

July 22, 2019

City of Ottawa
Planning, Infrastructure & Economic Development Department
110 Laurier Avenue West, 4th Floor
Ottawa, ON K1P 1J1

Attention: Cheryl McWilliams, Planner III

Dear Ms. McWilliams:

**Reference: 2727 Carp Road (ATCO Site)
Site Plan Control Application – Temporary Building Addition
Our File No. 110149**

Novatech is pleased to submit the enclosed Site Plan Control Revision application on behalf of our client, 1384341 Ontario Ltd., c/o Thomas Cavanagh Construction Limited (Cavanagh) for part of their property at 2727 Carp Road in the City of Ottawa. Specifically, the portion of their property subject to this application is a 2.02 ha rectangular piece at the eastern edge fronting onto Carp Road, as shown in Figure 1. Cavanagh has a lease agreement with ATCO Structures & Logistics (ATCO) to allow ATCO to use this portion of Cavanagh's property as a trailer storage yard.

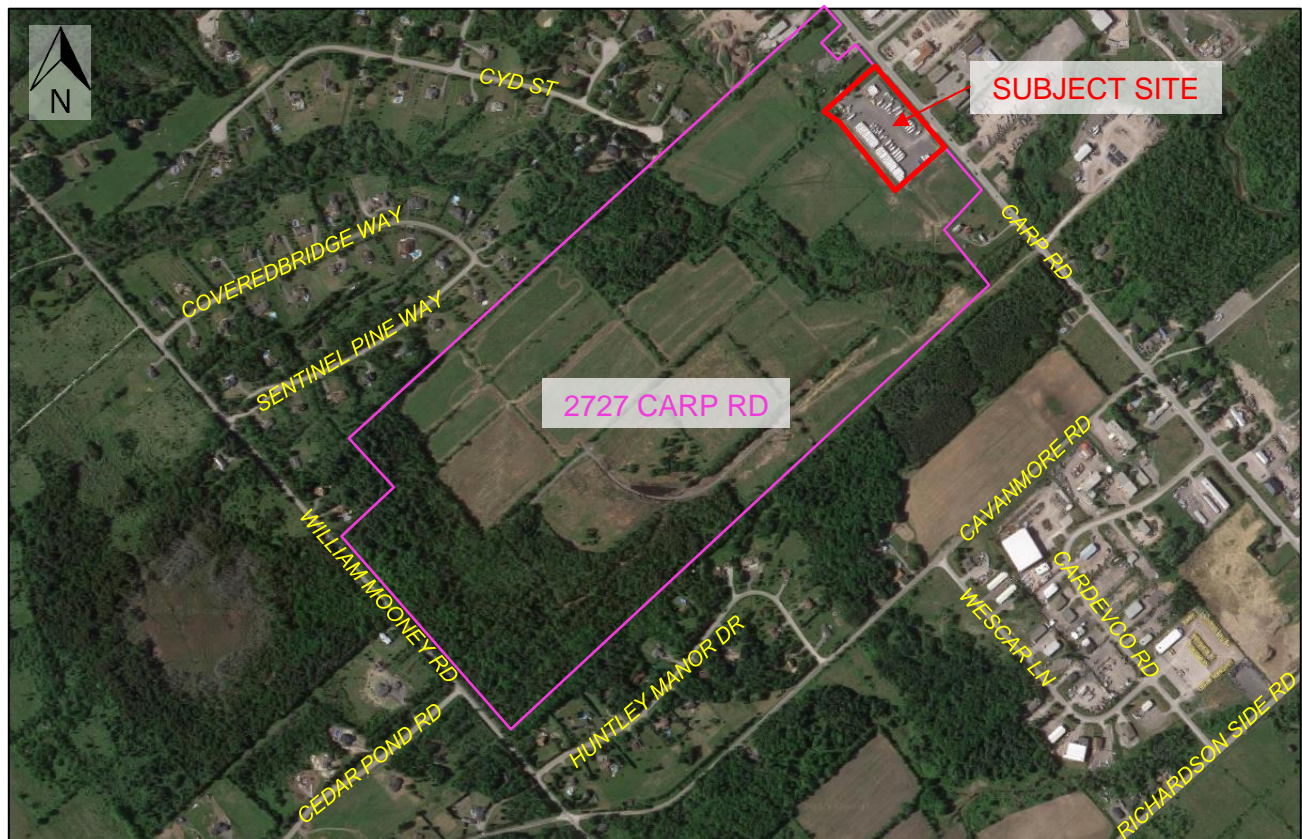


Figure 1: ACTO site outlined in red

A Site Plan Control application to permit ATCO's fenced storage yard was approved by the City on February 5, 2018 (D07-12-16-0077).

ATCO is now proposing to add a 576m² (18.90m x 30.48m) temporary building to the northwest corner of their leased site. The proposed building consists of a steel-supported canvas-covered hoop structure that is set upon shipping containers serving as the side walls of the building. The proposed building has been designed and situated on the site to comply with the existing Rural Commercial – RC9 zone provisions.

The following submission materials are attached in support of the proposed Site Plan Revision, as requested in your July 4, 2019 e-mail to Matt Nesrallah (Cavanagh):

- Site and Landscape Plan, Revision 7, 100149-4-SP;
- Servicing Design Brief, July 22, 2019, 100149, R-2019-131;
- Plan 4R-30271, dated April 26, 2017; and
- One (1) CD containing a digital copy of all materials listed above in PDF format.

Should you have any questions, comments, or require additional information, please do not hesitate to contact me.

Sincerely,

NOVATECH



Ellen Potts, BES (PI)
Planner

cc: Ben Houle – Cavanagh Developments
Matt Nesrallah – Cavanagh Developments