

August 1, 2019

Mattino Developments Inc.
515 Via Mattino Way
Ottawa, ON
K2J 6B7

Attention: Giuseppe Matteucci

Dear Mr Matteucci:

**Reference: Sight Distance Review
285 Mountshannon Drive
Our File No. 112021**

INTRODUCTION

A Site Plan Control application was submitted to the City in support of a residential development at 285 Mountshannon Drive. An aerial view of the subject site is provided below.



A copy of the proposed site plan is attached. The proposed development consists of 20 stacked dwelling units and a parking lot providing a total of 20 parking spaces.

The proposed access to 285 Mountshannon Drive will be approximately 65 metres north of the Mountshannon Drive/Longfields Drive intersection and approximately 35 metres south of the Mountshannon Drive/Via Mattino Way intersection.

Following the Site Plan Control submission, City staff have requested a sight distance review at the proposed access to 285 Mountshannon Drive.

EXISTING CONDITIONS

Mountshannon Drive is a two-lane collector roadway with a posted speed limit of 40km/h. Sidewalks are provided along both sides of the road.

Longfields Drive is a two-lane major collector roadway with a posted speed limit of 40km/h. Bike lanes are provided in both directions. East of Mountshannon Drive, a Multi-Use Pathway (MUP) is provided along the north side of the road and a sidewalk is provided along the south side. West of Mountshannon Drive, a MUP is provided along the south side of the road and a sidewalk is provided along the north side.

Via Mattino Way is a two-lane local roadway with a regulatory speed limit of 50km/h. A sidewalk is provided along the south side of the road.

The intersection of Mountshannon Drive/Longfields Drive is all way-stop controlled, with standard pedestrian crosswalks on all approaches and landscaped median features on the east, west and north approaches.

The intersection of Mountshannon Drive/Via Mattino Way is side-street stop controlled, with free flow along Mountshannon Drive.

SIGHT DISTANCE

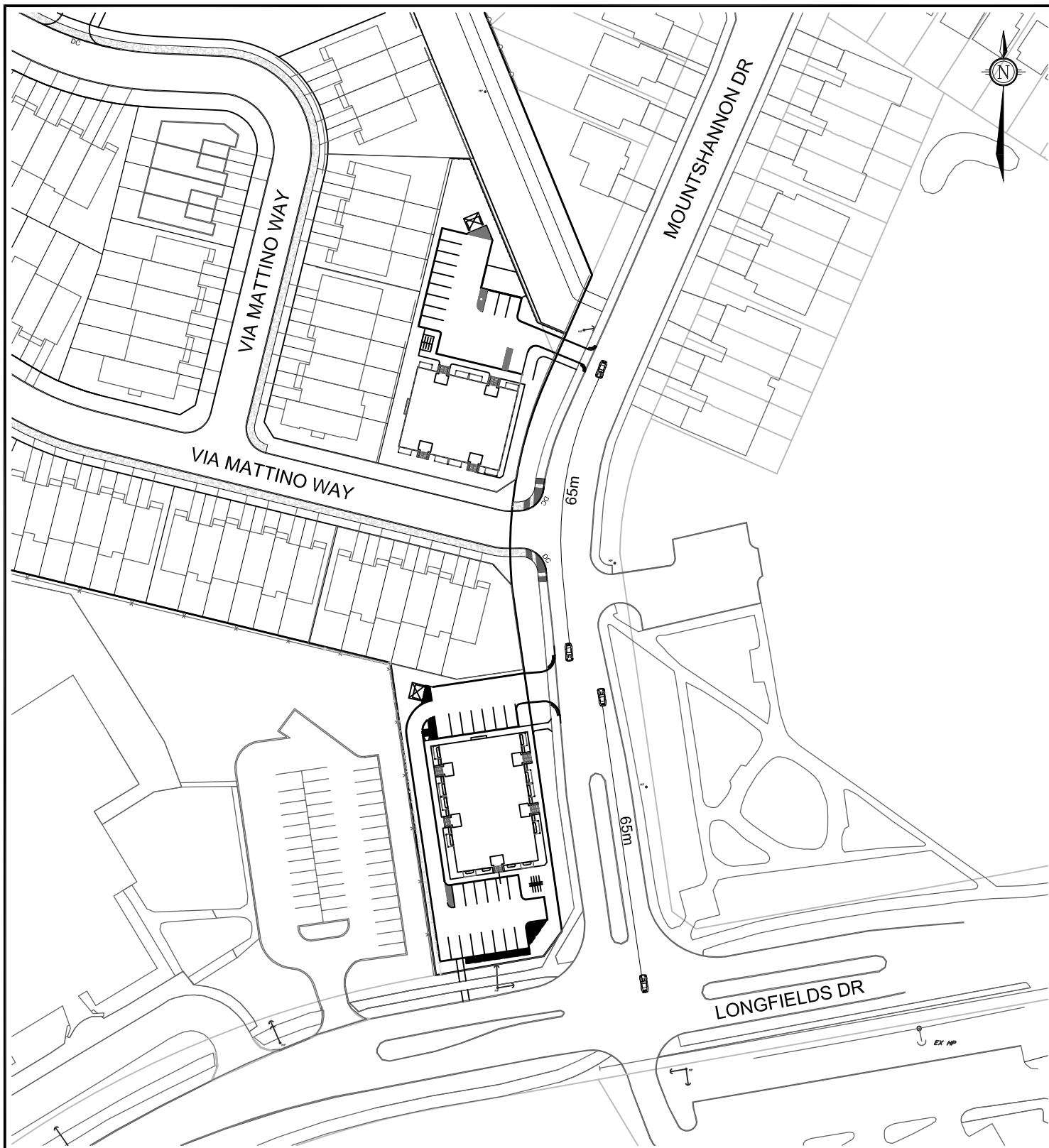
Section 2.5.3 of the Transportation Association of Canada (TAC) *Geometric Design Guide for Canadian Roads* identifies minimum stopping sight distance (SSD) requirements. Based on a design speed of 50km/h, the SSD requirement is 65 metres for vehicles travelling on Mountshannon Drive. As shown in **Figure 1**, there is sufficient stopping sight distance at the access.

Intersection sight distance (ISD) at the proposed access has been determined using Section 9.9.2 of the TAC *Geometric Design Guide for Canadian Roads*. ISD for the access, based on a design speed of 50km/h, is as follows:

- Left Turn from Minor Road 105 metres
- Right Turn from Minor Road 95 metres

The ISD at the proposed access is shown in **Figure 2**. Mountshannon Drive has slight horizontal curvature to the north of the proposed access. The available sight distance to the north from the proposed access exceeds the minimum TAC requirements. To the south of the proposed access,

M:\2012\112021\CAD\Design\Figures\Traffic\112021-FIG.dwg, FIG 1, Jul 30, 2019 - 4:16pm, rthiller



Engineers, Planners & Landscape Architects
Suite 200, 240 Michael Cowpland Drive
Ottawa, Ontario, Canada K2M 1P6

Telephone (613) 254-9643
Facsimile (613) 254-5867
W e b S I G H T
www.novatech-eng.com

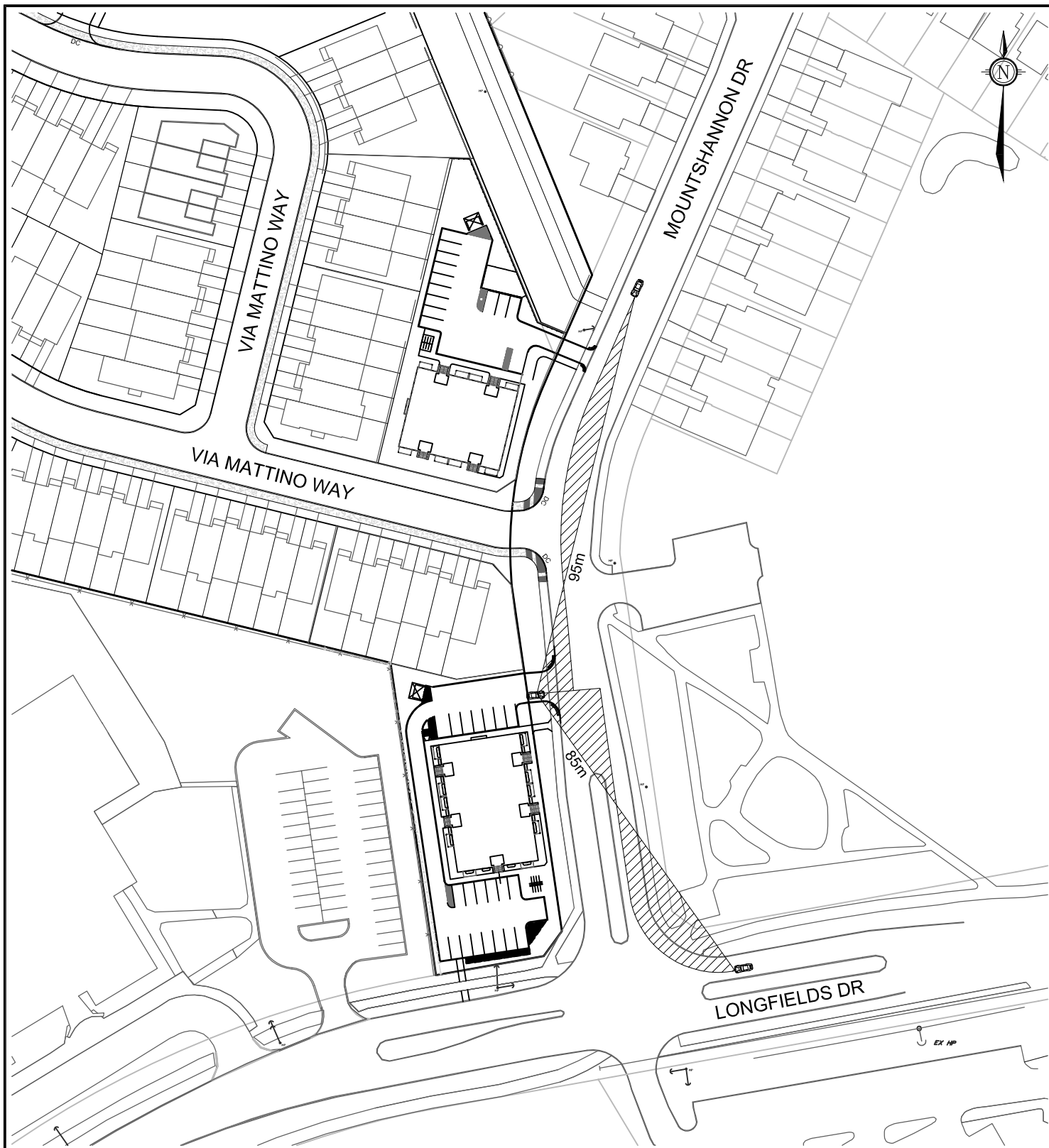
285 MOUNTSHANNON DR

STOPPING
SIGHT DISTANCE

SCALE 1 : 1250

DATE AUG 2019 JOB 112021 FIGURE FIGURE 1

M:\2012\112021\CAD\Design\Figures\Traffic\112021-FIG.dwg, FIG2, Jul 30, 2019 - 4:16pm, rhiller



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285 MOUNTSHANNON DR

INTERSECTION
SIGHT DISTANCE

SCALE 1 : 1250

DATE AUG 2019 JOB 112021 FIGURE FIGURE 2

the Mountshannon Drive/Longfields Drive intersection operates with all-way stop control and is within view. The distance from the nearest edge of the proposed driveway to the Mountshannon Drive/Longfields Drive intersection is approximately 65 metres. Approximately 85 metres of sight distance is available to a westbound vehicle turning right onto Mountshannon Drive. As vehicles travelling northbound on Mountshannon Drive will have navigated through the all-way stop at the intersection of Mountshannon Drive/Longfields Drive, it is anticipated they will be travelling slower than the design speed of 50km/h. Based on the foregoing, the available sight distance of approximately 85 metres, which is reflective of a design speed of 40km/h, is considered acceptable.

Based on the foregoing review, no sight line issues are anticipated at the proposed access to 285 Mountshannon Drive.

Yours truly,

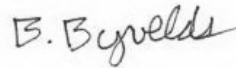
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Prepared by:

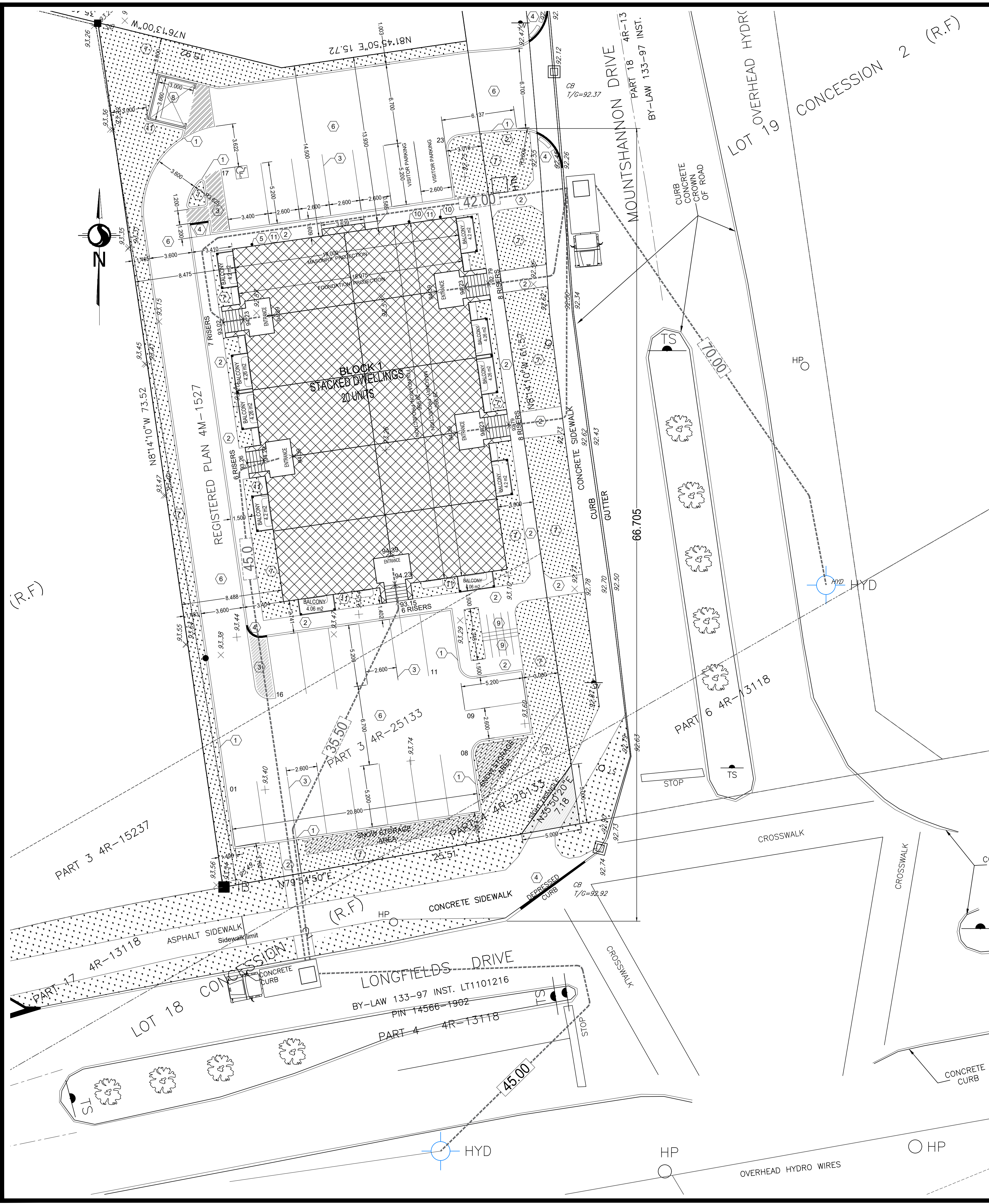


Rochelle Fortier, B.Eng.,
Engineering Intern | Transportation/Traffic

Reviewed by:



Brad Byvelds, P.Eng.,
Project Coordinator | Transportation/Traffic



CURRENT ZONING BY LAW		
DESCRIPTION	PROPOSED	REQUIRED
LOT AREA	2076.97 m ²	660
LOT FRONTAGE	30.5 m	22 m
LOT DEPTH	61.5 m	N/A
MAX. NUMBER OF DWELLING UNITS	20	20
FRONT SET BACK	22 m	3 m
CORNER SIDE YARD SETBACK	3 m	2 m R4A(2163)
INTERIOR SIDE YARD SETBACK	8.4 m	3 m
REAR SET BACK	13.9 m	7.5 m
REAR SET SETBACK BETWEEN UNITS	0	0
BUILDING AREA	569.8 m ²	-
GROSS FLOOR AREA	2279.2 m ²	-
AMENITY AREA	-	0 R4A(2163)
MIN. LANDSCAPING BUFFER	2	2
PARKING SPACE	20	0.5 /UNIT- Rapid Transit
MIN. VISITOR PARKING & ACCESSIBLE PARKING	2+1	0.1 /UNIT- Rapid Transit
MIN. BICYCLE PARKING	10	0.5 /UNITS-TABLE 111A
AMENITY AREA	-	0
TOTAL PARKING LOT AREA	789 m ²	-
LANDSCAPING PROVIDE FOR THE PARKING LOTS	315 m ²	15% OF PARKING AREA (118.35 m ²)
TOTAL SOFT & HARD LANDSCAPED AREA	634 m ²	30% OF LOT AREA

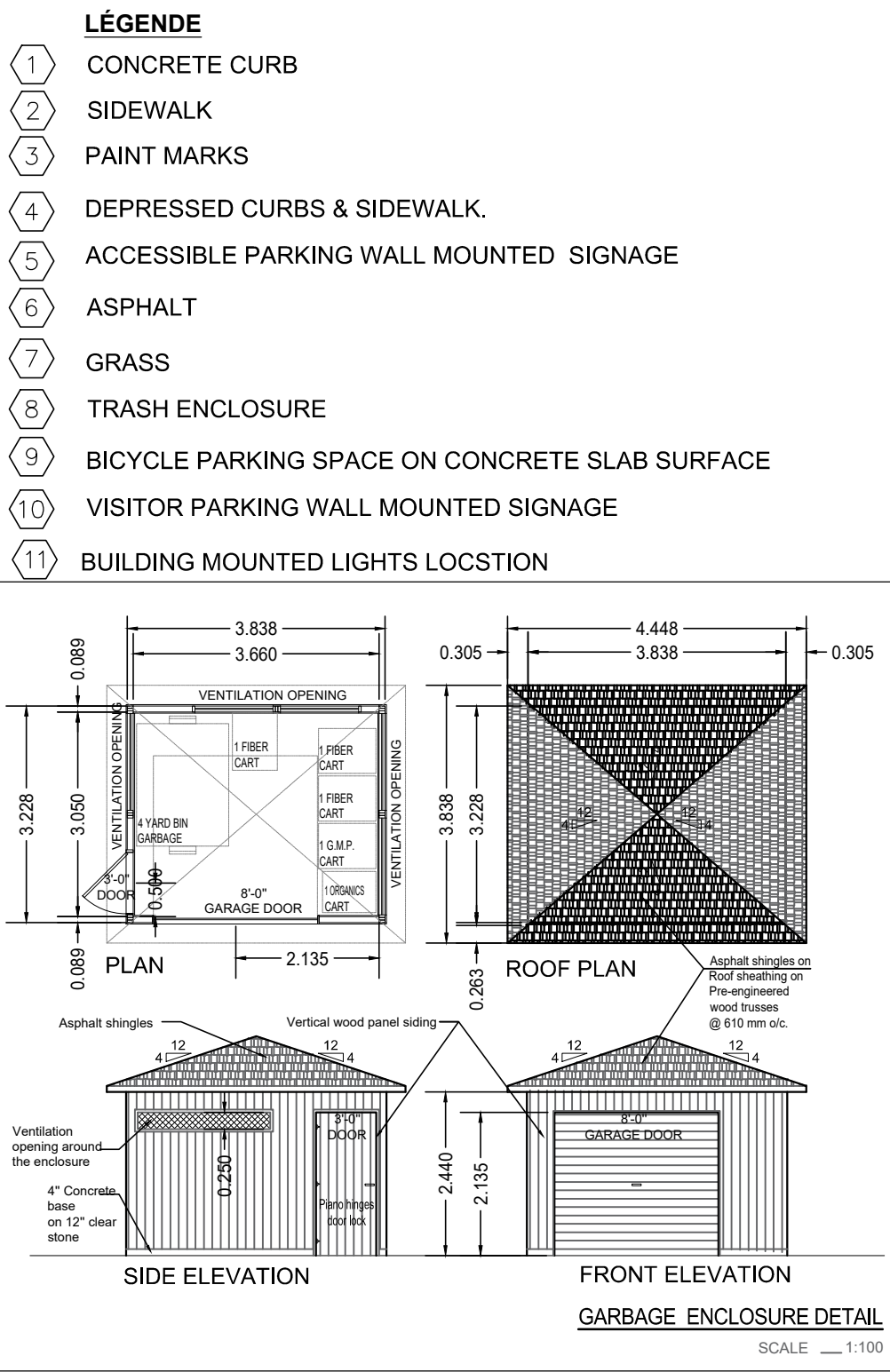
GRADE SCHEDULE
AVERAGE GRADE: 92.90.
T.O. FOUNDATION: 93.30/ 100.000
T.O. FIRST FLOOR: 94.39, T.O. BASEMENT: 91.367
T.O. SECOND FLOOR: 97.529, T.O. THIRD FLOOR: 100.603
T.O. ROOF PLATE: 103.073, T.O. MID-ROOF: 104.880

MINOR VARIANCE:
-To permit a building height of 12m whereas the zoning requirement permits up to 11m.
-To permit parking in a provide/required front yard, in a provided/required corner side yard and in the extension of a required and provided corner side yard into a rear yard where where section 109 (3) (a) does not permit it.
-To permit a reduced landscape buffer for a parking lot abutting a street of 2.5m whereas Table 110 requires 3m (adjacent to Longfields).
-To permit a reduced landscape buffer for a parking lot not abutting a street of 1m for the northern property line whereas Table 110 requires 1.5m.
-To permit a reduced landscape buffer for stacked dwellings of 1.46m western property line and 1m for the northern property line whereas exception 2163 requires 2m.

Item	Ontario Building Code Data Matrix Parts 3 & 9						OBC Reference			
1	Project Description:		<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use		<input type="checkbox"/> Part 10	<input type="checkbox"/> Part 11	<input type="checkbox"/> Part 3	<input type="checkbox"/> Part 9		
2	Major Occupancy(s):		C				3.1.2.1.(1)		9.10.2	
3	Building Area (sq.m.)		570.4 m2				1.1.3.2		1.1.3.2	
4	Gross Area (sq.m.)		2234 m2				1.1.3.2		1.1.3.2	
5	Number of Storeys:		Above grade 3 Below grade 1				3.2.1.1 & 1.1.3.2		2.1.1.3	
6	Height of building (m)		12 m				3.2.1.1 & 3.2.5.5		2.1.1.3	
7	Number of Streets/Access Routes:		2				3.2.2.10 & 3.2.5.5		2.1.1.3	
8	Building Classification:		9.10.8.1				3.2.2.20-83		9.10.4	
9	Sprinkler System Proposed:		<input type="checkbox"/> Entire building <input type="checkbox"/> Addition only <input type="checkbox"/> In lieu of roof rating <input checked="" type="checkbox"/> Not required				3.2.2.20-83		9.10.8	
10	Standpipe required:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.1.5		3.2.2.17	
11	Fire Alarm required:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.9			
12	Water Service/Supply is Adequate:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				3.2.4		9.10.17.2	
13	High building:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.6			
14	Permitted Construction:		<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both				3.2.2.20-83		9.10.6	
15	Mezzanine(s) Area (sq.m.)		N/A				3.2.1.1.(3)-(8)		9.10.4.1	
16	Occupant load based on:		<input type="checkbox"/> sq.m./person <input checked="" type="checkbox"/> design of building				3.1.1.6		9.9.1.3	
17	Barrier-free Design:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain) _____		According to 9.5.2.1.2		3.8		9.5.2	
18	Hazardous Substance:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.3.1.2.(1) & 3.3.1.19.(1)		9.10.1.3	
19	Required Fire Resistance Rating (F.R.R.)		Horizontal Assemblies F.R.R. (Hours) Floors 3/4 Hours Roof 0 Hours Mezzanine - Hours F.R.R. of Supporting Members Floors 3/4 Hours Roof 0 Hours Mezzanine 0 Hours		Listed Design No. or Description (SG-2) SB-3 (F19d) Listed Design No. or Description (SG-2) SB-3 (EW1a)		3.2.2.20-83 & 3.2.1.4		9.10.8 9.10.9	
20	Spatial Separation - Construction of Exterior Walls		Area of EBF (sq.m.) L.D. (m) L/H or H/L Permitted Max. % of Openings Proposed % of Openings F.R.R. (Hours)		32.4 8.475 - 100% 37% -		3.2.3 Listed Design or Description Comb. Const. Non-C. Const. Comb. Cladding Non-C. Cladding		9.10.14 9.10.1.3 X X X X	
21	Other - Describe									

BUILDING CODE ANALYSIS

- 3 STOREYS RESEIDENTIAL USE BUILDING WITH BASEMENT
- 20 STACKED DWELLING UNITS
- FACING 2 STREETS
- BUILDING AREA: 569.8 m²
- GROSS FLOOR AREA: 2279 m²
- USE: GROUP "C"
- CLASSIFICATION: 9.10.8.1
- PARTS 9 OF OBC 2012
- COMBUSTIBLE CONSTRUCTION
- SECOND FLOOR FIRE SEPARATION: 34HR REQUIRED C.W. VERTICAL STRUCTURAL COMPONENTS
- UPPER DWELLING STAIRWAY ENTRANCE/EXIT ENCLOSURES FIRE SEPARATION: 34HR REQUIRED C.W. VERTICAL STRUCTURAL COMPONENTS
- FIRE RESISTANCE FOR ROOF: NOT REQUIRED
- PLUMBING EQUIPMENTS
- 1 WASHROOM PER UNIT REQUIRED
- 10% NATURAL LIGHTING REQUIRED FOR LIVING ROOMS & DINING ROOMS
- 5% NATURAL LIGHTING REQUIRED FOR BEDROOMS
- BARRIER FREE PATH OF TRAVEL NOT REQUIRED ACCORDING.



Pierre J. Tabet architect

167 Rue De Roquebrune, Gatineau Qc J8T 7Y6
Tel. : 819-568-3994 / 613-797-5375 Fax : 819-246 4312
E-Mail : pierre.tabet@hotmail.com

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4			
3	3rd Submission	A.A.	P.T. 19.07.19
2	2nd Submission Comments	A.A.	P.T. 19.06.28
1	1st Submission Comments	A.A.	P.T. 19.05.13
Revision		By	Appd. YY.MM.DD
6			
5			
4			
3			
2			
1	PRE-APPLICATION DOC.	A.A.	P.T. 18.12.11
Issued		By	Appd. YY.MM.DD

Stamp

ONTARIO ASSOCIATION OF ARCHITECTS

Project

MATTINO HOMES
20 CONDO UNITS BUILDING
BLOCK 1
285 MOUNTSHANNON DRIVE,
OTTAWA, ON

Title

SITE PLAN

Project #	Scale	Date
Revision	1:175	2019-07-19
1	Sheet	Drawing #
	01	A-100

SITE PLAN
SCALE: 1/175