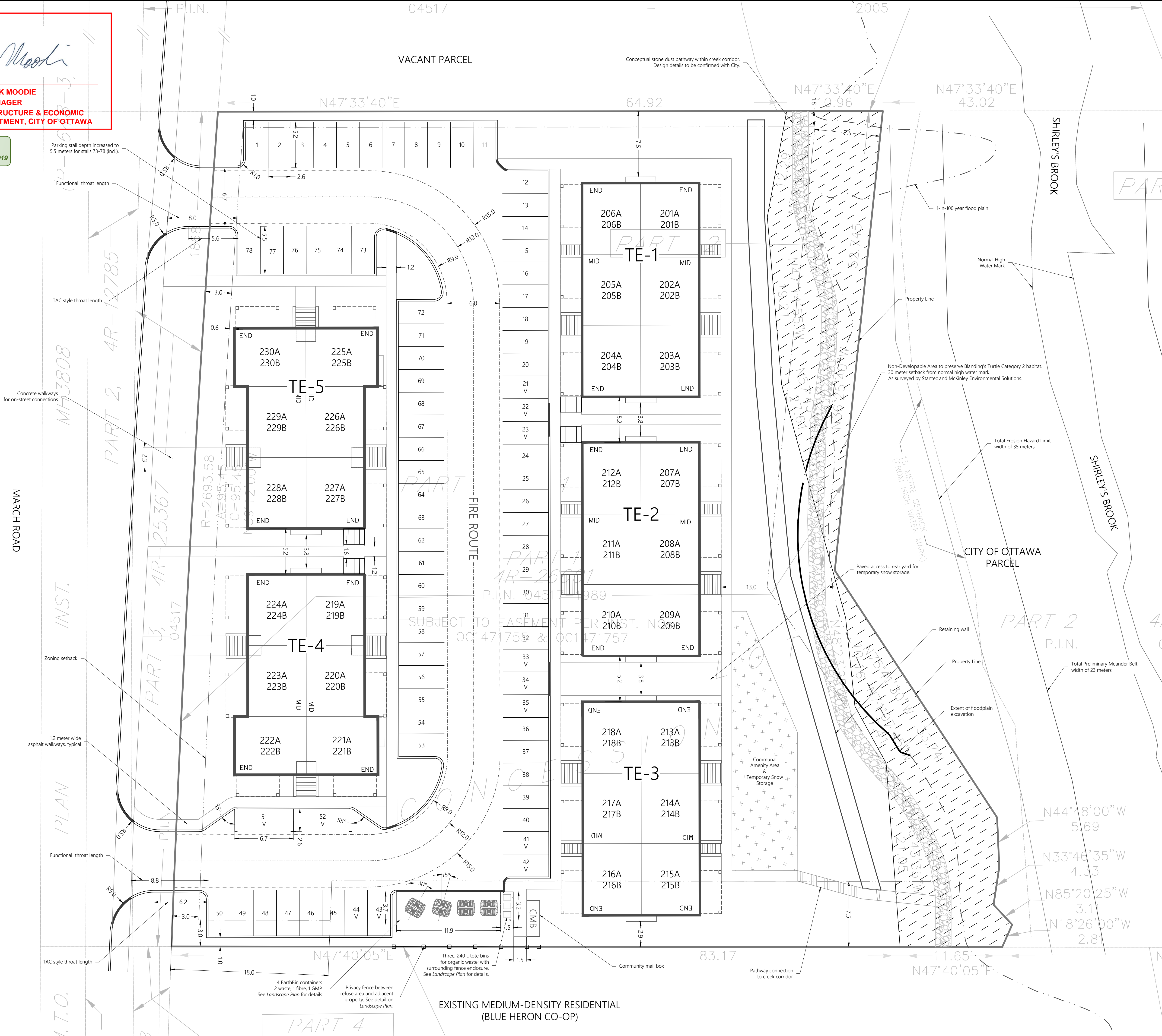


Derrick Moodie

DERRICK MOODIE
MANAGER
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

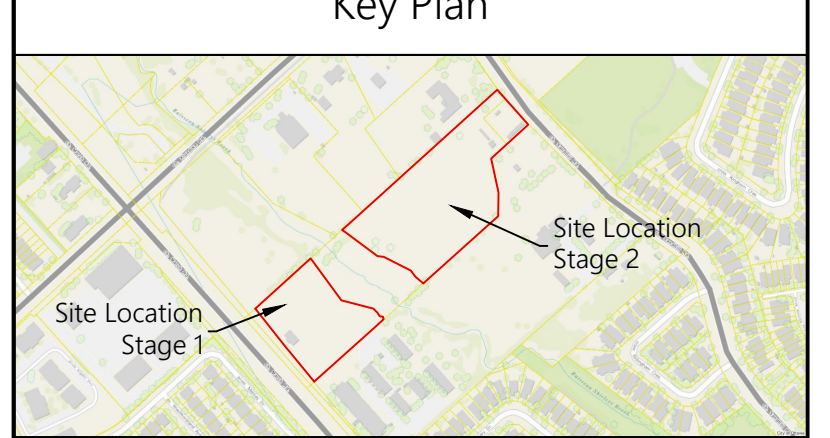
APPROVED
 By Samantha Gatchene at 2:14 pm, Aug 09, 2019

MARCH ROAD (REGIONAL ROAD No. 49)
 ROAD ALLOWANCE BETWEEN CONCESSIONS 3 AND 4
 TRANSFERRED BY ORDER-IN-COUNCIL O.C.2446/82, INST. NO. NS166501 (MTO FILE P-1648-48) DEPOSITED PLAN MH3924 (MTO
 DESIGNATED AS KING'S HIGHWAY BY ORDER-IN-COUNCIL O.C. 1585/74, INST. NO. CT195690 (MTO FILE P-1648-39)



Zoning Table		
Zone	Required	Provided
Zone	-	R4Z
Minimum Lot Area	1400 m ²	7,679 m ²
Building Area	-	2,130.1 m ²
Lot Coverage	-	28%
Total Amenity Space	360 m ²	732 m ²
Communal Amenity Space	180 m ²	181.6 m ²
Amenity Space per Unit (Section 137)	6 m ² per unit	12 m ² per unit (balcony)
Setback	Front Yard	3.0 m
	Interior Yard (North Side)	1.8 m
	Interior Yard (South Side)	3.0 m (first 18 m) 7.5 m otherwise
	Rear Yard	7.5 m
Max. Building Height	15 m	11.4 m
Units	-	60 stacked townhomes
Parking (Section 101)	Tenant Parking (units x 1.1)	66
	Visitor Parking (units x 0.2)	12
	Total Parking	78
Parking Space (Section 106)	2.6 x 5.2 m	2.6 x 5.2 m
Bicycle Parking (Section 111)(units x 0.5)	30	46 ⁴
Landscaped Area (Section 161 (B))	30%	44.7%
Perimeter Landscaped Area (Section 110)	15%	17.0%

Legend	
	Property Line
	Zoning Setback
	Privacy Fence
	Amenity Area
	Depressed Curbs
	Non-Developable Area
	Bicycle Parking
	Retaining Wall



Design Team	
Owner/Applicant/Architect Minto Communities Inc. 180 Kent Street Ottawa, Ontario K1P 0B6	Engineer J.L. Richards & Associates Inc. 864 Lady Ellen Place Ottawa, Ontario K1Z 5M2
Surveyor Stantec 400 - 1331 Clyde Avenue Ottawa, Ontario K2C 3G4	Landscaping f.d. fountain 3-1735 Courtwood Crescent Ottawa, Ontario K2C 3J2

- Notes**
- Property boundary information from draft survey plan.
 - All dimensions are in meters.
 - Dimensions for each bicycle parking spot: 0.6 m x 1.8 m. Bicycle parking details are included on the Landscape Plan.
 - Provided bicycle parking includes 30 private, interior wall mounted fixtures, 1 per each lower level unit. Remaining bicycle parking provided as shared, outdoor fixtures.

2.6	Adjusted bicycle parking and creek pathway, included Extent of floodplain excavation linework.	5-Jul-19	T.C.
2.5	Sidewalk adjustments, creek access and pathway.	4-Jun-19	T.C.
2.4.1	Adjusted CMB size and pathway near Units 221, relocated bike racks.	11-Apr-19	T.C.
2.4	Relocated bike racks, CMB, adjusted retaining wall.	11-Apr-19	T.C.
2.3	March Road sidewalk adjusted, throat length included.	21-Mar-19	T.C.
2.2	Address 1st review comments (snow storage access, privacy fence, etc.)	25-Feb-19	T.C.
2.1	Bicycle parking included	18-Dec-18	T.C.
2	Revised unit count and layout	7-Dec-18	T.C.
1	Revised unit count and layout	4-Dec-18	T.C.
0	Issue for revision	4-Dec-18	T.C.
No.	REVISION	DATE	BY

Project
 Morgan's Creek
 762 March Road, Ottawa, ON K2K 0A5

Title
 Stage 1 - Site Plan - Rev 2.6

Drawing No.
 SP 1

Scale
 1:200

Scale
 0 5 m 10 m

minto Communities
 Minto Communities Inc.
 200-180 Kent Street
 Ottawa, ON K1P 0B6
 Canada