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595 BYRON AVE., OTTAWA, ON, K2A 4C4 T. 613 728 0008 APPLICATION FOR SITE PLAN CONTROL:

STAR TOP ROAD WAREHOUSE

1499 STAR TOP ROAD. OTTAWA, ON K1B 3W5.

JULY 24TH 2019

SITE PLAN CONTROL APPLICATION

SUMMARY

City Planners & Development Review Services

Re: Application for Site Plan Control, 1499 Star Top Road. Ottawa, ON K1B 3W5.

This Planning and Design Rationale has been prepared in support of an application by Cole + Associate Architects in order to permit the Development of a 2,1570m2 site located at 1499 Star top Rd. The site is currently surrounded by existing light industrial use buildings (See Figure 1, Location Map). The subject property is occupied by 55 Parking Spaces that serve an existing building material warehouse (refer to Figure 2 - Aerial View Site Context).

Existing Zoning

The site is currently zoned as IL 2 F (0.7) H (14) (Light Industrial) in Zoning By-law 2008-250. This zone permits light industrial with a maximum building height of 14 meters. (c) Maximum lot coverage 65%, (e) Minimum interior side yard setback (ii) 7.5m

Surrounding Area

The surrounding neighbourhood is characterized by Light Industrial land uses, including commercial. Star Top Road is not an Arterial Roadway nor on a Transit Priority Corridor. The abutting street network provides access to a range of daily goods and services, employment opportunities, various Industrial and commercial areas, and access to the Provincial Highway 417.

To the North:

The property to the north of the subject property is predominantly characterized as light industrial in proximity to Provincial Highway, which is being used as a Towing and Vehicle storage warehouse.

To the East:

The property to the East is the Provincial Highway 417, and to the east of the Hwy 417 there is a Home Depot (Home Improvement Store) which has the same function as the subject property proposed and use.

To the South:

The property to the south of the subject property is predominantly characterized as light industrial and currently the property is being used as a Landscape material supply warehouse (functions as the subject property use).



To the West:

The property to the West is across from Star Top Road, and it is predominantly characterized as light industrial and currently being used as an Automotive parts distribution network (a warehouse facility which functions as the subject property use).

Proposed Development

The proposal includes the development of single-story pre-engineered warehouse, besides an existing building material warehouse. The proposed warehouse building has a total 1,291.4 square metres (13,900.5 square feet) of gross floor area. The warehouse will be used for temporary building material storage. The site contains 55 existing parking spots that will be relocated to the west of the new building. Streetscape improvements are proposed along the Star Top Rd. frontage (refer to Figure 3 - Proposed Site Plan).

This report concludes that the proposed redevelopment is supportive of policy directions articulated in the Provincial Policy Statement, the existing and any future proposed use of the site will remain conforming to Zoning By-Law 2008-250 under General Urban designation. The perimeter of the warehouse has adequate landscape buffer for storm water management and any excess runoffs.

From a land use planning perspective, the proposal is supportive of the policy directions maintaining light industrial structure and infill within existing industrial areas, particularly in locations which are well served by municipal infrastructure.

From a built form and urban design perspective, the proposal will be the same use and function of the surrounding buildings. The proposed buildings will fit harmoniously within the existing and planned built form context. The site is designated Light Industrial which is solely used for commercial purposes and has no historical or cultural significance. A Minor Variance application is currently under review with committee of adjustment (Application # D08-02-19/a-00208) the proposed application intends to bring the existing structure in to conformance with the By-law and to obtain the necessary approvals in order to propose new developments which will provide the following benefits:

- Better site planning;
- Parking management;
- Engineered landscaping for advance surface runoff management;
- New Trees and low maintenance landscaping along Startop road;
- New storm water interceptor pit for pollution control.

Cole +Associates Architects' design will result in a high-quality project which has been created with an eye to blending into the existing site context. As this application does not request additional density, transportation and servicing aspects it is our opinion that the proposed development represents good planning and urban design, and, accordingly, the applications should be approved.



APPENDIX



APPENDIX



Figure 1 - Location Map



Figure 2 - Aerial View Site Context



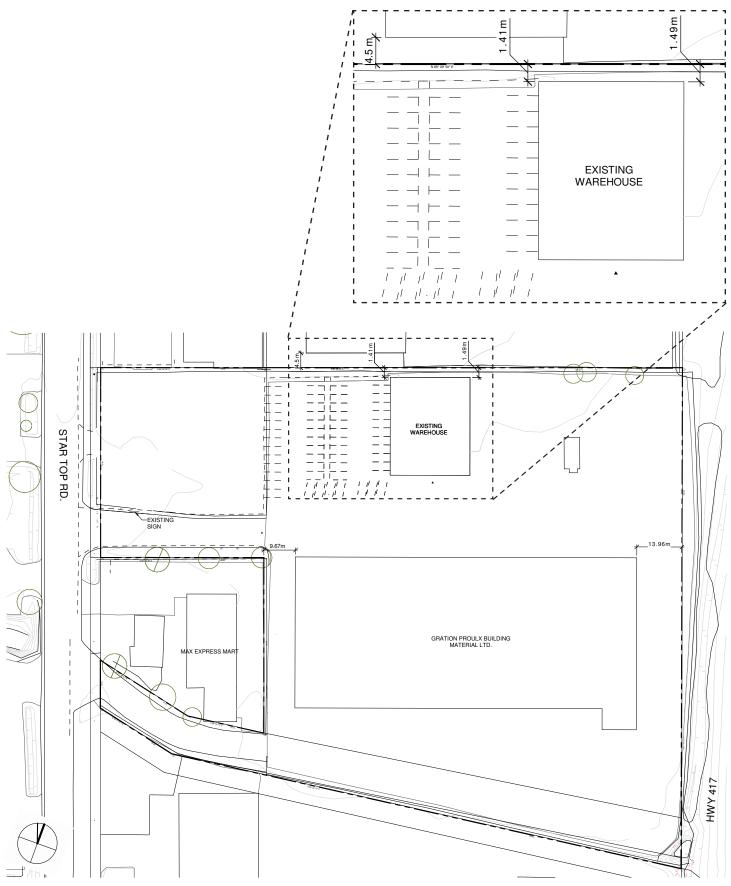


Figure 3 - Existing Site Plan



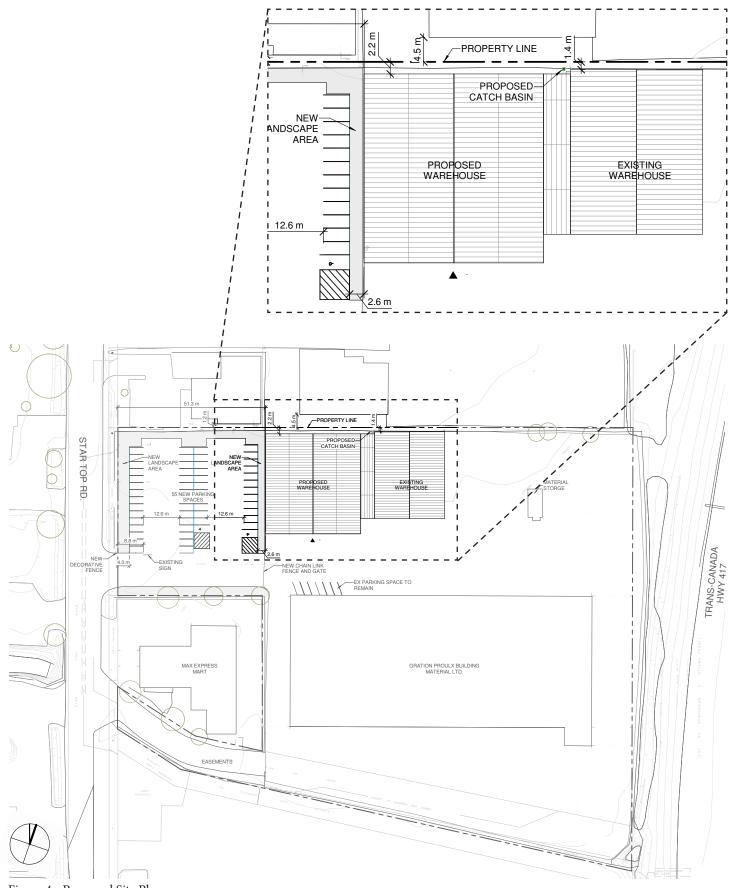
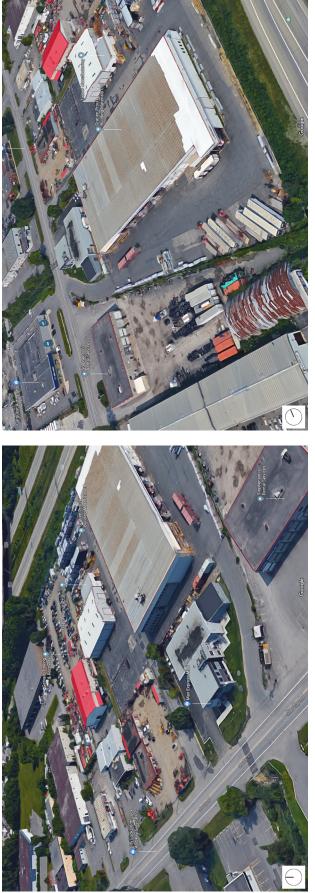


Figure 4 - Proposed Site Plan





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Figure 5 - NE Ariel View

Figure 6- NW Ariel View



Figure 8 - SW Ariel View

Figure 7 - SE Ariel View



Figure 9 - North East View of Existing Parking



Figure 10 - Entrance of Existing Warehouse



Figure 11 - Back the of Existing Warehouse

