

SITE PLAN OF PART LOT E CONCESSION C (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF NEPEAN ALSO KNOWN AS PART OF PARK LOT 51 OF THE BY-ESTATE CITY OF OTTAWA



OTM CONSTRUCTION
GROUP LTD. - BCN# 112782
333 BURNINGHAM AVE. SUITE 101,
OTTAWA, ONTARIO K1N 6M9
FERNANDO VILCHES - BCN# 22631
613-584-4429

QUALIFICATION INFO
The undersigned has reviewed and takes responsibility for the design and construction of the project and meets the requirements set out in the Ontario Building Code to be a Registered Professional Engineer.

RESPONSIBILITIES

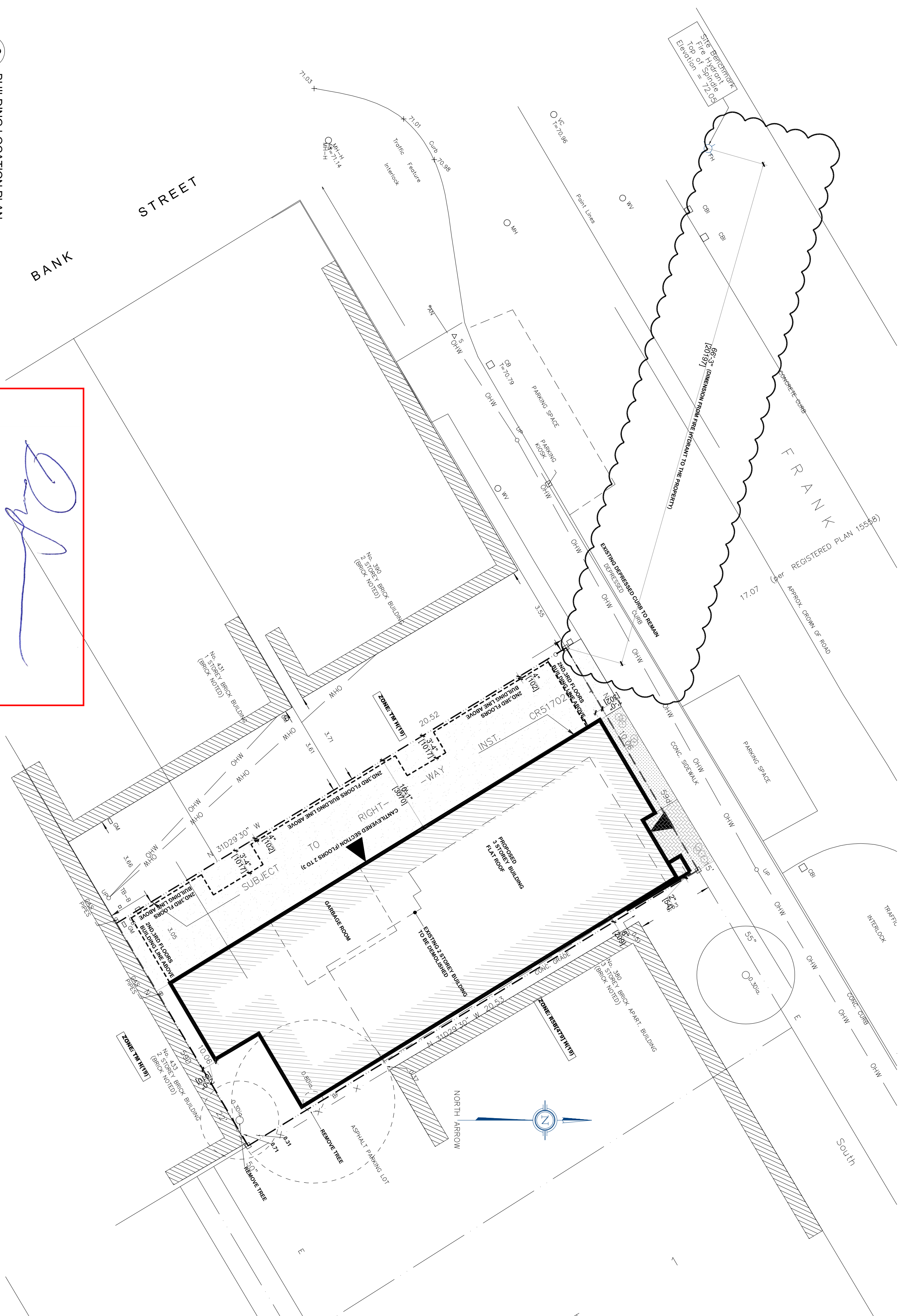
DO NOT SCALE DRAWINGS
ALL DIMENSIONS AND DISTANCES SHOWN ON THIS DRAWING ARE TO BE TAKEN FROM THE ORIGINAL SURVEY DATA AND NOT FROM ANY OTHER SOURCE. THE ARCHITECT'S RESPONSIBILITY IS TO ENSURE THAT THE DIMENSIONS AND DISTANCES SHOWN ON THIS DRAWING ARE CORRECT AND TO BE TAKEN FROM THE ORIGINAL SURVEY DATA AND NOT FROM ANY OTHER SOURCE. THE ARCHITECT'S RESPONSIBILITY IS TO ENSURE THAT THE DIMENSIONS AND DISTANCES SHOWN ON THIS DRAWING ARE CORRECT AND TO BE TAKEN FROM THE ORIGINAL SURVEY DATA AND NOT FROM ANY OTHER SOURCE.

- PROPOSED TREE
- EX. TREE TO BE REMOVED
- PROPOSED BUILDING FOOTPRINT
- EXISTING BUILDING TO BE DEMOLISHED
- DEMOTES SOFT LANDSCAPING (SSO)
- DEMOTES HARD LANDSCAPING
- ASPHALT
- PROPOSED SHRUB
- PROPOSED/EXISTING ENTRIMENT
- EX. UTILITY POLE
- EX. CHAINED LIMBBOARD FENCE
- PROPERTY LINE
- OVERHEAD HYDRO LINES

TVA - EXISTING ZONING		PROPOSED ZONING		REQUIREMENT		NOTES	
PROPOSED CHANGE OF ZONING TO TM - TRADITIONAL MAINSTREET ZONE (SECTIONS 197 AND 189) CITY OF OTTAWA.		PROPOSED CHANGE OF ZONING TO TM - TRADITIONAL MAINSTREET ZONE (SECTIONS 197 AND 189) CITY OF OTTAWA.		PROPOSED CHANGE OF ZONING TO TM - TRADITIONAL MAINSTREET ZONE (SECTIONS 197 AND 189) CITY OF OTTAWA.		PROPOSED CHANGE OF ZONING TO TM - TRADITIONAL MAINSTREET ZONE (SECTIONS 197 AND 189) CITY OF OTTAWA.	
DWELLING TYPE: 3 STOREY LOW-RISE RESIDENTIAL BUILDING		DWELLING TYPE: 3 STOREY LOW-RISE RESIDENTIAL BUILDING		DWELLING TYPE: 3 STOREY LOW-RISE RESIDENTIAL BUILDING		DWELLING TYPE: 3 STOREY LOW-RISE RESIDENTIAL BUILDING	
ZONING MECHANISMS		ZONING MECHANISMS		ZONING MECHANISMS		ZONING MECHANISMS	
A) MINIMUM LOT AREA		A) MINIMUM LOT AREA		A) MINIMUM LOT AREA		A) MINIMUM LOT AREA	
B) MINIMUM LOT HEIGHT		B) MINIMUM LOT HEIGHT		B) MINIMUM LOT HEIGHT		B) MINIMUM LOT HEIGHT	
C) MAXIMUM FRONT YARD SET BACK		C) MAXIMUM FRONT YARD SET BACK		C) MAXIMUM FRONT YARD SET BACK		C) MAXIMUM FRONT YARD SET BACK	
D) MINIMUM FRONT YARD SET BACK		D) MINIMUM FRONT YARD SET BACK		D) MINIMUM FRONT YARD SET BACK		D) MINIMUM FRONT YARD SET BACK	
E) MINIMUM INTERIOR SIDE YARD SETBACK		E) MINIMUM INTERIOR SIDE YARD SETBACK		E) MINIMUM INTERIOR SIDE YARD SETBACK		E) MINIMUM INTERIOR SIDE YARD SETBACK	
F) MAXIMUM INTERIOR SIDE YARD SETBACK		F) MAXIMUM INTERIOR SIDE YARD SETBACK		F) MAXIMUM INTERIOR SIDE YARD SETBACK		F) MAXIMUM INTERIOR SIDE YARD SETBACK	
G) MINIMUM REAR YARD SET BACK		G) MINIMUM REAR YARD SET BACK		G) MINIMUM REAR YARD SET BACK		G) MINIMUM REAR YARD SET BACK	
H) MAXIMUM BUILDING HEIGHT		H) MAXIMUM BUILDING HEIGHT		H) MAXIMUM BUILDING HEIGHT		H) MAXIMUM BUILDING HEIGHT	
I) MINIMUM WIDTH OF LANDSCAPED AREA		I) MINIMUM WIDTH OF LANDSCAPED AREA		I) MINIMUM WIDTH OF LANDSCAPED AREA		I) MINIMUM WIDTH OF LANDSCAPED AREA	
J) MAXIMUM AREA		J) MAXIMUM AREA		J) MAXIMUM AREA		J) MAXIMUM AREA	
K) UNIT STATISTICS		K) UNIT STATISTICS		K) UNIT STATISTICS		K) UNIT STATISTICS	
L) RESIDENTIAL BUILDING		L) RESIDENTIAL BUILDING		L) RESIDENTIAL BUILDING		L) RESIDENTIAL BUILDING	
M) CAR PARKING		M) CAR PARKING		M) CAR PARKING		M) CAR PARKING	
N) BICYCLE PARKING		N) BICYCLE PARKING		N) BICYCLE PARKING		N) BICYCLE PARKING	
BUILDING AREAS		BUILDING AREAS		BUILDING AREAS		BUILDING AREAS	
FLOOR NAME		FLOOR NAME		FLOOR NAME		FLOOR NAME	
AREA		AREA		AREA		AREA	
DEVELOPMENT INFO.		DEVELOPMENT INFO.		DEVELOPMENT INFO.		DEVELOPMENT INFO.	
UNIT 1		UNIT 1		UNIT 1		UNIT 1	
REQUIREMENT		REQUIREMENT		REQUIREMENT		REQUIREMENT	
PROVIDED		PROVIDED		PROVIDED		PROVIDED	
GARAGE		GARAGE		GARAGE		GARAGE	
PER UNIT 600 2311 848		PER UNIT 600 2311 848		PER UNIT 600 2311 848		PER UNIT 600 2311 848	
PROVIDE ONE 300L BLUE BLACK CART		PROVIDE ONE 300L BLUE BLACK CART		PROVIDE ONE 300L BLUE BLACK CART		PROVIDE ONE 300L BLUE BLACK CART	
RECYCLING		RECYCLING		RECYCLING		RECYCLING	
MAXIMUM BUILDING HEIGHT:		MAXIMUM BUILDING HEIGHT:		MAXIMUM BUILDING HEIGHT:		MAXIMUM BUILDING HEIGHT:	
10.058 m		10.058 m		10.058 m		10.058 m	
TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA		TOTAL BUILDING AREA	
602 m²		602 m²		602 m²		602 m²	
TOTAL GFA		TOTAL GFA		TOTAL GFA		TOTAL GFA	
408 m²		408 m²		408 m²		408 m²	
SOFT LANDSCAPING		SOFT LANDSCAPING		SOFT LANDSCAPING		SOFT LANDSCAPING	
0.4 m²/0.2%		0.4 m²/0.2%		0.4 m²/0.2%		0.4 m²/0.2%	
HARD LANDSCAPING		HARD LANDSCAPING		HARD LANDSCAPING		HARD LANDSCAPING	
2.3 m²/1.1%		2.3 m²/1.1%		2.3 m²/1.1%		2.3 m²/1.1%	
SNOW REMOVAL REQUIREMENT		SNOW REMOVAL REQUIREMENT		SNOW REMOVAL REQUIREMENT		SNOW REMOVAL REQUIREMENT	
63 m²/30%		63 m²/30%		63 m²/30%		63 m²/30%	
PROPERTY OWNER WILL BE RESPONSIBLE FOR THE REMOVAL AND STORAGE OF SNOW FOR ALL WALKWAYS THROUGHOUT THE WINTER		PROPERTY OWNER WILL BE RESPONSIBLE FOR THE REMOVAL AND STORAGE OF SNOW FOR ALL WALKWAYS THROUGHOUT THE WINTER		PROPERTY OWNER WILL BE RESPONSIBLE FOR THE REMOVAL AND STORAGE OF SNOW FOR ALL WALKWAYS THROUGHOUT THE WINTER		PROPERTY OWNER WILL BE RESPONSIBLE FOR THE REMOVAL AND STORAGE OF SNOW FOR ALL WALKWAYS THROUGHOUT THE WINTER	
ASPHALT		ASPHALT		ASPHALT		ASPHALT	

384 FRANK STREET
NEW 3 STOREY LOW-RISE RESIDENTIAL

PROJECT: 384 FRANK STREET		OTM CONSTRUCTION	
CONSULTANT: ARCHITECTURAL - ELECTRICAL - MECHANICAL - CIVIL		KCP 116	
DRAWN: LT		SHEET: A0	
DATE/DEC. 3, 2018		SCALE: AS NOTED	
DRAWING: SITE PLAN & NOTES		BY: JAMES DO	

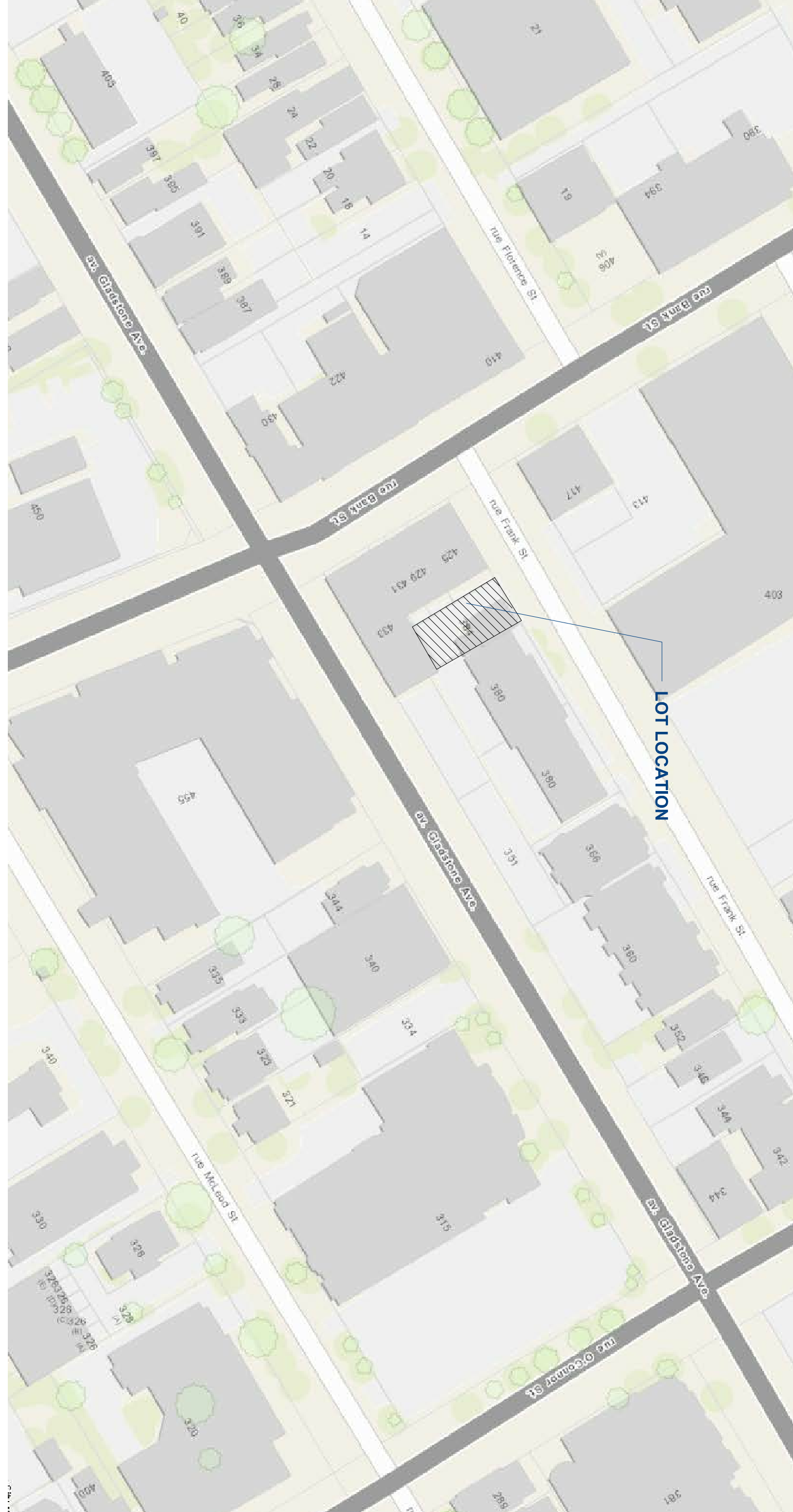
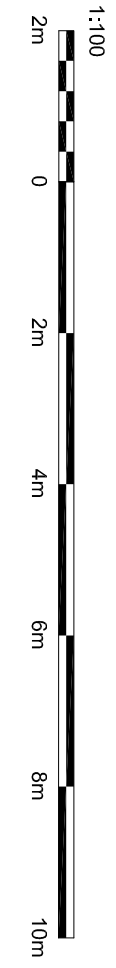


3 BUILDING LOCATION PLAN
A0 SCALE: 1:100

DOUGLAS JAMES, INCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Jamesdo at 11:00 am, Jul 30, 2019

ALL THE NOTES ARE AS PER CURRENT
CITY/PROVINCIAL STANDARDS, GUIDELINES, BY-LAWS
AND DETAIL DRAWINGS.



2 KET PLAN & CONTEXT
A1 SCALE: NTS