION AND GRADE
	FINISHED FIRST FLOOR ELEVATION
	TOP OF FOUNDATION ELEVATION
	UNDERSIDE OF FOOTING ELEVATION
	TERRACING 3:1 SLOPE (WHEN SHOWN) (UNLESS OTHERWISE NOTED)
	PROPOSED SWALE
	DIRECTION OF OVERLAND FLOW
	PROPOSED VALVE BOX
	PROPOSED CATCHBASIN
	EXISTING DEPRESSED CURB LOCATION
	PROPOSED DOOR LOCATIONS
	PROPOSED WALK WAY
	EXISTING OVERHEAD WIRE
	EXISTING FIRE HYDRANT
	EXISTING COMBINED SEWER
	EXISTING CATCHBASIN
	EXISTING VALVE CHAMBER

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Notes

1. TOPOGRAPHICAL PLAN OF SURVEY, LOT 9 AND 11, REGISTERED PLAN 47389, CITY OF OTTAWA AND BENCHMARK COMPLETED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED OCTOBER 29, 2018.
2. SITE PLAN PREPARED BY SUSAN D. SMITH ARCHITECT DATED FEBRUARY 11, 2019.
3. GEOTECHNICAL REPORT PREPARED BY GEMTEC DATED JANUARY 23, 2019.

3	REVISED AS PER CITY COMMENTS	WAJ	KJK	19.07.22
2	REVISED AS PER CITY COMMENTS	WAJ	KJK	19.05.31
1	ISSUED FOR REVIEW	WAJ	KJK	19.02.15

## Revision

File Name: 160401462-DB	JP	DT	MJS	19.01.15
	Dwn.	Chkd.	Dsn.	YY,MM,DD

## Permit-Seal

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Client/Project

ART CONSTRUCTION  
SUITE 101 - 11 ROSEMOUNT AVE.

3 STOREY APARTMENT  
13 MONK STREET  
OTTAWA, ONTARIO

Title

## GRADING PLAN

Project No.  
160401462

Scale 1:100

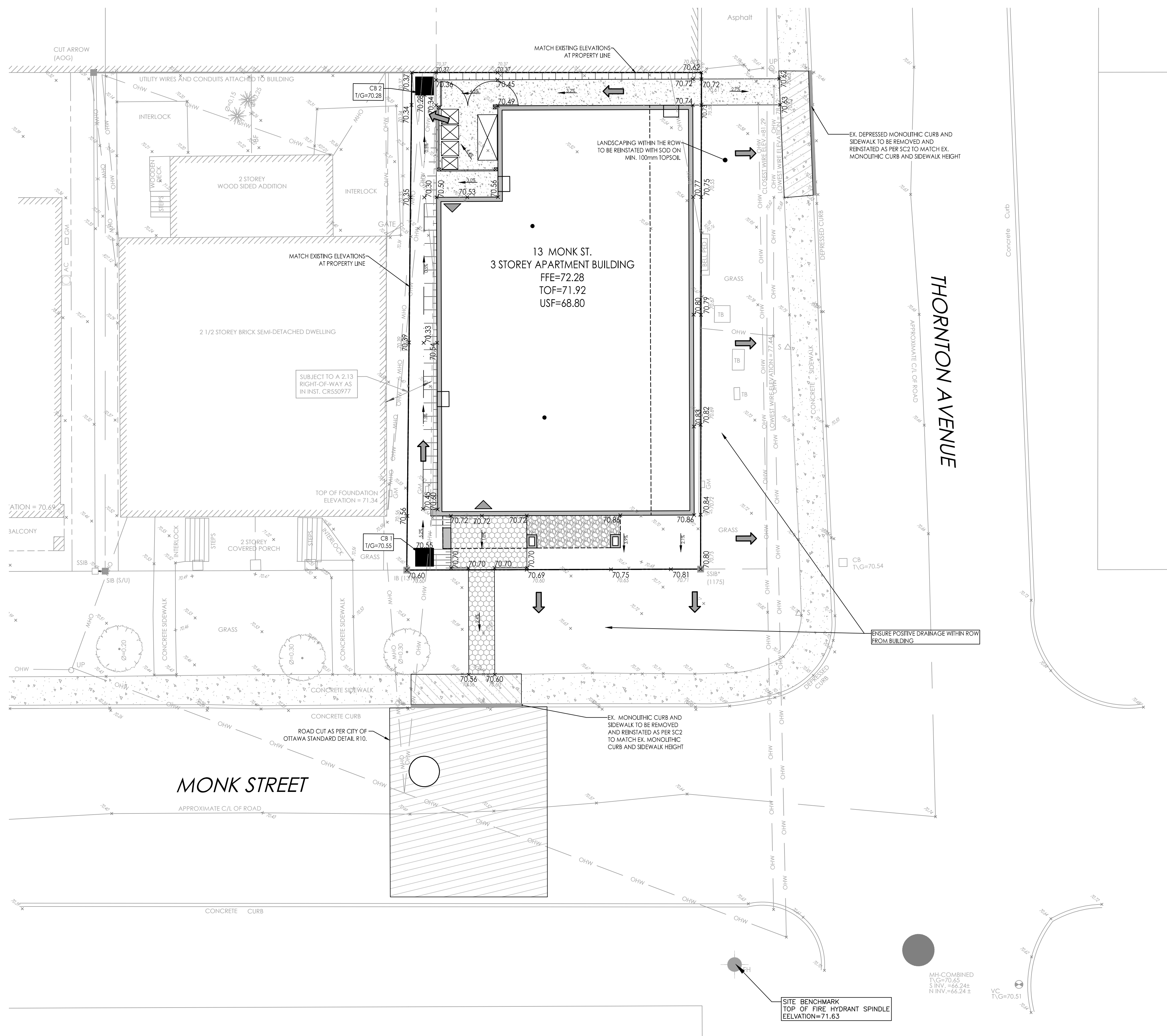
Drawing No.	Sheet	Revision
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GP-1

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D07-12-19-0028



## SITE GRADING

1. ALL GRANULAR BASE & SUB-BASE COURSE MATERIALS SHALL BE COMPACTED AS PER GEOTECHNICAL CONSULTANT RECOMMENDATIONS.
2. ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER, WITH SOD ON MIN. 100mm TOPSOIL. THE RELOCATION OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER.
3. INSPECTIONS: ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERMAINS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED.
4. REFER TO ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND SITE DETAILS.
5. CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE IF REQUIRED BY THE MUNICIPALITY.
6. EMBANKMENTS TO BE SLOPED AT MIN. 3:1, UNLESS OTHERWISE SPECIFIED.
7. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH DEVELOPER AND THE CITY OF OTTAWA PRIOR TO TREE CUTTING.
8. SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR "B" COMPACTED IN 0.15m LAYERS.
9. NO ALTERATION TO EXISTING GRADES OR DRAINAGE PATTERN ON PROPERTY LINE MAY BE MADE WHERE NO PERMISSION TO ENTER ADJACENT PROPERTY EXISTS.
10. ALL TREES ON THE RIGHT-OF-WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTION AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAWS AND URBAN TREES CONSERVATION BY-LAW.
11. NO EXCESS DRAINAGE TO BE DIRECTED TO NEIGHBOURING PROPERTIES EITHER BEFORE OR AFTER CONSTRUCTION.
12. CONTRACTOR IS RESPONSIBLE TO KEEP THE ROADS FREE AND CLEAN FROM MUD OR DEBRIS.

**DOUGLAS JAMES, MCIP, RPP**  
**MANAGER, DEVELOPMENT REVIEW - CENTRAL**  
**PLANNING, INFRASTRUCTURE & ECONOMIC**  
**DEVELOPMENT DEPARTMENT, CITY OF OTTAWA**

**APPROVED**  
By Jamesdo at 2:33 pm, Aug 20, 2019