

REFER TO LANDSCAPE DRAWINGS (L1.0, L2.0)
FOR DETAILED DESCRIPTION OF STREETScape
PLAN

PROJECT

CLIENT

KEY PLAN

1 SITE PLAN CONTROL APPLICATION

07 JUN 2019

NO.

ISSUED

DATE

REVISIONS

DRAWING STATUS

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

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STAMP

DRAWING TITLE

SITE PLAN

DRAWN

Author

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SCALE @ A0

DATE

1:125

06/07/19

GRAPHIC SCALE

PROJECT NO.

ZIBI BLOCK 211

DRAWING NO.



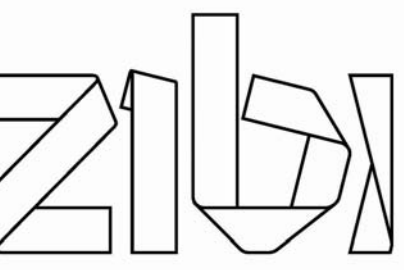
A003

REVISION NO.

ZONING TABLE – ZIBI Block 211		
Current Zoning	MD5(2172) S332-h	
Site Area	2,533m ²	
Proposed Retail GFA	1,140m ²	
Proposed Office GFA	15,164m ²	
	REQUIRED	PROPOSED
Setbacks	No minimum	N/A
Building Wall	At least 50% of the ground floor of any building must be occupied by active uses having separate and direct access to the street when located at ground floor abutting a street	100% of the ground floor abutting Booth Street is occupied by retail uses
Building Height	Within Area B on Schedule 332 the maximum building height is 68m with a maximum of 2 buildings over 9 storeys	33.69 metres (8 storeys) from average grade (56.56 metres)
Parking	Minimum: No requirement Maximum: Office/Retail: 1 space/100m ² of GFA	150 spaces
Loading	Office: 2 spaces Retail: No requirement	2 spaces, including 1 oversize space
Bicycle Parking	Office/Retail: 1/250m ² of GFA 50% can be vertical 25% of spaces must be indoors	124 spaces 14 outdoor spaces at-grade 110 indoor spaces on level P1



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**ONTARIO ASSOCIATION OF PROFESSIONAL ENGINEERS**
BRUCE KUNAWARA
LICENCE 3860

DRAWING TITLE

P2 PARKING LEVEL PLAN

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Author

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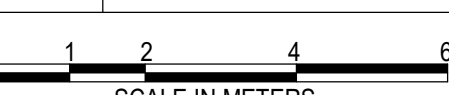
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06/07/19

GRAPHIC SCALE



SCALE IN METERS

PROJECT NO.

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DRAWING NO.

A004

REVISION NO.



PLOT DATE: 2019-06-26 10:44:43 AM

BOOTH STREET

CHAUDIÈRE EAST PRIVATE

ZAIDA EDDY PRIVATE

GROUND LEVEL
GFA: 2200.80 m²
DEDUCTIONS: 1060.66 m²
NRGFA: 1140.14 m²

EXTENT OF P1 & P2
LEVELS BELOW, TYP
(FOR FULL EXTENTS, REFER
TO A003)

DASHED LINE INDICATES
EXTENT OF BUILDING ABOVE
LEVEL 2, TYP

PROPERTY LINE, TYP

INTAKE AIR GRILLE

EXTENT OF P1 & P2
LEVELS BELOW, TYP

PROJECT
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KEY PLAN

1 SITE PLAN CONTROL APPLICATION 07 JUN 2019

NO. ISSUED DATE

REVISIONS

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OF
ARCHITECTS
BRUCE KUNAWARA
LICENCE 3860

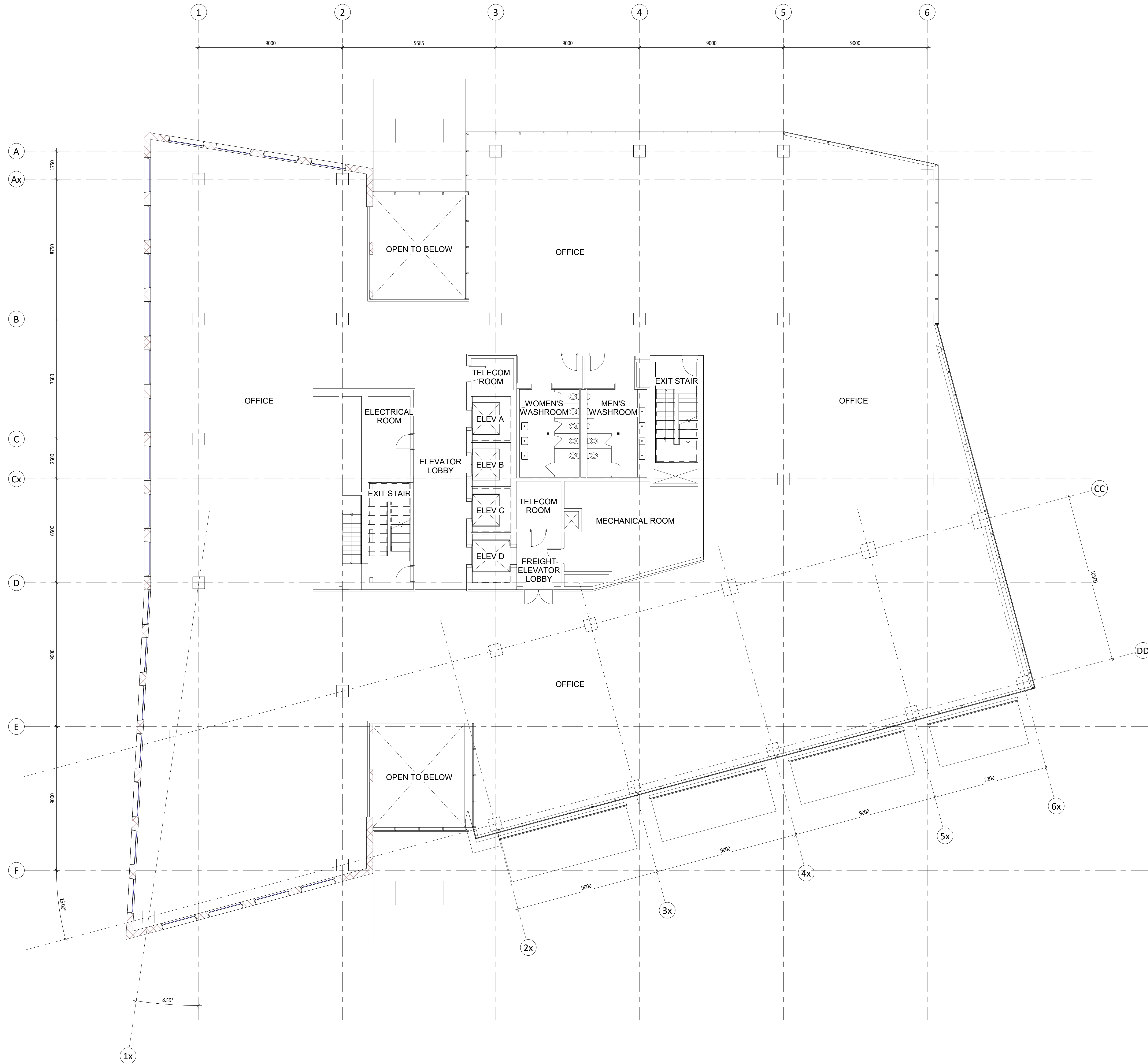
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**PLAN - GROUND
LEVEL**

DRAWN Author
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DATE 05/07/19

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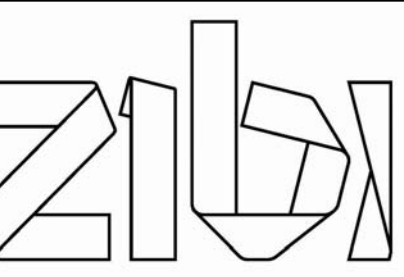
PROJECT NO.
ZIBI BLOCK 211

DRAWING NO.
A006
REVISION NO.



LEVEL 2	
GFA:	2200.80 m ²
DEDUCTIONS:	389.80 m ²
NRGFA:	1811.00 m ²

PROJECT



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1	SITE PLAN CONTROL APPLICATION	07 JUN 2019
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PLAN - LEVEL 2

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GRAPHIC SCALE

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PROJECT NO.

ZIBI BLOCK 211

DRAWING NO.

A007

REVISION NO.

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1	SITE PLAN CONTROL APPLICATION	07 JUN 2019
NO.	ISSUED	DATE

REVISIONS
DRAWING STATUS

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DRAWING TITLE

PLAN - LEVELS 4,
7

DRAW

Author

CHECKED

Checker

SCALE @ A0

DATE 05/07/10

GRAPHIC SCALE

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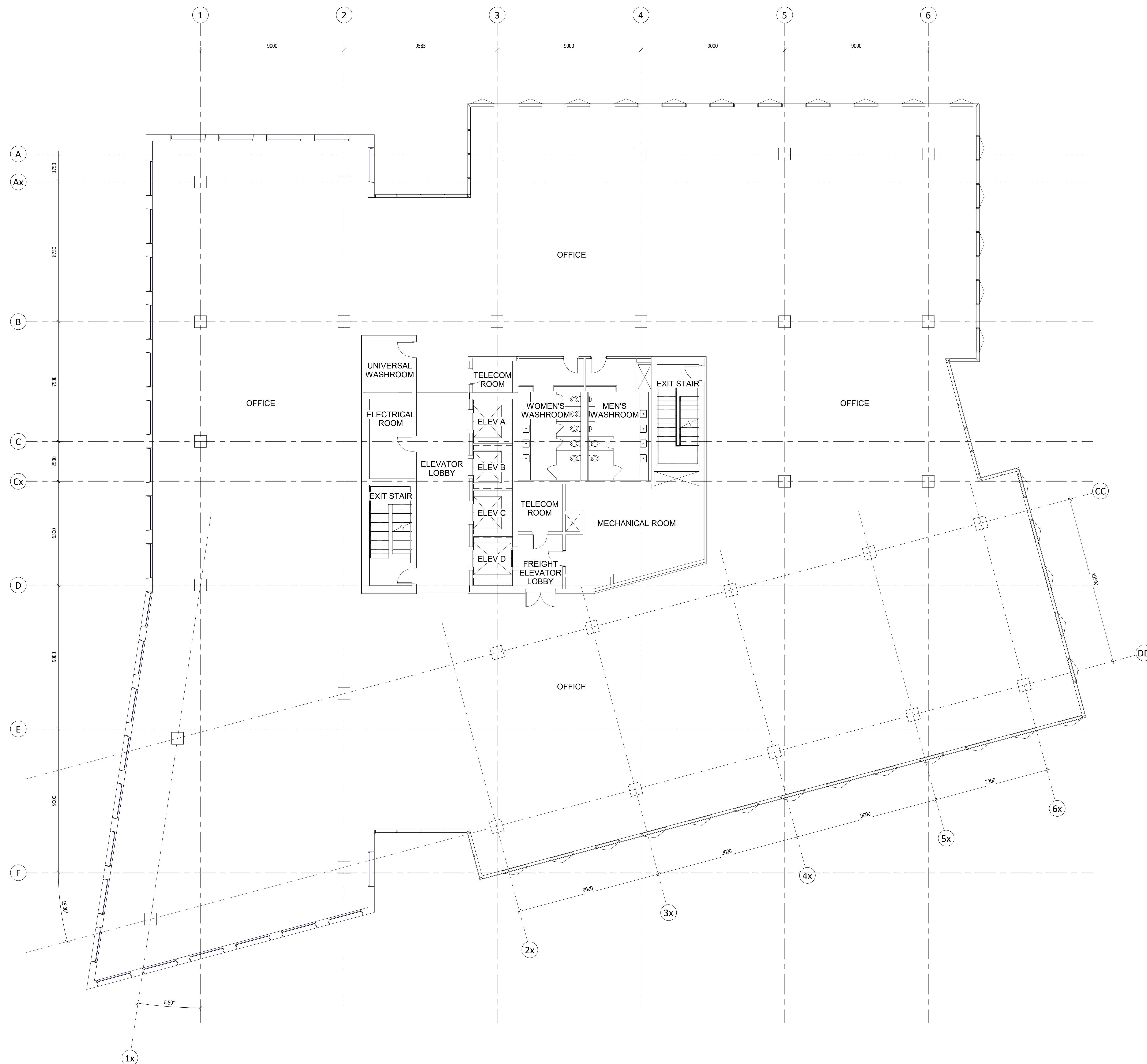
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DRAWING NO.

A009

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REVISION NO.



1	SITE PLAN CONTROL APPLICATION	07 JUN 2019
NO.	ISSUED	DATE

REVISIONS
DRAWING STATUS

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PLAN - LEVEL 9

DRAW

Author

SCALE

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1:100

05/07/19

GRAPHIC SCALE

PROJECT NO.	
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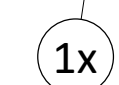
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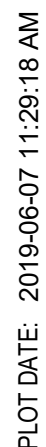
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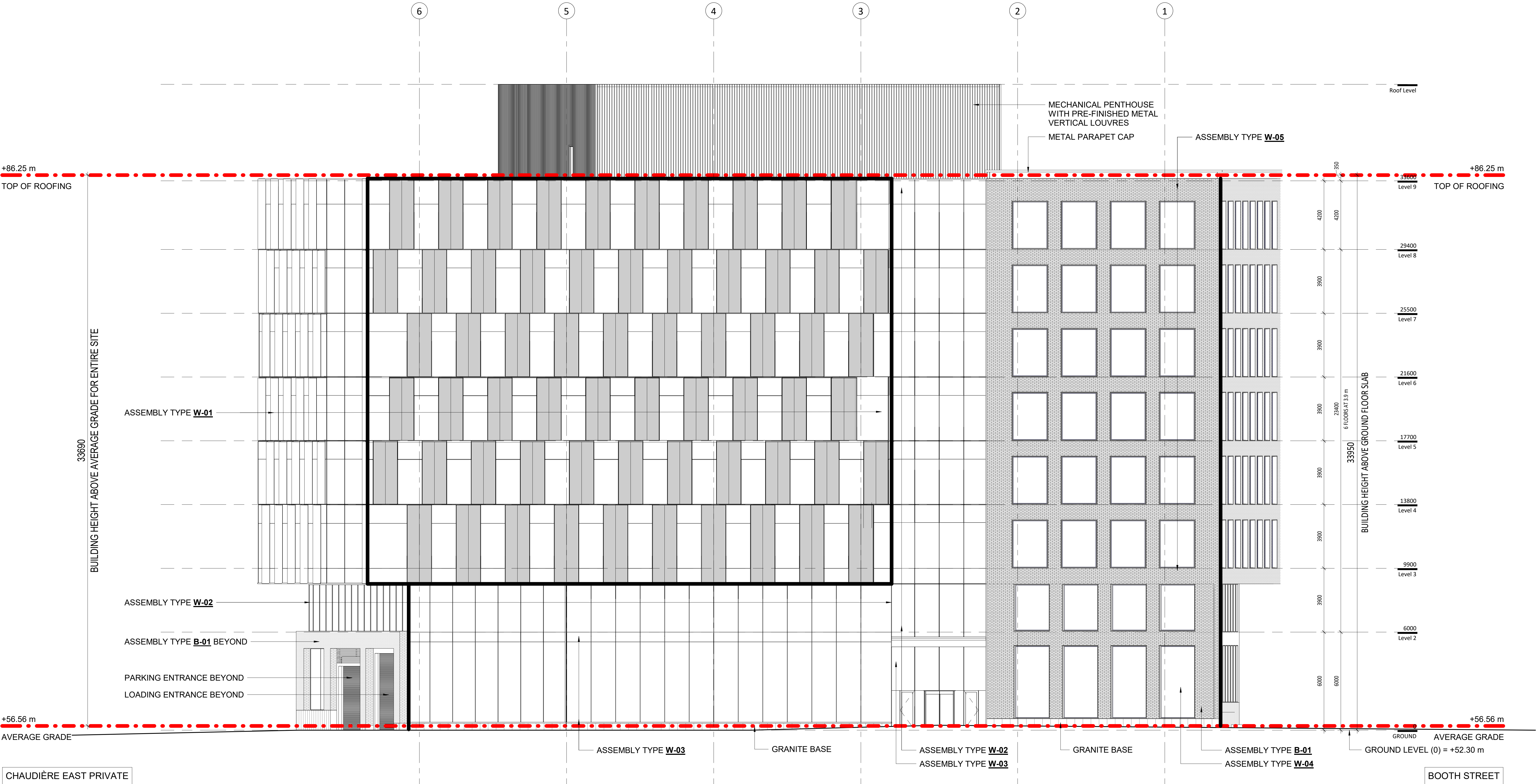
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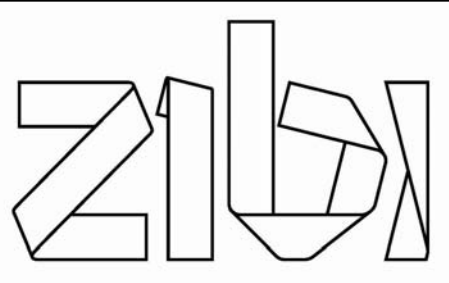


4011

ASSEMBLY	DESCRIPTION
B-01	150mm wind bearing metal studs
	exterior sheathing board
	AVB
	100mm insulation
	30mm air cavity (+/-)
W-01	90mm brick veneer and associated shelf angles / masonry ties etc.
	Unitized pre-finished aluminum curtain wall
	4 sided structural silicone glazed with alternating glass and metal panel assemblies
	Glass Type GL-1 - 25mm (nom) I.G.U.
	"Touch" mullion at ceiling line with glass spandrel / shadow box assembly above
W-02	Unitized pre-finished aluminum curtain wall
	4 sided structural silicone glazed
	Glass Type GL-1 - 25mm (nom) I.G.U.
	"Touch" mullion at ceiling line with glass spandrel / shadow box assembly above
W-03	Unitized pre-finished aluminum curtain wall
	4 sided structural silicone glazed
	Glass Type GL-2 - 25mm (nom) I.G.U.
	"Touch" mullion at ceiling line with glass spandrel / shadow box assembly above
W-04	Pre-finished aluminum window assembly
	Punched window in masonry wall
	4 sided structural silicone glazed
	Glass Type GL-2 - 25mm (nom) I.G.U.
W-05	Pre-finished aluminum window assembly
	Punched window in masonry wall
	4 sided structural silicone glazed
	Glass Type GL-1 - 25mm (nom) I.G.U.



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07 JUN 2019

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DRAWING TITLE

ELEVATION - NORTH

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Author

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SCALE @ A0

1:100

DATE

05/07/19

GRAPHIC SCALE

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SCALE IN METERS

PROJECT NO.

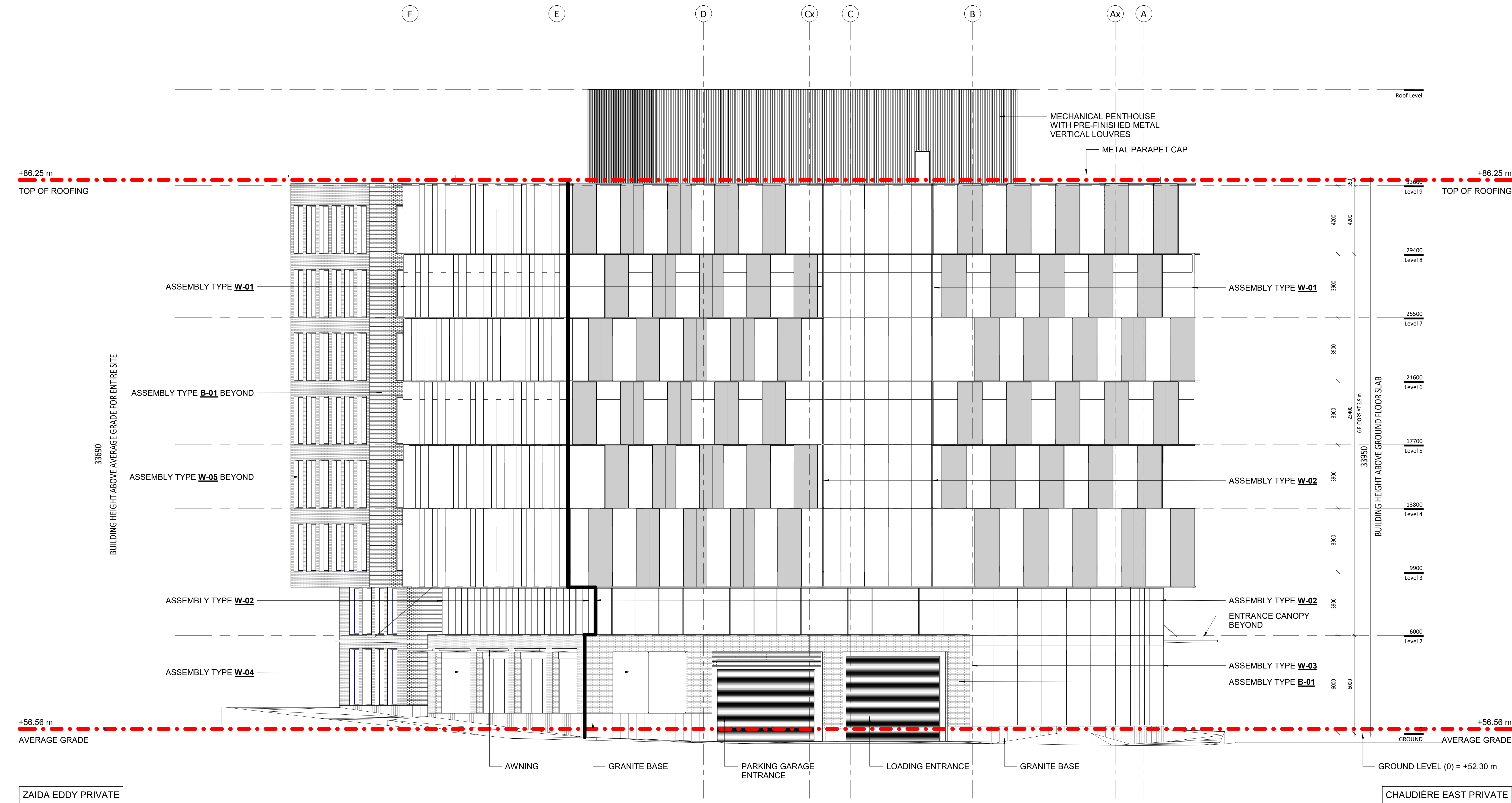
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DRAWING NO.

A012



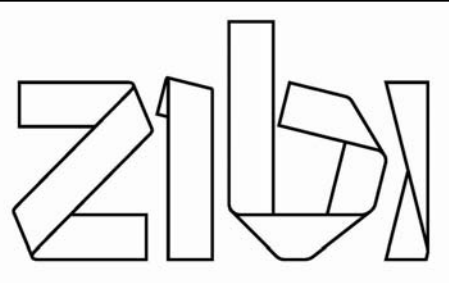
REVISION NO.

PLOT DATE: 2019-04-07 11:33:39 AM



ASSEMBLY	DESCRIPTION
B-01	150mm wind bearing metal studs
	exterior sheathing board
	AVB
	100mm insulation
	30mm air cavity (+/-)
	90mm brick veneer and associated shelf angles / masonry ties etc.
W-01	Unitized pre-finished aluminum curtain wall
	4 sided structural silicone glazed with alternating glass and metal panel assemblies
	Glass Type GL-1 - 25mm (nom) I.G.U.
W-02	Unitized pre-finished aluminum curtain wall
	4 sided structural silicone glazed
	Glass Type GL-1 - 25mm (nom) I.G.U.
W-03	Unitized pre-finished aluminum curtain wall
	4 sided structural silicone glazed
	Glass Type GL-2 - 25mm (nom) I.G.U.
W-04	Pre-finished aluminum window assembly
	Punched window in masonry wall
	4 sided structural silicone glazed
W-05	Pre-finished aluminum window assembly
	Punched window in masonry wall
	4 sided structural silicone glazed

PROJECT



CLIENT

KEY PLAN

1 SITE PLAN CONTROL APPLICATION

NO. ISSUED

07 JUN 2019

DATE

REVISIONS

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DRAWING TITLE

ELEVATION - EAST

DRAWN

Author

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SCALE @ A0

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DATE

05/07/19

GRAPHIC SCALE

0 1 2 4 6m

SCALE IN METERS

PROJECT NO.

ZIBA BLOCK 211

DRAWING NO.

A013




REVISION NO.

PLOT DATE: 2019-06-07 11:37:14 AM



ASSEMBLY	DESCRIPTION
B-01	150mm wind bearing metal studs
	exterior sheathing board
	AVB
	100mm insulation
	30mm air cavity (+/-)
	90mm brick veneer and associated shelf angles / masonry ties etc.
W-01	Unitized pre-finished aluminum curtain wall
	4 sided structural silicone glazed with alternating glass and metal panel assemblies
	Glass Type GL-1 - 25mm (nom) I.G.U.
W-02	Unitized pre-finished aluminum curtain wall
	4 sided structural silicone glazed
	Glass Type GL-1 - 25mm (nom) I.G.U.
W-03	Unitized pre-finished aluminum curtain wall
	4 sided structural silicone glazed
	Glass Type GL-2 - 25mm (nom) I.G.U.
W-04	Pre-finished aluminum window assembly
	Punched window in masonry wall
	4 sided structural silicone glazed
W-05	Pre-finished aluminum window assembly
	Punched window in masonry wall
	4 sided structural silicone glazed

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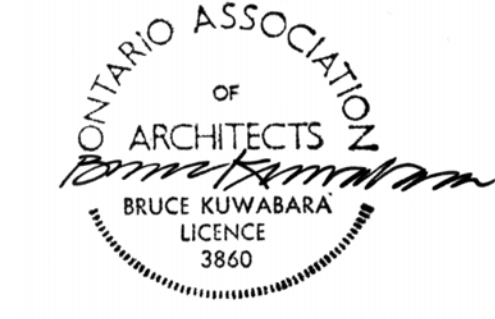
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DRAWING TITLE

ELEVATION - SOUTH

DRAWN

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SCALE @ A0

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DATE

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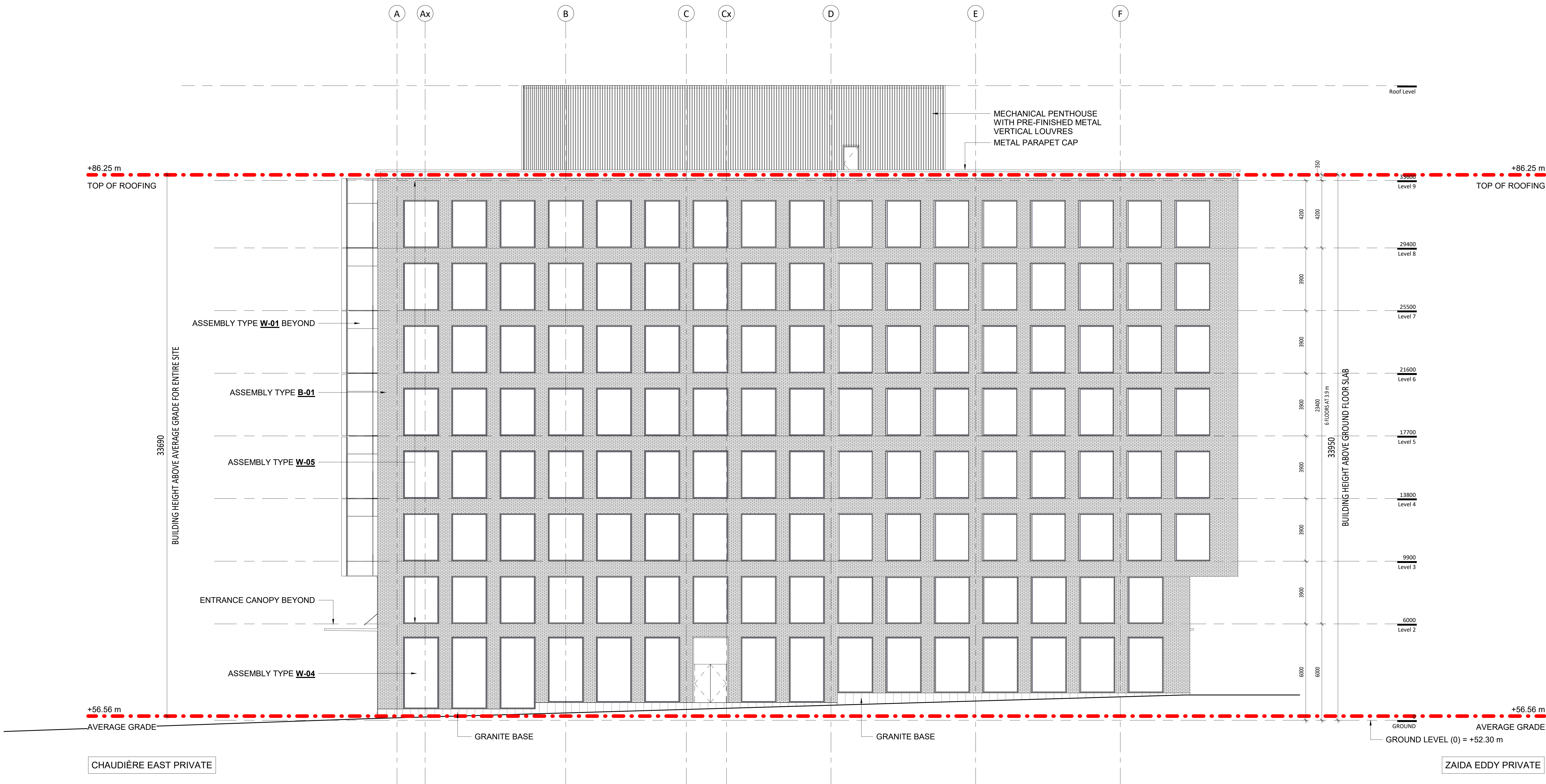
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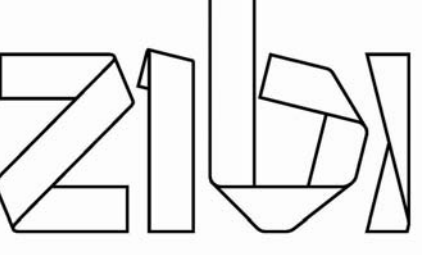
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REVISION NO.



ASSEMBLY	DESCRIPTION
B-01	150mm wind bearing metal studs
	exterior sheathing board
	AVB
	100mm insulation
	30mm air cavity (+/-)
	90mm brick veneer and associated shelf angles / masonry ties etc.
W-01	Unitized pre-finished aluminum curtain wall
	4 sided structural silicone glazed with alternating glass and metal panel assemblies
	Glass Type GL-1 - 25mm (nom) I.G.U.
W-02	"Touch" mullion at ceiling line with glass spandrel / shadow box assembly above
	Unitized pre-finished aluminum curtain wall
	4 sided structural silicone glazed
W-03	Glass Type GL-1 - 25mm (nom) I.G.U.
	"Touch" mullion at ceiling line with glass spandrel / shadow box assembly above
	Unitized pre-finished aluminum curtain wall
W-04	4 sided structural silicone glazed
	Glass Type GL-2 - 25mm (nom) I.G.U.
	"Touch" mullion at ceiling line with glass spandrel / shadow box assembly above
W-05	Pre-finished aluminum window assembly
	Punched window in masonry wall
	4 sided structural silicone glazed
W-06	Glass Type GL-2 - 25mm (nom) I.G.U.
	Pre-finished aluminum window assembly
	Punched window in masonry wall
W-07	4 sided structural silicone glazed
	Glass Type GL-2 - 25mm (nom) I.G.U.
	"Touch" mullion at ceiling line with glass spandrel / shadow box assembly above

PROJECT



CLIENT

KEY PLAN

1 SITE PLAN CONTROL APPLICATION

NO.

ISSUED

DATE

REVISIONS

DRAWING STATUS

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Fax: 416-967-7150

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DRAWING TITLE

ELEVATION - WEST

DRAWN

Author

CHECKED

Checker

SCALE @ A0

1:100

DATE

05/07/19

GRAPHIC SCALE

0 1 2 4 6m

SCALE IN METERS

PROJECT NO.

ZIBI BLOCK 211

DRAWING NO.

A015

REVISION NO.

[illegible]

1	SITE PLAN CONTROL APPLICATION	07 JUN 2019
NO	ISSUED	DATE

DRAWING

DRAWING STATUS

DRAWING STATUS

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401 V

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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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**SECTION - EAST
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[illegible]

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SCALE IN METERS

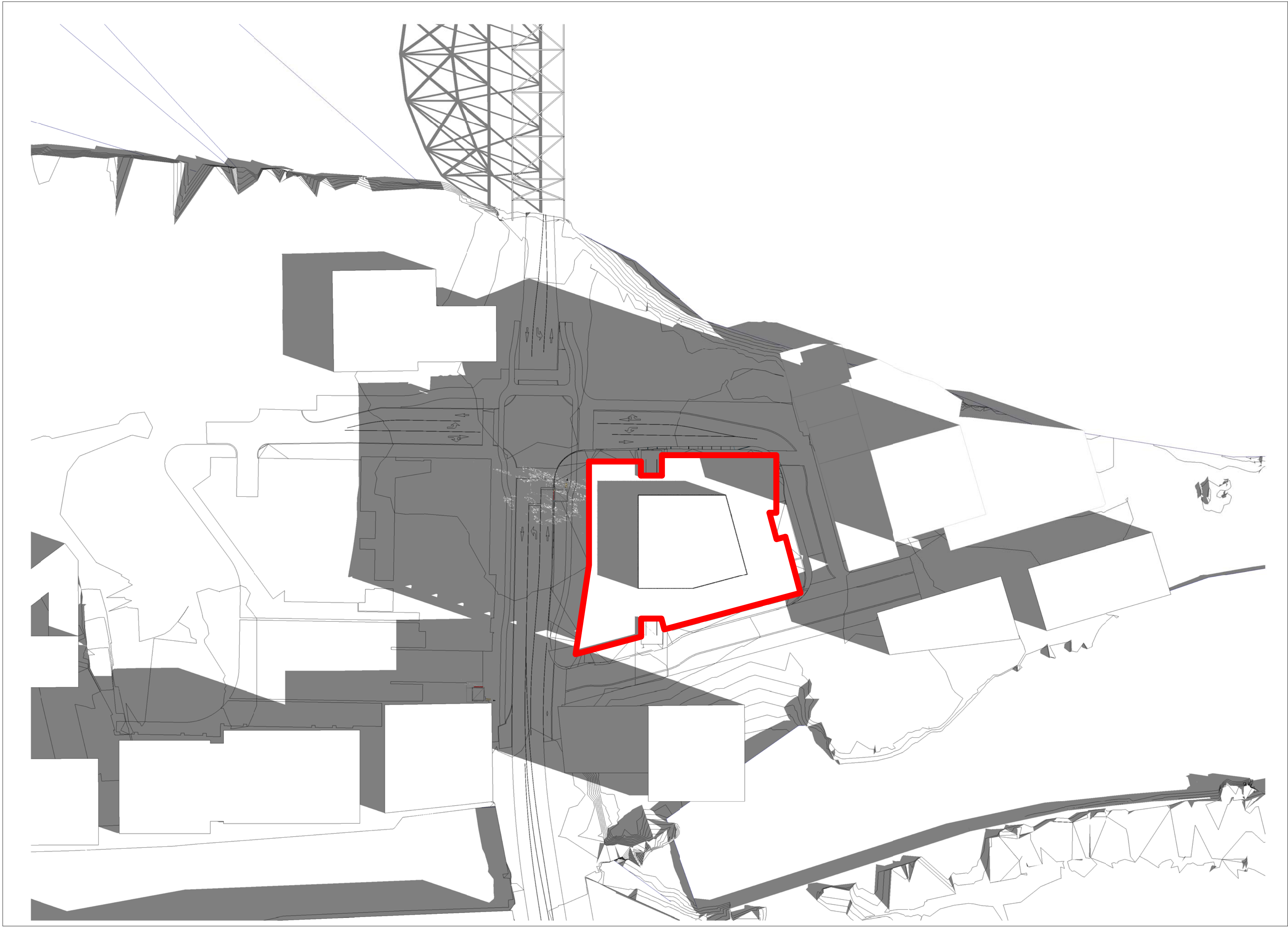
PROJECT NO.

TABLE B.10 (continued)

DRAWING NO.

	REVISION NO.
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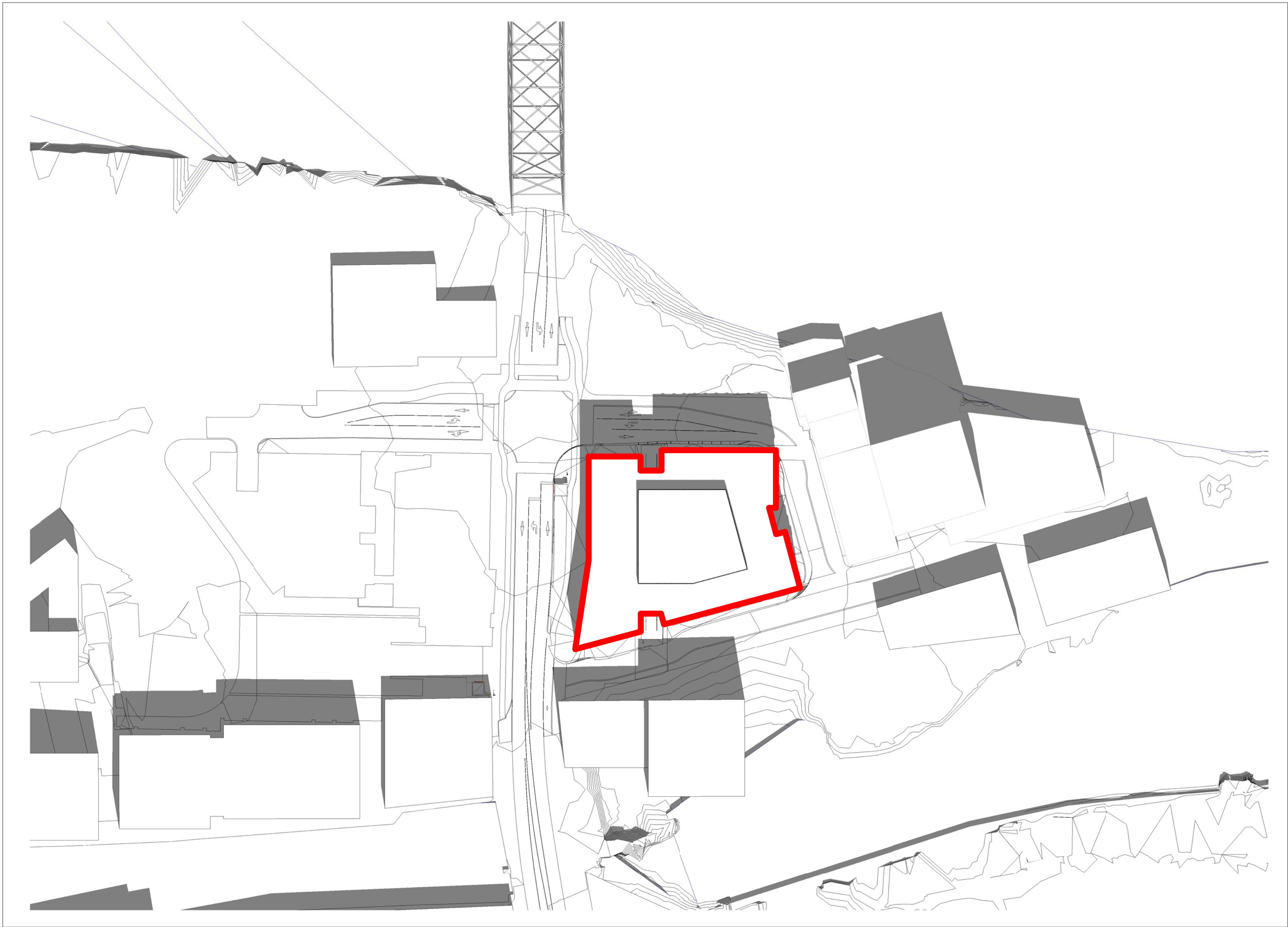
A016



1 JUNE 21 AT 8 AM



2 JUNE 21 AT 10 AM



3 JUNE 21 AT 12 PM



4 JUNE 21 AT 2 PM

PROJECT

CLIENT

KEY PLAN

1	SITE PLAN CONTROL APPLICATION	07 JUN 2019
NO.	ISSUED	DATE
REVISIONS		
DRAWING STATUS		
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285 Yorkland Blvd. Willowdale, Ontario, M5J 1S5, Canada Tel: 416-499-8000 Fax: 416-499-7446		
100 University Avenue, Suite 400 Toronto, Ontario, M5J 1V6, Canada Tel: 416-977-5335		
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EXECUTIVE ARCHITECT:		
401 Wellington Street West, 3rd Floor Toronto, Ontario, M5V 1E7, Canada Tel: 416-967-1500 Fax: 416-967-7150		
STAMP		
DRAWING TITLE		
SHADOW STUDIES - JUNE 21		
DRAWN	Author	CHECKED
SCALE @ A0	DATE	05/14/19
GRAPHIC SCALE		
PROJECT NO.		
ZIBI BLOCK 211		
DRAWING NO.		
A018		
REVISION NO.		





1 DECEMBER 21 AT 8 AM



2 DECEMBER 21 AT 10 AM



3 DECEMBER 21 AT 12 PM



4 DECEMBER 21 AT 2 PM

PROJECT

CCLIENT

KEY PLAN

1	SITE PLAN CONTROL APPLICATION	07 JUN 2019
NO.	ISSUED	DATE
REVISIONS		
DRAWING STATUS		

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STAMP

DRAWING TITLE

SHADOW STUDIES - DECEMBER 21

DRAWN	Author	CHECKED	Checker
SCALE @	A0	DATE	05/14/19

GRAPHIC SCALE

PROJECT NO.	ZIBI BLOCK 211
DRAWING NO.	A020





SECTIONAL PERSPECTIVE OF INTERIOR STREET LOBBY (FACING WEST)

CLIENT

KEY PLAN

[illegible]

1	SITE PLAN CONTROL APPLICATION	07 JUN 2019
NO.	ISSUED	DATE

REVISIONS

DRAWING STATUS

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STAMP



DRAWING TITLE

PERSPECTIVE RENDERINGS

DRAW

Author

SCALE @ A0

DATE	05/16/19
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GRAPHIC SCALE

ZIBI BLOCK 211

DRAWING NO.

REVISION NO. _____

A023