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DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Jamesdo at 10:59 am, Jul 30, 2019

SPATIAL SEPARATION CALCULATION
MAX. AREA OF EXPOSING BLDG FACE SOUTH (S1) : 618 SQ.FT
LIMITING DISTANCE : 2'-0" (0.61m)
AREA OF ALLOWABLE U.P.O. : 0 SQ.FT
AREA OF PROPOSED U.P.O. : 0 SQ.FT
% ALLOWABLE U.P.O. : 0%
% PROPOSED U.P.O. : 0%
REQUIRED CONSTRUCTION
(FRR:CONSTRUCTION:CLADDING):
-1HR.NONCOMBUSTIBLE.NONCOMBUSTIBLE-

SPATIAL SEPARATION CALCULATION
MAX. AREA OF EXPOSING BLDG FACE SOUTH (S2) : 399 SQ.FT
LIMITING DISTANCE : 8'-2 1/2" (2.502m)
AREA OF ALLOWABLE U.P.O. : 59.85 SQ.FT
AREA OF PROPOSED U.P.O. : 56.4 SQ.FT
% ALLOWABLE U.P.O. : 15%
% PROPOSED U.P.O. : 14.13%
REQUIRED CONSTRUCTION
(FRR:CONSTRUCTION:CLADDING):
-1HR.COMBUSTIBLE.NONCOMBUSTIBLE-

- MATERIAL LEGEND
- 1 RED BRICK VENEER
 - 2 LIGHT & DARK GRAY CEMENT BOARD
 - 3 CEMENT PARGING



OTTAWA CARLETON CONSTRUCTION
GROUP LTD. - BCN# 112762
337 SUNNYSIDE AVE, SUITE 101,
OTTAWA, ON K1S 0P9

FERNANDO MATOS - BCN# 22431
613-584-4402

QUALIFICATION INFO
SMALL BUILDINGS
The undersigned has reviewed and takes
responsibility for this design, and has the
qualifications and meets the requirements
set out in the Ontario Building Code to be a
designer.

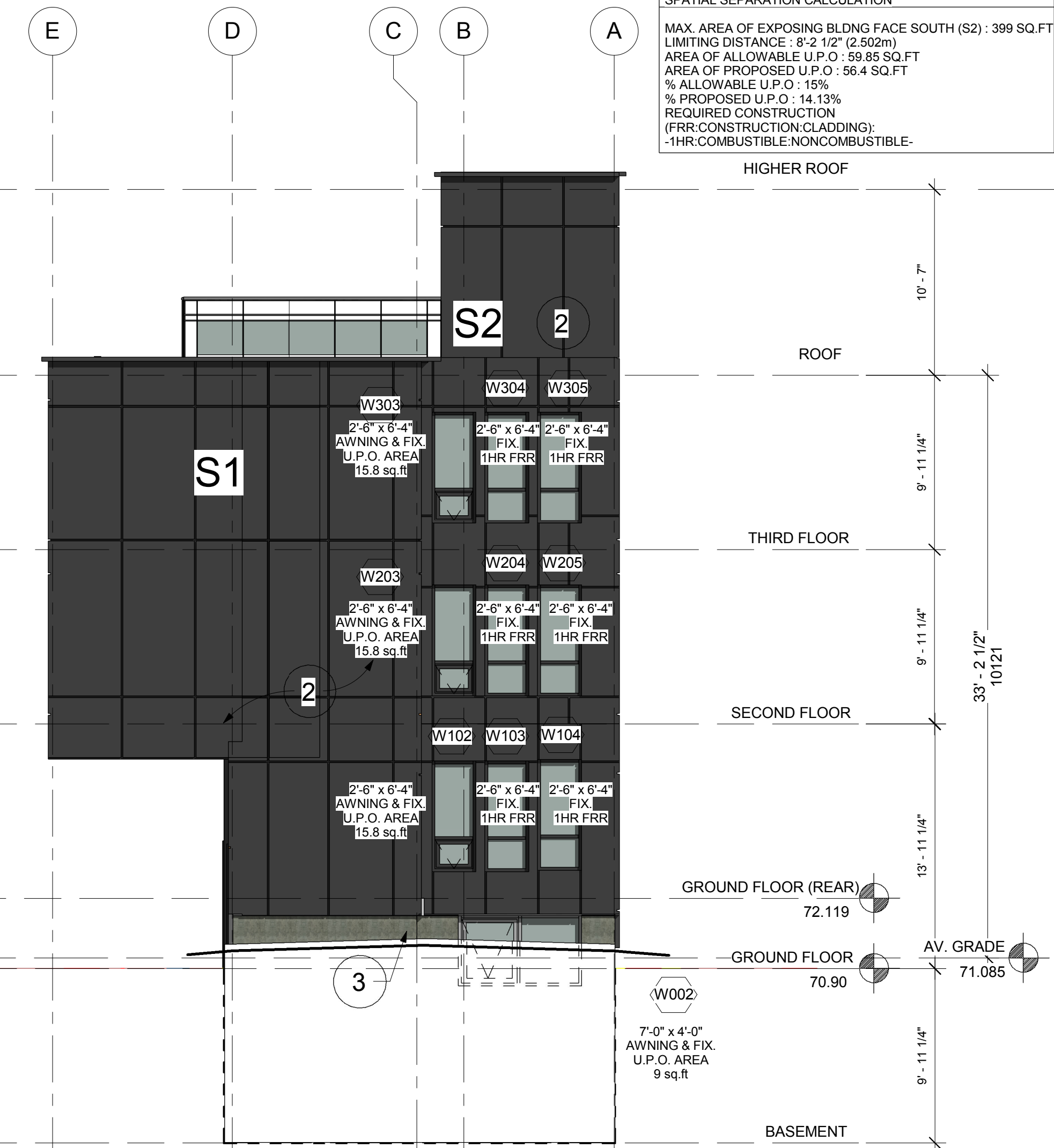
RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN
ACCORDANCE WITH THE ONTARIO BUILDING CODE
ALL CONTRACTORS MUST WORK IN ACCORDANCE
WITH ALL LAWS, REGULATIONS AND BYLAWS
HAVING JURISDICTION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE
CONTRACTOR TO CHECK AND VERIFY ALL
DIMENSIONS ON SITE AND REPORT ALL ERRORS
AND OMISSIONS TO THE ARCHITECT/DESIGNER
COPYRIGHT RESERVED

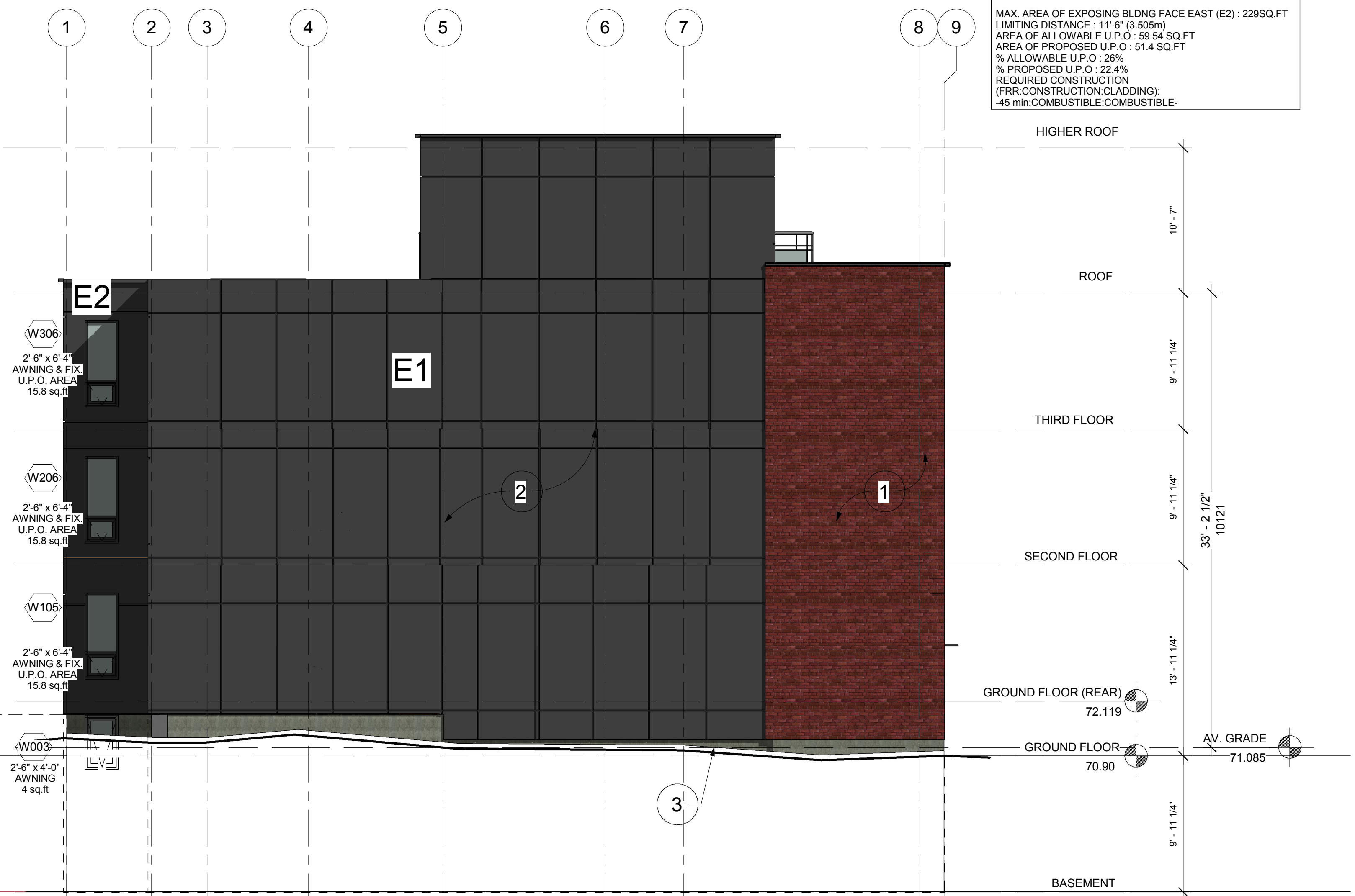
GENERAL NOTES:

SPATIAL SEPARATION CALCULATION
MAX. AREA OF EXPOSING BLDG FACE EAST (E1) : 1986 SQ.FT
LIMITING DISTANCE : 0'-2" (0.05m)
AREA OF ALLOWABLE U.P.O. : 0 SQ.FT
AREA OF PROPOSED U.P.O. : 0 SQ.FT
% ALLOWABLE U.P.O. : 0%
% PROPOSED U.P.O. : 0%
REQUIRED CONSTRUCTION
(FRR:CONSTRUCTION:CLADDING):
-1HR.NONCOMBUSTIBLE.NONCOMBUSTIBLE-

SPATIAL SEPARATION CALCULATION
MAX. AREA OF EXPOSING BLDG FACE EAST (E2) : 2295 SQ.FT
LIMITING DISTANCE : 11'-6" (3.505m)
AREA OF ALLOWABLE U.P.O. : 59.54 SQ.FT
AREA OF PROPOSED U.P.O. : 51.4 SQ.FT
% ALLOWABLE U.P.O. : 28%
% PROPOSED U.P.O. : 22.4%
REQUIRED CONSTRUCTION
(FRR:CONSTRUCTION:CLADDING):
-45 min.COMBUSTIBLE.COMBUSTIBLE-



1 SOUTH (REAR)
ELEVATION
3/16" = 1'-0"



2 EAST (SIDE) ELEVATION
3/16" = 1'-0"

384 FRANK STREET
NEW 3 STOREY
LOW-RISE RESIDENTIAL

CONSULTANTS
STRUCTURAL -
MECHANICAL -
ELECTRICAL -

8		MDY
7		
6		
5		
4		
3		

2	REVISIONS FOR SPC	02/07/18
1	ISSUED FOR PERMIT	24/06/18
NO.	REVISION/ISSUE	DATE

PROJECT:
384 FRANK STREET
NEW 3 STOREY RESIDENTIAL
384 FRANK ST.
OTTAWA, ON K1P 1Y6

ELEVATIONS

DRAWN BY: L.T.
DATE: DEC 10, 2018
SCALE: AS NOTED

SHEET:
A6

DOT-12-19-0002
#17959