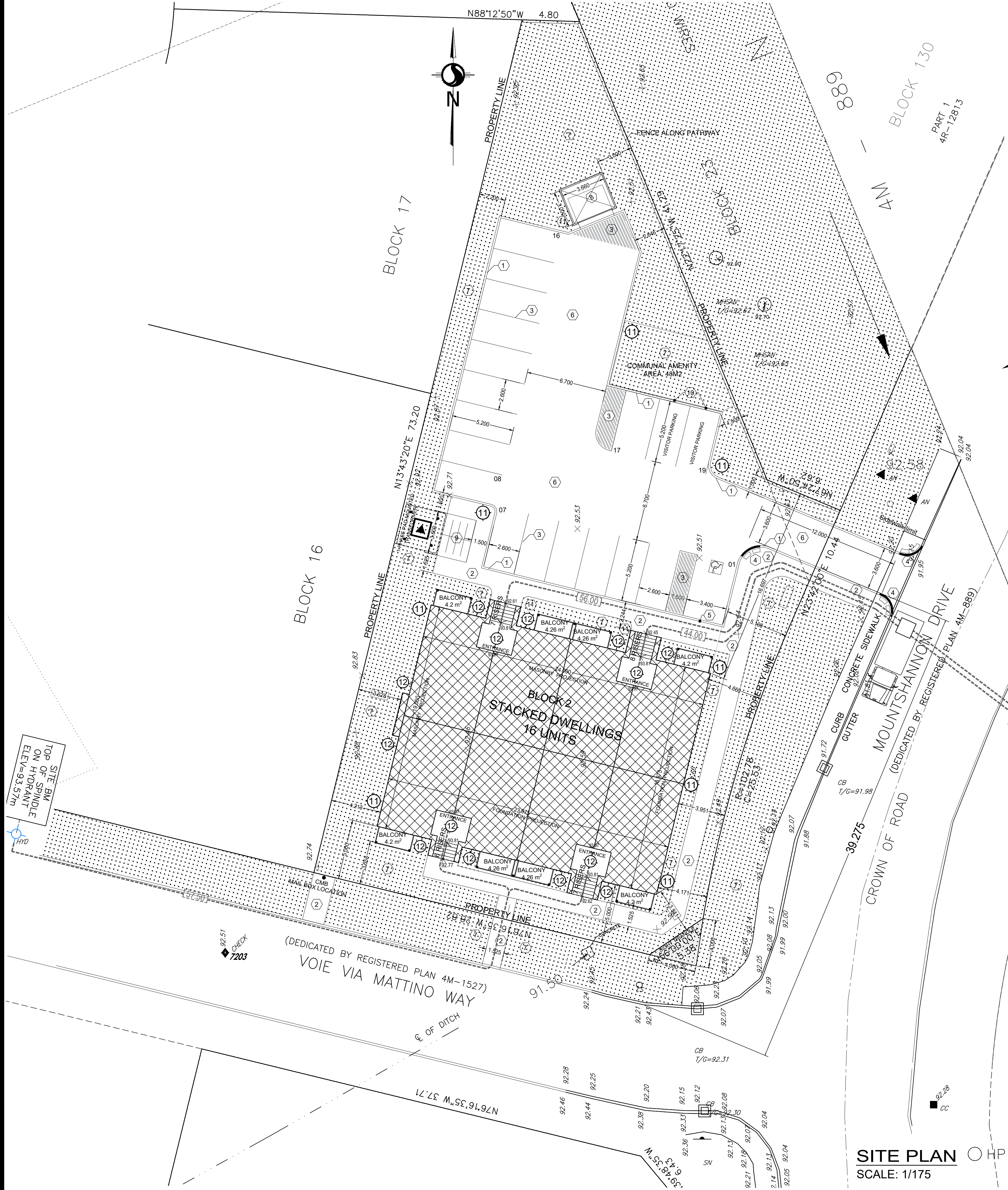


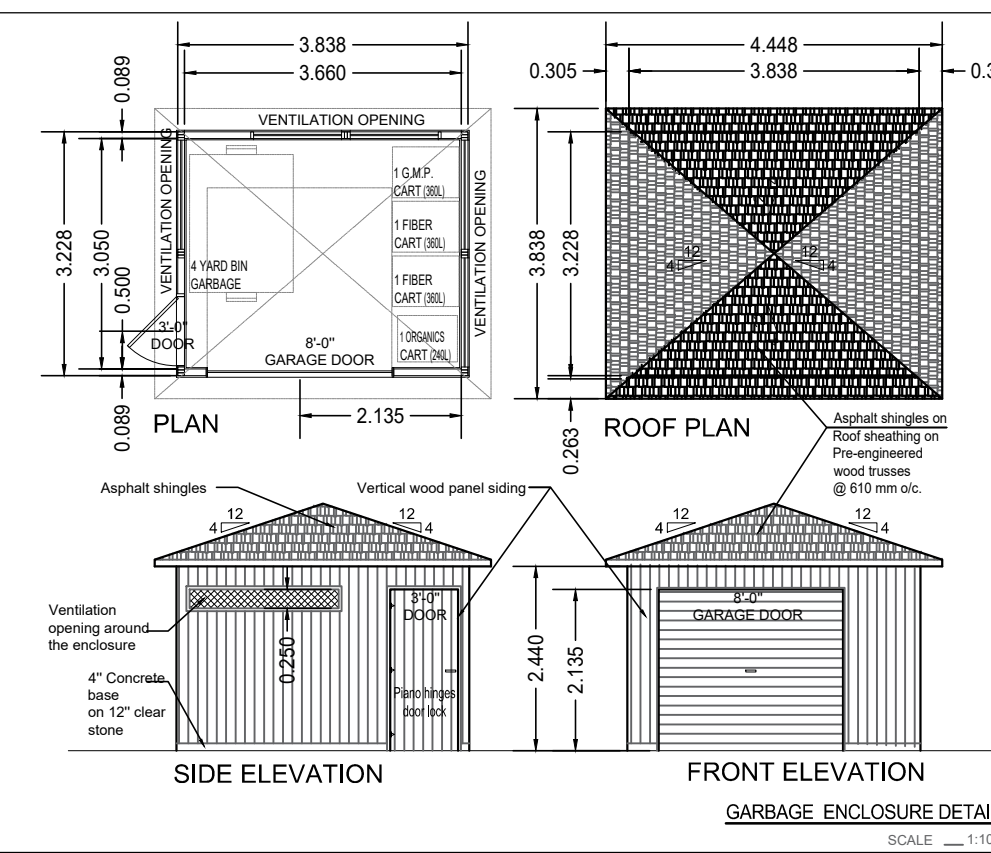


CURRENT ZONING BY LAW		
DESCRIPTION	PROPOSED	REQUIRED
LOT AREA	1894.6 m ²	660
LOT FRONTAGE	32 m	22 m
LOT DEPTH	72.7m	N/A
MAX. NUMBER OF DWELLING UNITS	16	16 R4A(2162)
FRONT SET BACK	5 m	3 m
CORNER SIDE YARD SETBACK	3.9 m	2 m
INTERIOR SIDE YARD SETBACK	3.6 m	3 m
REAR SET BACK	16.6 m	7.5 m
REAR SET SETBACK BETWEEN UNITS	0	0
BUILDING AREA	456m ²	-
GROSS FLOOR AREA	1824 m ²	-
BUILDING HEIGHT	11.665 m	11m
AMENITY AREA	-	0
MIN. LANDSCAPING BUFFER	3	3
PARKING SPACE	16	0.5 /UNIT-Rapid Transit
MIN. VISITOR PARKING & ACCESSIBLE PARKING	2+1	0.1 /UNIT-Rapid Transit
AMENITY AREA	48m*60m ²	96m ²
TOTAL PARKING LOT AREA	533 m ²	-
LANDSCAPING PROVIDE FOR THE PARKING LOTS	334.5 m ²	15% OF PARKING AREA(80 m ²)
TOTAL SOFT & HARD LANDSCAPED AREA	800 m ²	30% OF LOT AREA

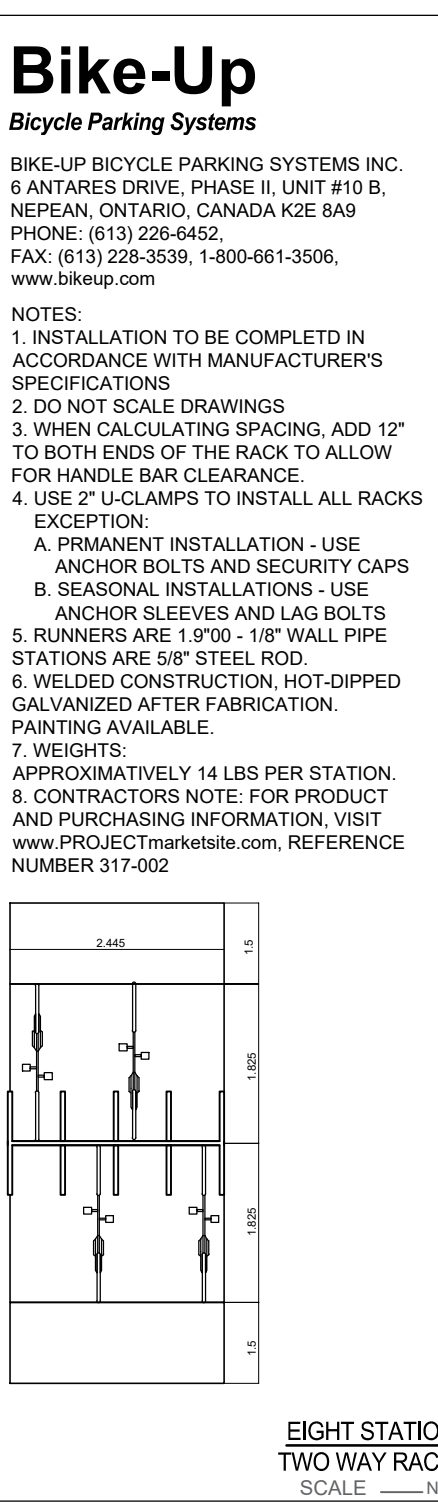
GRADE SCHEDULE	
T.O.FIRST FLOOR:	93.97
T.O.FOUNDATION:	92.88/ 100 000
T.O.BASEMENT:	90.967
U.S.FOOTING:	90.56
AVERAGE GRADE:	92.73 (At the base of a main front yard facade wall).
MINOR VARIANCE:	
-To permit a building height of 11.665m whereas the zoning requirement permits up to 11m.	
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BUILDING CODE ANALYSIS	
- 3 STOREYS RESEDENTIAL USE BUILDING WITH BASEMENT	
- 16 STACKED DWELLING UNITS	
- FACING 2 STREETS	
- BUILDING AREA : 456m ²	
- GROSS FLOOR AREA : 1824 m ²	
- USE : GROUP GROUP "C"	
- CLASSIFICATION: 9.10.8.1	
- PARTS 3 & 9 OF OBC 2012	
- COMBUSTIBLE CONSTRUCTION.	
- SECOND FLOOR FIRE SEPARATION: 3/4 HR REQUIRED C/W VERTICAL STRUCTURAL COMPONENTS	
- UPPER DWELLING STAIRWAY ENTRANCE/EXIT ENCLOSURES FIRE SEPARATION: 3/4 HR REQUIRED C/W VERTICAL STRUCTURAL COMPONENTS	
- FIRE RESISTANCE FOR ROOF: NOT REQUIRED	
- PLUMBING EQUIPMENTS:	
- 1 WASH ROOM PER UNIT REQUIRED	
- 10% NATURAL LIGHTING REQUIRED FOR LIVING ROOMS & DINING ROOMS	
- 5% NATURAL LIGHTING REQUIRED FOR BEDROOMS	
- BARRIER FREE PATH OF TRAVEL NOT REQUIRED ACCORDING.	

LÉGENDE	
1	CONCRETE CURB
2	SIDEWALK
3	PAINT MARKS
4	DEPRESSED CURBS & SIDEWALK.
5	ACCESSIBLE PARKING WALL MOUNTED SIGNAGE
6	ASPHALT
7	GRASS
8	TRASH ENCLOSURE
9	BICYCLE PARKING SPACE ON CONCRETE SLAB SURFACE
10	VISITOR PARKING WALL MOUNTED SIGNAGE
11	LIGHT FIXTURE POST TOP
12	LIGHT FIXTURE WALL PACK



Item	Ontario Building Code Data Matrix Parts 3 & 9				OBC Reference	
1	Project Description:	☒ New ☐ Addition ☐ Alteration ☐ Change of Use	☐ Part 10 ☐ Part 11	☐ Part 3 ☐ Part 9	2.1.1. 9.10.1.3.	
2	Major Occupancy(s):	C			3.1.2.1.(1)	9.10.2.
3	Building Area (sq.m.)	456.8 m ²			1.1.3.2.	1.1.3.2.
4	Gross Area (sq.m.)	1785.6 m ²			1.1.3.2.	1.1.3.2.
5	Number of Storeys:	Above grade 3 Below grade 1			3.2.1.1. & 1.1.3.2.	2.1.1.3.
6	Height of building (m.)	12 m				2.1.1.3.
7	Number of Streets/Access Routes:	2			3.2.2.10. & 3.2.5.5.	
8	Building Classification:	9.10.8.1.			3.2.2.20.-83.	9.10.4.
9	Sprinkler System Proposed:	☐ Entire building ☐ Addition only ☐ In lieu of roof rating ☒ Not required			3.2.2.20.-83.	9.10.8.
10	Standpipe required:	☐ Yes ☒ No			3.2.9.	
11	Fire Alarm required:	☐ Yes ☒ No			3.2.4.	9.10.17.2.
12	Water Service/Supply is Adequate:	☒ Yes ☐ No				
13	High building:	☐ Yes ☒ No			3.2.6.	
14	Permitted Construction:	☒ Combustible ☐ Non-combustible ☐ Both			3.2.2.20.-83.	9.10.6.
15	Mezzanine(s) Area (sq.m.)	N/A			3.2.1.1.(3)-(8)	9.10.4.1.
16	Occupant load based on:	☐ sq.m./person ☒ Design of building			3.1.1.6.	9.9.1.3.
	Occupancy	16 RESIDENTIAL CONDOS	Load	64 persons		
17	Barrier-free Design:	☐ Yes ☒ No (Explain) According to 9.5.2.1.2.			3.8.	9.5.2.
18	Hazardous Substance:	☐ Yes ☒ No			3.3.1.2.(1) & 3.3.1.19.(1)	9.10.1.3.
19	Required Fire Resistance Rating (F.R.R.)	Horizontal Assemblies F.R.R. (Hours) Floors 3/4 Hours Roof 0 Hours Mezzanine 0 Hours F.R.R. of Supporting Members Floors 3/4 Hours Roof 0 Hours Mezzanine 0 Hours	Listed Design No. or Description (SG-2) SB-3 (F19d) Listed Design No. or Description (SG-2) SB-3 (EW1a)		3.2.2.20.-83. & 3.2.1.4.	9.10.8. 9.10.9.
20	Spatial Separation - Construction of Exterior Walls	Area of EBF (sq.m.) L.D. (m.) L/H or H/L Permitted Max. % of Openings Proposed % of Openings F.R.R. (Hours)	32.4 32.4 16.69 37% 37% -	3.2.3. Listed Design or Description Comb. Const. Non-C. Const. Comb. Cladding Non-C. Cladding	3.2.3. 9.10.14.	
	SOUTH FIRE COMPARTMENT	32.4	100%	-	X	X
	NORTH FIRE COMPARTMENT	32.4	100%	-	X	X
	EAST FIRE COMPARTMENT	52.6	100%	6.8%	X	X
	WEST FIRE COMPARTMENT	52.6	27%	6.8%	4/3H	X
21	Other - Describe					



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3	3rd Submission	A.A.	P.T.	19.08.13
2	2nd Submission Comments	A.A.	P.T.	19.06.28
1	1st Submission Comments	A.A.	P.T.	19.05.13
Revision		By	Appd.	YY.MM.DD

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4				
3				
2				
1	PRE-APPLICATION DOC.	A.A.	P.T.	18.12.11
Issued		By	Appd.	YY.MM.DD

Stamp



Project
MATTINO HOMES
16 CONDO UNITS BUILDING
BLOCK 2
255 MOUNTSHANNON DRIVE,
OTTAWA, ON
Title
SITE PLAN

Project #	Scale	Date
Revision	1:175	2019-08-13
1	Sheet 01	Drawing # A-100