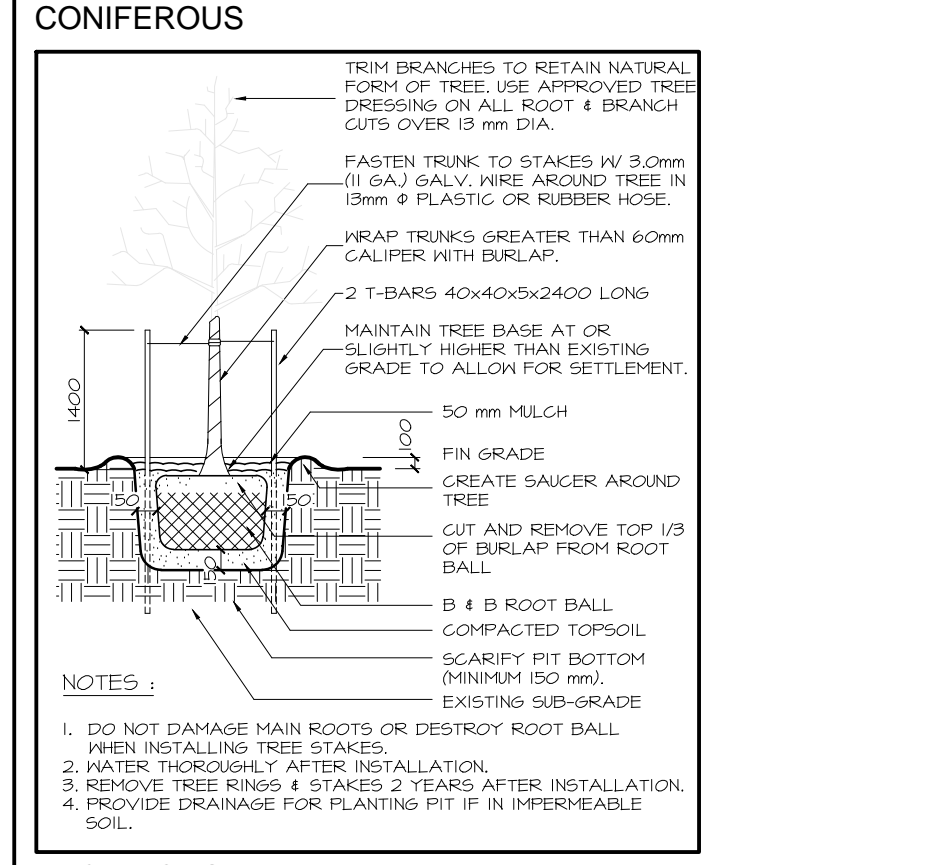
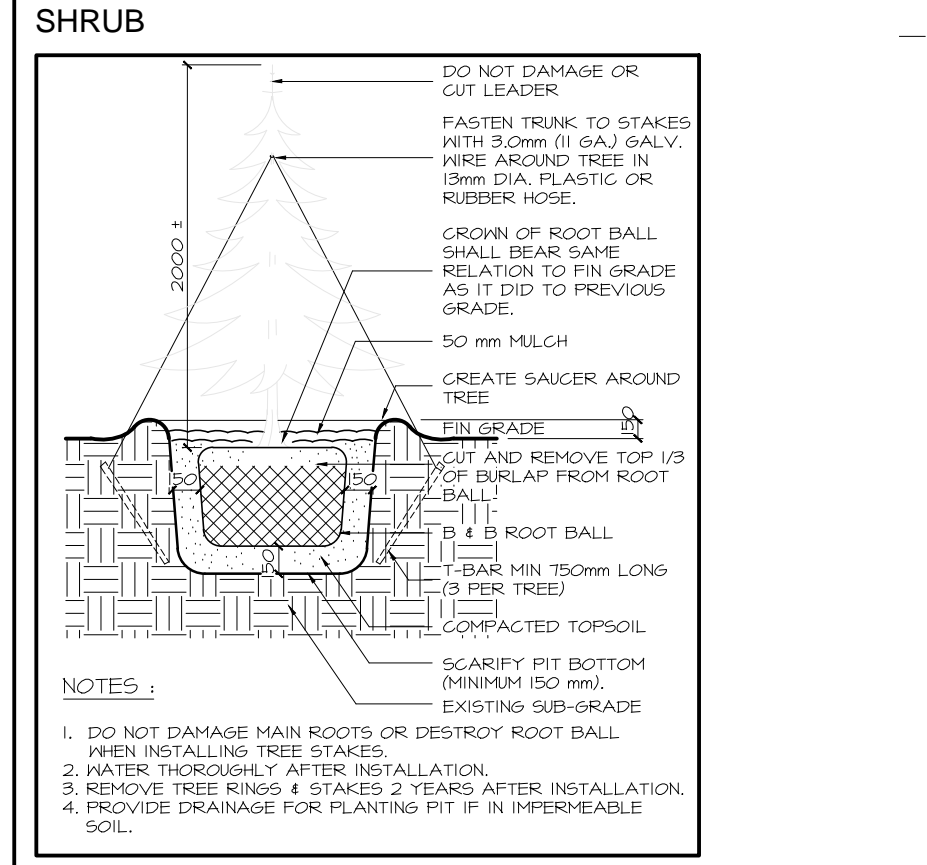
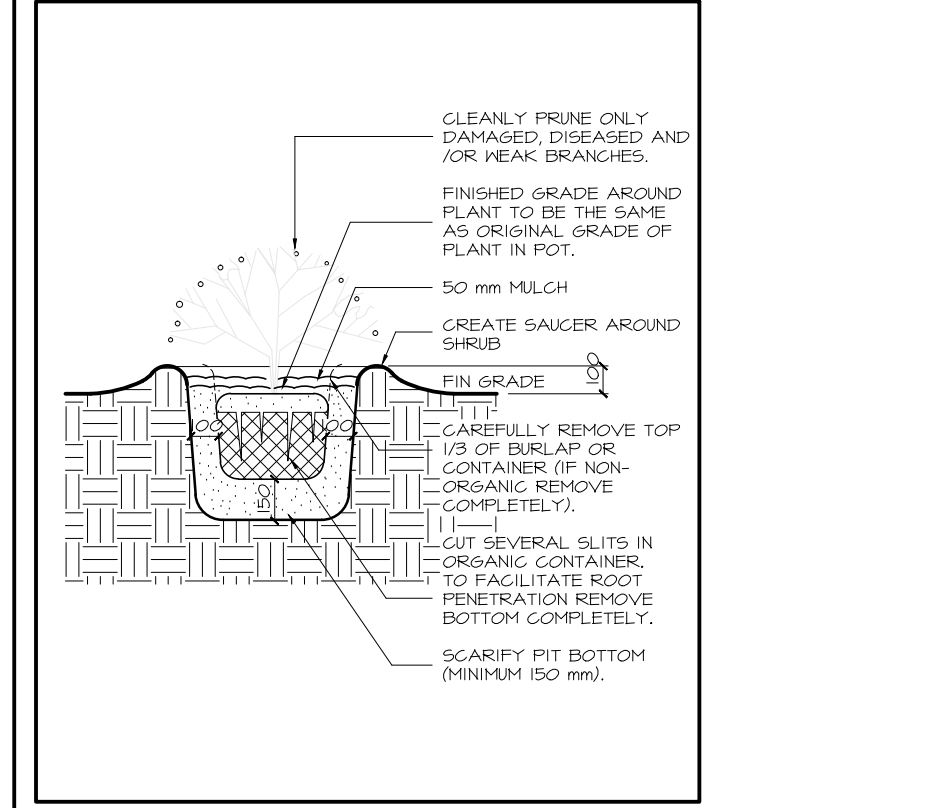


KEY	NAME	SIZ HT/SPR	COND	QUAN
AS	ACER SACCHARUM SUGAR MAPLE	75 mm cal	W/B	22
JS	JUNIPERUS SABINA SAVIN JUNIPER	500 mm spread	POT	24
ST	STEDISA TRACANTHOS SHARBEST HORNED LOUST	70 mm cal	W/B	4
PP	PICEA PLUNGENS GREEN COLORADO SPRUCE	2000 mm high	W/B	5
BS	BASSWOOD	2000 mm high	W/B	7
PST	PINUS STROBUS WHITE PINE	2000 mm high	W/B	6
SR	SIRINGA RETICOLATA JAPANESE TREE LILAC	50 mm cal	W/B	4
SR	SIRINGA RETICOLATA JAPANESE TREE LILAC	50 mm cal	W/B	4
RO	RED OAK	75 mm cal	W/B	11
SM	SILVER MAPLE	75 mm cal	W/B	14

**PLANTING LIST**



**PLANTING DETAILS**

**BUILDING STATISTICS:**  
BLDG FOOTPRINT = 4991.5 SQ. M. 11.8% COVERAGE  
BLDG AREA = OFFICE AREA GROUND FLR 296 SQ. M. INDUSTRIAL AREA GROUND FLR 4695.5 SQ. M.  
TOTAL GROSS FLOOR AREA 4991.5 SQ. M.  
BLDG HEIGHT = +/- 0.74 M

**SITE STATISTICS:**  
CURRENT ZONING - R6 [784r]  
PROPOSED USE: TRUCK DOCK TRANSFER FACILITY  
LOT AREA = 42,066 SQ. M. (10.34 acres) 784r except PROVIDED

lot width	30m	30m	150m
front yd	15m	10m	52m
corner side yd	12m	7.5m	66.8m
interior yd	8m	3m	54.7m
rear yd	15m	10m	67.3m
max bldg height	15m	11m	9.744m
max lot coverage	50%	30%	11.8%

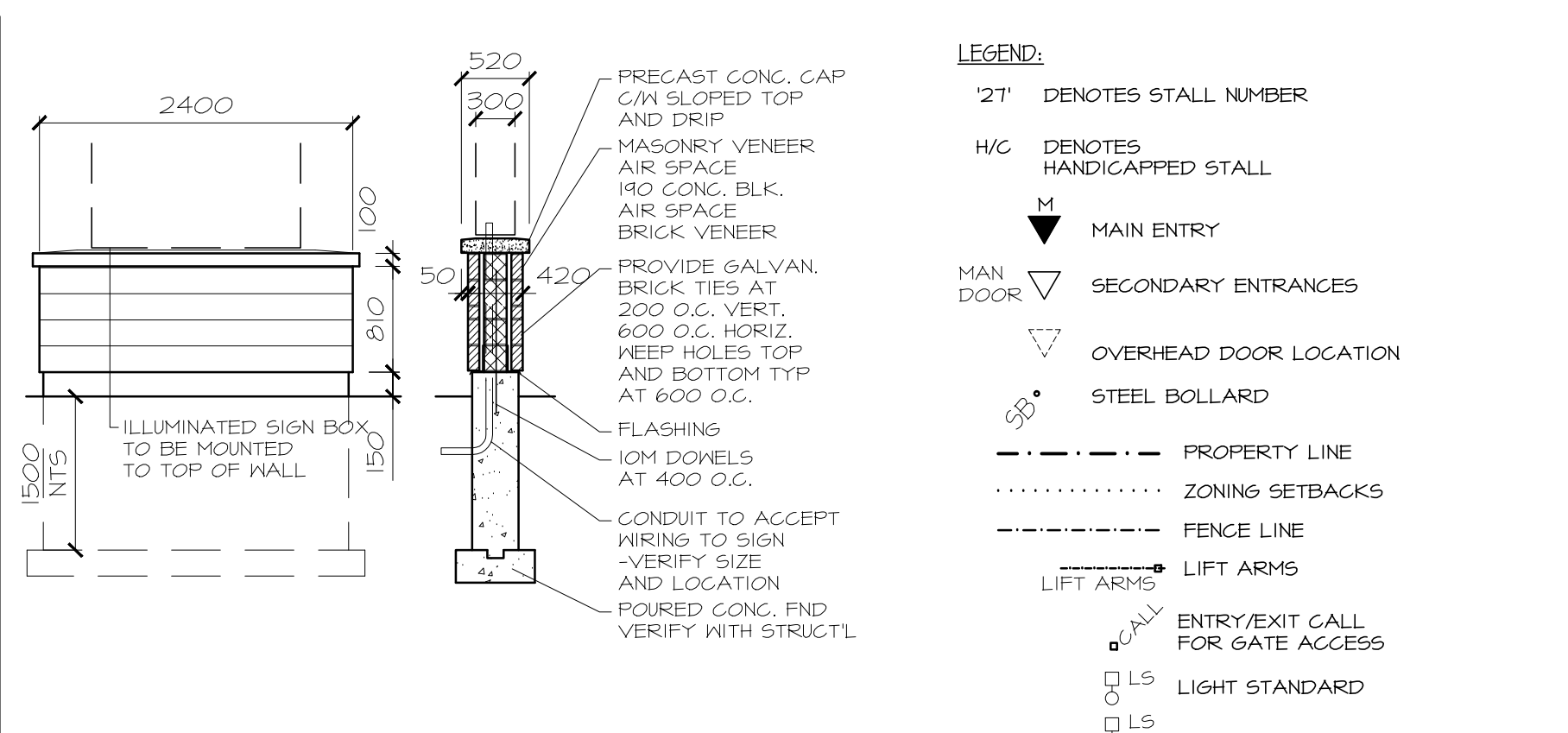
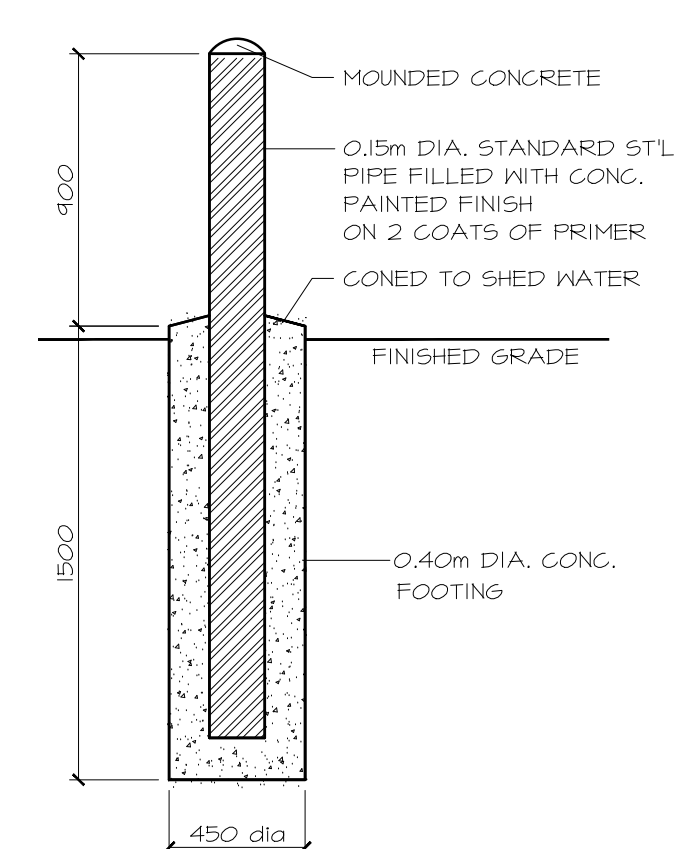
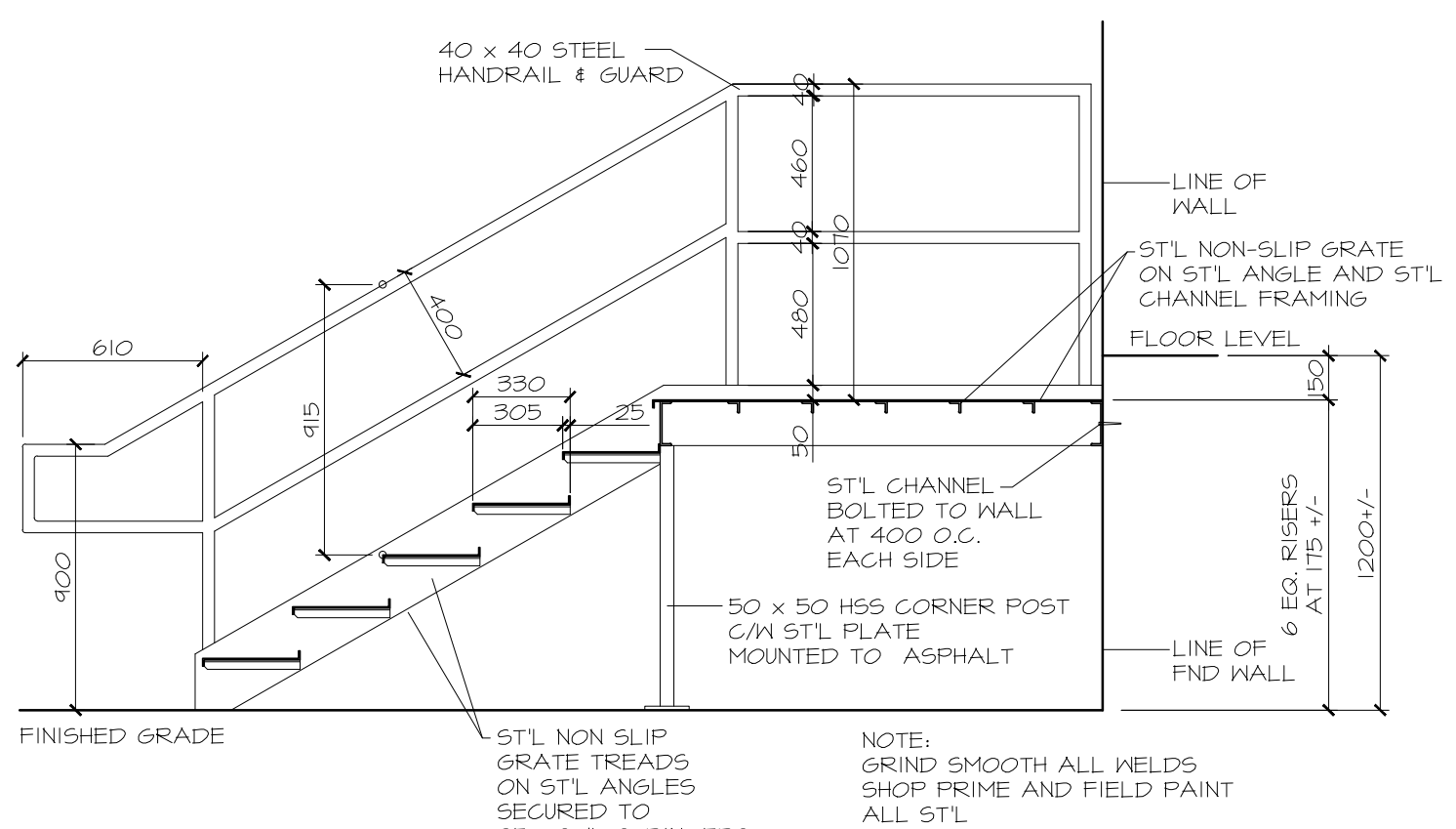
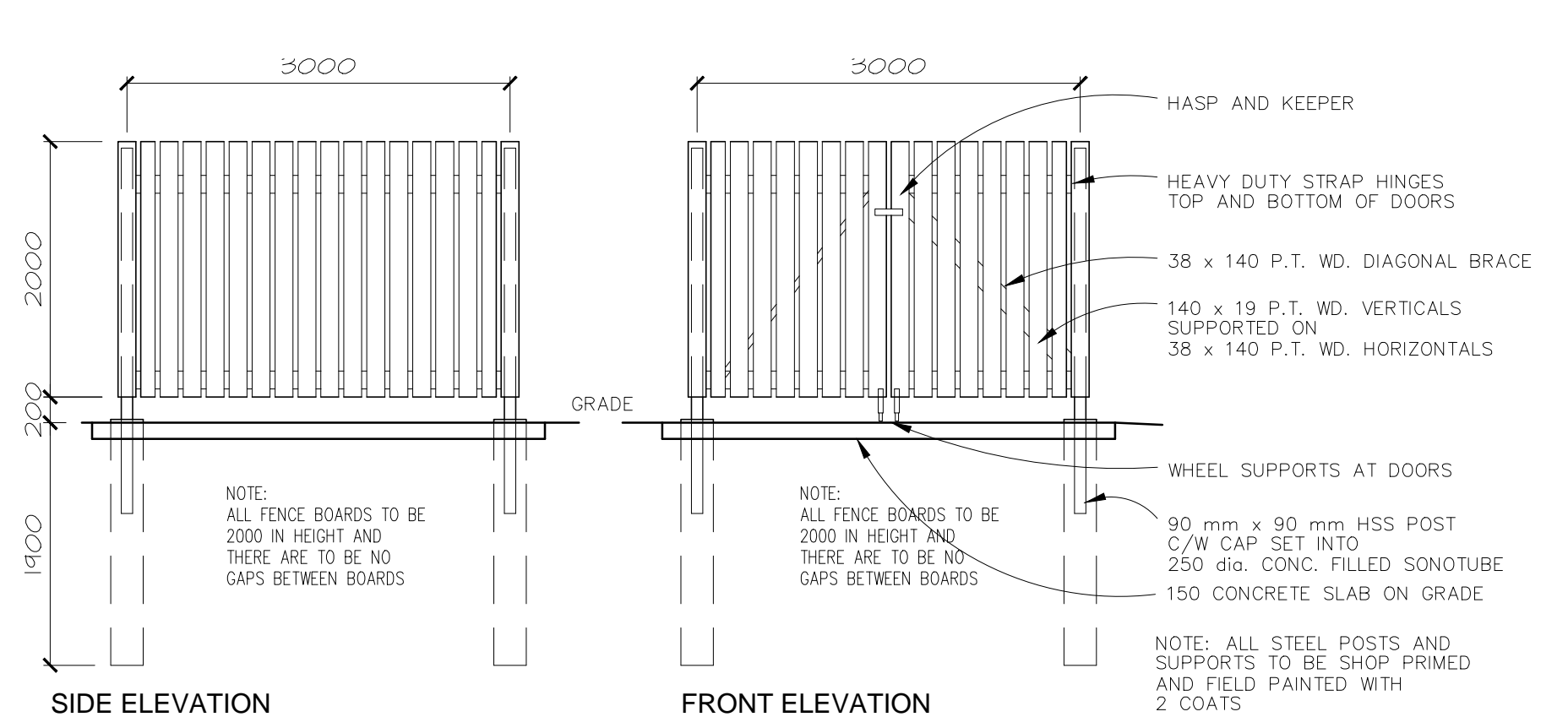
**AREA OF:**  
ASPHALT PAVEMENT 3,101 SQ.M.  
CONCRETE APRONS, PADS 4,116 SQ.M.  
GRANULARS 18,342 SQ.M.  
SIDEWALKS 306 SQ.M.  
SOD, PLANTERS 11,074 SQ.M.

**PARKING (AREA D' ON SCHEDULE (A))**  
TYPICAL PARKING STALL TO BE 2.6 m WIDE x 5.2 m IN LENGTH  
TYP. HANDICAPPED PARKING STALL TO BE 3.6 m WIDE x 5.2 m IN LENGTH

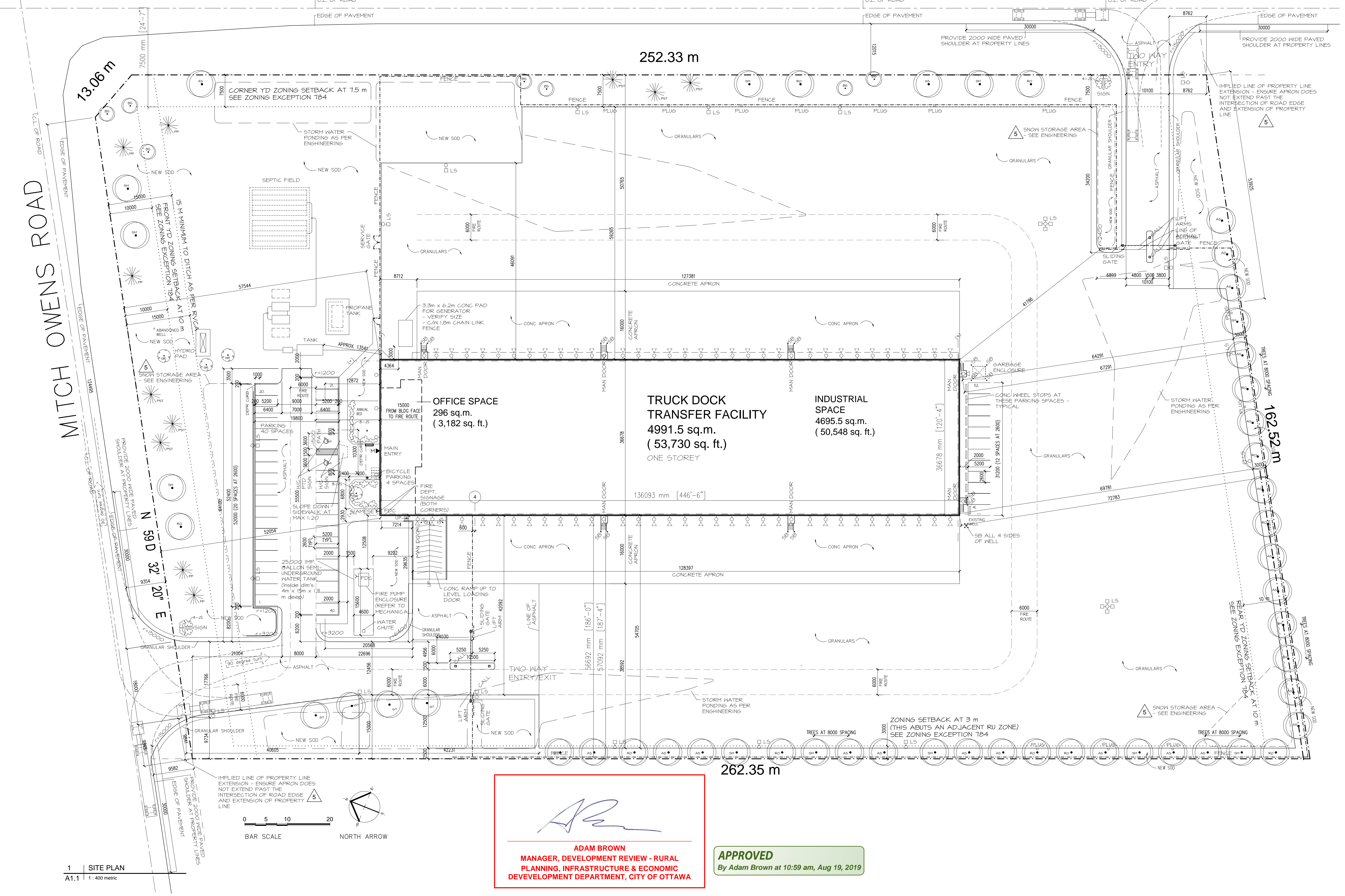
**OFFICE SPACE** 24 PER 100 SQ. M. 6 F.A. 1 SPACES REQUIRED  
**TRUCK TRANSPORT TERMINAL** 3 PER 100 SQ. M. 6 F.A. 30 SPACES REQUIRED  
TOTAL 45 SPACES REQUIRED AND 52 SPACES ARE PROVIDED INCLUDING 2 H/C SPACES

**BICYCLE PARKING** 4 SPACES PROVIDED  
TYPICAL BICYCLE PARKING STALL TO BE 0.6 m WIDE x 1.8 m IN LENGTH

**LOADING SPACE (AREA D' ON SCHEDULE (A))**  
SECTION 113  
TRUCK TRANSPORT TERMINAL (4695 SQ. M.) 2000 SQ. M. TO 4991 SQ. M.  
1 SPACE REQUIRED  
O OVERSIZED SPACES ARE REQUIRED  
OFFICE (296 SQ. M.) LESS THAN 350 SQ. M.  
O SPACES REQUIRED  
O OVERSIZED SPACES ARE REQUIRED  
LOADING SPACE SIZE TO BE 3.5 x 7 m



**BOUNDARY ROAD**



**j. guy monette**  
architecture and urban design  
308a fairmont ave. ottawa, ON K1Y 1Y8  
613.659.6483 guymonette@reggers.com

**SURVEY INFORMATION:**  
BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON:  
PLAN 4R-0132  
PLAN 4R-0150  
PLAN 5R-1355B.

**THE TOPOGRAPHICAL INFORMATION WAS DERIVED FROM TOPOGRAPHICAL PLANS BY STANTEC GEOMATICS LTD. DATED APRIL AND DECEMBER 2010.**

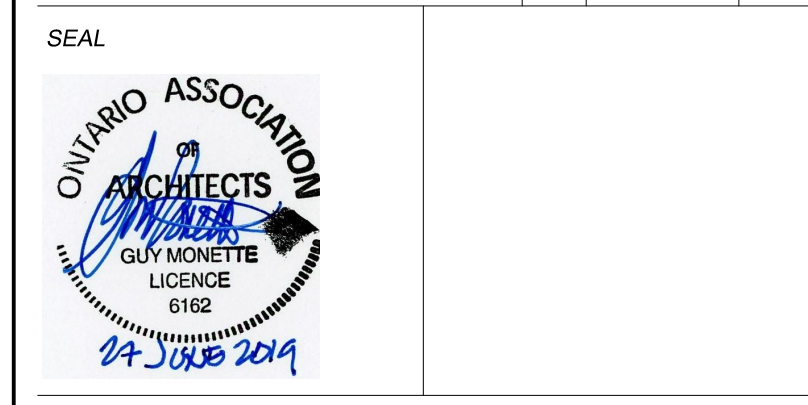
**RG Zone [784r]**  
Rural General Industrial

front yd	15m
corner side yd	12m
interior yd	8m
(this zone abuts an RU zone)	
rear yd	15m
max bldg height	15m
max lot coverage	50%

**note:**  
outside storage not permitted in a front yd or corner side yd.

- Exception [784r]**
- minimum lot area: 2000m<sup>2</sup>
  - minimum lot width: 30m
  - minimum front yard setback: 10m
  - minimum interior side yard setback:
    - i) abutting a residential use or zone: 4.5m
    - ii) all other cases: 3m
  - minimum rear yard setback: 10m
  - minimum corner side yard setback: 7.5m
  - maximum building height: 11m
  - maximum lot coverage: 30%
  - Landscaping of yards:
    - required front and corner side yards to be landscaped, except for driveways crossing the front or corner side yard leading to a parking area
    - outdoor storage permitted in interior side and rear yard only; must be screened and concealed from view from abutting streets and from abutting non-commercial or non-industrial zones

REVISION	No	DATE	PAR
Issued for Site Plan Control w/ Revisions	3	9Apr2019	bjs
Issued for Permit	2	21Mar2019	bjs
Issued for Site Plan Control w/ Revisions	1	4Mar2019	bjs
Issued for Site Plan Control	0	17Dec2018	bjs



It is the responsibility of the appropriate Contractor to check and verify all dimensions on site and report all errors and/or omissions to the Architect.

All Contractors must comply with all pertinent codes and by-laws.  
Do not scale drawings.  
This drawing may not be used for construction until signed.  
Architect's copyright reserved.

**PROPOSED TRUCK DOCK TRANSFER FACILITY**

9460 Mitch Owens;  
5506, 5530, 5592 Boundary Road  
Ottawa, ON

**SITE PLAN LANDSCAPE PLAN**

DESIGNED BY Brian Sindall	CHECKED BY GUY MONETTE
DRAWN BY BJS	SCALE As Noted
PROJECT No.	DRAWING No.

2018-00 **A1.1**

D07-12-18-0189 plan # 17928