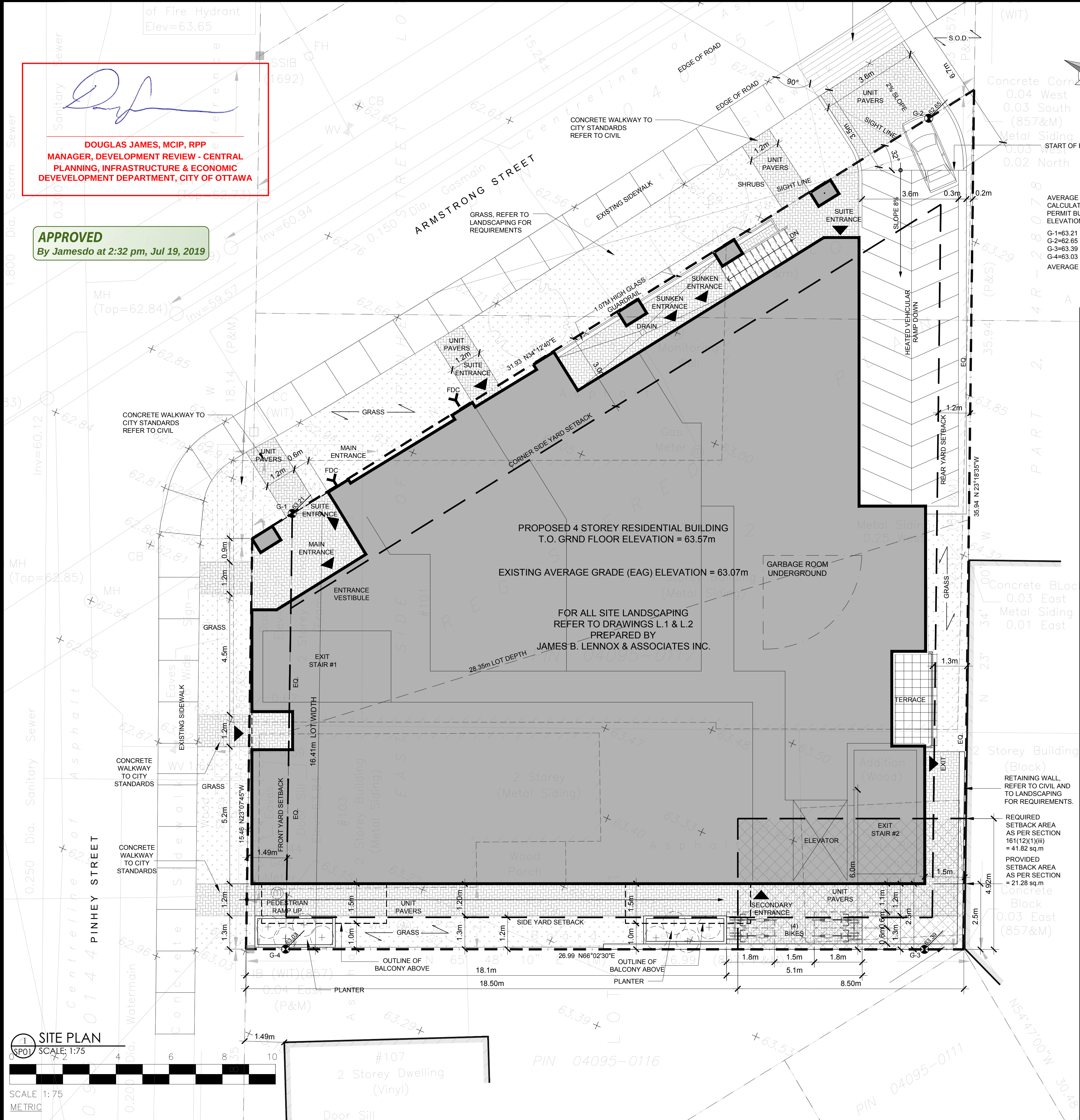



DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Jamesdo at 2:32 pm, Jul 19, 2019



LEGEND:

- PROPOSED NEW BUILDING
- EXISTING BUILDING TO REMAIN
- NEW PAVERS
- PROPERTY LINE
- ADJACENT LOT PROPERTY LINES
- EXISTING OVERHEAD HYDRO LINE
- NEW WOOD FENCE
- EXISTING HYDRO POLE TO REMAIN
- ENTRANCE ARROWS
- NEW BIKE RACKS
- NEW PARKING
- EXISTING CONCRETE CURB
- EXTERIOR SOFFIT LIGHTING FIXTURE
- EXTERIOR WALL MOUNTED LIGHT FIXTURE

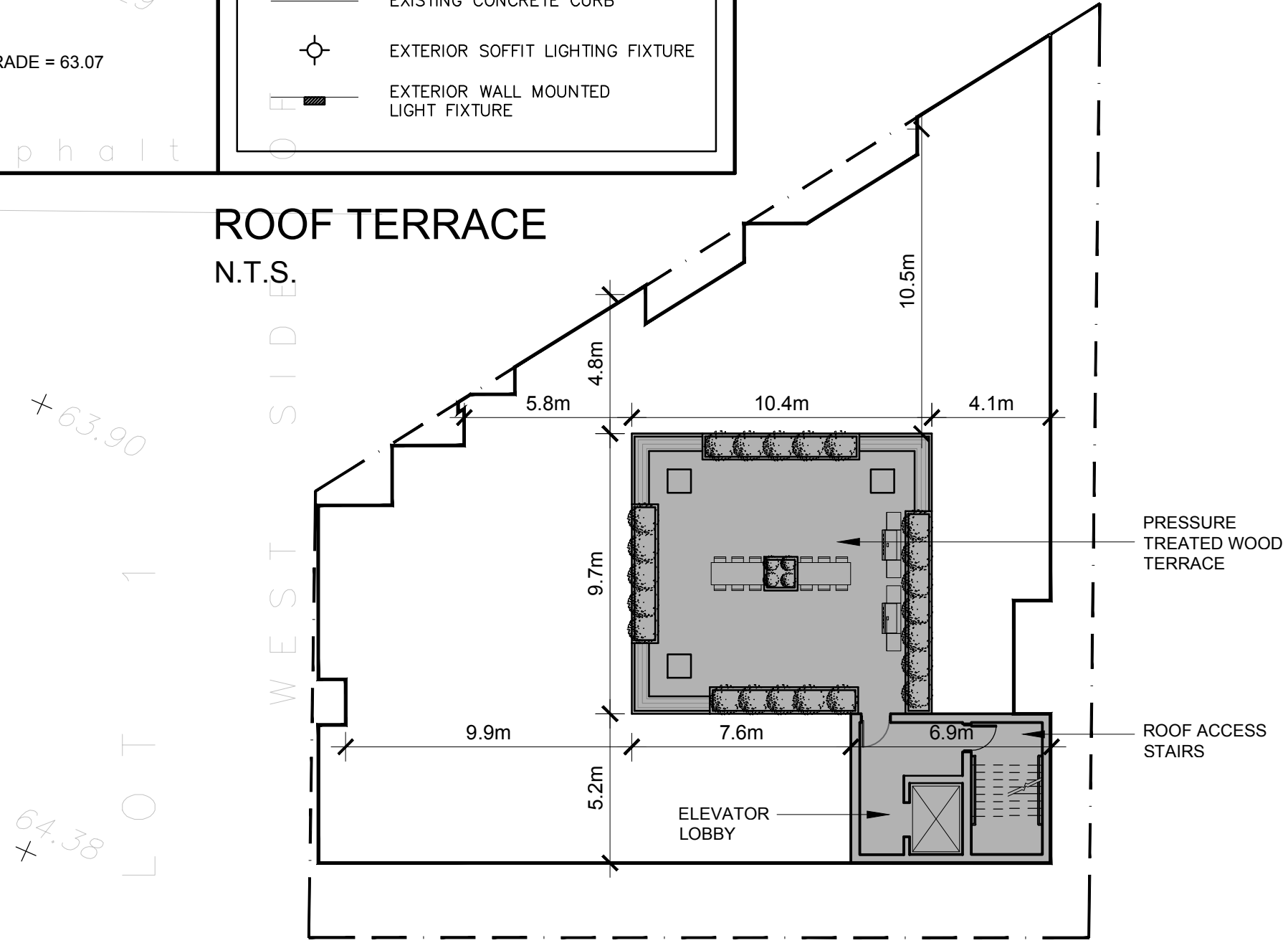
PLAN OF SURVEY
GEOGRAPHIC TOWNSHIP OF
CITY OF OTTAWA

SITE INFORMATION DERIVED FROM SURVEY TITLED,
TOPOGRAPHIC PLAN OF SURVEY, PART 1, 2 & 3
(EAST OF PINHEY STREET), REGISTERED PLAN 105,
CITY OF OTTAWA, DATED 2018/05/23, PRODUCED BY
FAIRHALL MOFFATT & WOODLAND LTD. SIGNED BY
JOHN H. GUTRI, ONTARIO LAND SURVEYOR.

BEARING NOTE
BEARINGS ARE GRID DERIVED FROM THE EASTERLY
LIMIT OF PINHEY STREET AS SHOWN ON PLAN
4R-28078, HAVING A BEARING OF N 23° 22' 10" W
AND ARE REFERRED TO THE CENTRAL MERIDIAN,
76°30'W LONGITUDE MTM ZONE 9 (NAD83 ORIGINAL)

ELEVATION NOTE
1. ELEVATIONS ARE GEODETIC (CGVD28).
2. IT IS THE RESPONSIBILITY OF THE USER OF THIS
INFORMATION TO VERIFY THAT THE JOB
BENCHMARK HAS NOT BEEN ALTERED OR
DISTURBED AND THAT ITS RELATIVE ELEVATION
AND DESCRIPTION AGREES WITH THE INFORMATION
SHOWN THE ABOVE REFERENCED SURVEY.

ROOF TERRACE
N.T.S.



99 PINHEY STATISTICS

ITEM	Zone: R4T-c	REQUIRED	PROVIDED
Minimum Lot Area		450.0 sq.m	643.85 sq.m
Minimum Lot Width		15.0 m	16.41 m
Maximum Building Height (from EAG)		14.5 m	14.32 m
Maximum Parapet Height Above Max. Building Height		0.3 m	0.3 m
Maximum Building Height with Parapet (from EAG)		14.8 m	14.8 m
Minimum Front Yard Setback		1.49 m	0.0 m
Minimum Corner Side Yard Setback		3.0 m	0.0 m
Minimum Side Yard Setback		1.2 m	2.5 m
Minimum Rear Yard Setback		1.2 m	1.5 m
Minimum Area Setback at Rear / Side Yards, As Per Section 161(12)(1)(iii)		30% of Lot Depth X 30% of Lot Width 30% of 28.35 m X 30% of 16.41 m 8.50 m X 4.92 m = 41.82 sq.m	21.28 sq.m
Minimum Lot Landscaped Area		30% of Lot Area = 193.16 sq.m	18.59 % (119.72 sq.m)
Minimum Parking Spaces		0 for 1st 12 units & 0.5 per unit after 12 units = 7	6
Minimum Visitor Parking Spaces		0 for 1st 12 units & 0.1 per unit after 12 units = 1.4	1
Minimum Bicycle Parking Spaces		0.5 spaces per unit = 13 (26 x 0.5)	23 (19 indoor)
Minimum Amenity Area		15 sq.m per unit upto 8 = 120 sq.m 6 sq.m per unit in excess of 8 = 108 sq.m	
Minimum Communal Amenity	- Communal Total - Private Balconies - Total - Location - Area - % Soft Landscaping - Communal Roof - Communal Total	At Grade and in the Rear Yard 100% of required for first 8 units = 120 sq.m 80% of required Communal = 96 sq.m	120.77 sq.m 131.28 sq.m 252.05 sq.m 19.98 sq.m 12.90 % (12.38 sq.m) 100.79 sq.m 120.77 sq.m
Maximum Roof Top Access Area		10.5 sq.m	35.88 sq.m
Minimum Roof Top Access Setback - from Ext. Front Wall		Equal to Height of Roof Top Access = 5.18 m	18.53 m
Minimum Roof Top Access Setback - from Ext. Rear Wall		Equal to Height of Roof Top Access = 5.18 m	0.00 m
Minimum Roof Top Access Height		3.0 sq.m	5.18 m
Number of Dwelling Units			26
Building Area			501.0 sq.m
GFA (As defined in the zoning bylaw)			1600.9 sq.m

CLIENT:



KENSINGTON
LOFTS HINTONBURG

14	ADDRESSING 3RD ROUND OF SITE PLAN COMMENTS	PE	2019-05-07
13	ISSUED FOR PERMIT	PE	2019-05-01
12	ISSUED FOR COORDINATION	PE	2019-04-24
11	REVIEW & SPC COMMENTS	PE	MAR 07 2019
10	FOR REVIEW	PE	FEB 25 2019
09	FOR REVIEW	PE	JAN 24 2019
08	FOR REVIEW	PE	DEC 20 2018
07	FOR REVIEW	PE	DEC 18 2018
06	FOR REVIEW	PE	SEPT 10 2018
05	FOR REVIEW	PE	SEPT 07 2018
04	FOR REVIEW	PK	AUG 30 2018
03	FOR REVIEW	PE	AUG 28 2018
02	FOR REVIEW	PE	AUG 01 2018
01	FOR REVIEW	PE	JULY 20 2018
No.	REVISIONS	BY	DATE

NOT AUTHENTIC UNLESS SIGNED AND DATED

CONSULTING ENGINEERS

STRUCTURAL

MECHANICAL

ELECTRICAL

DESIGNED BY:
P.E.

DRAWN BY:
P.E.

APPROVED BY:
P.E.

PROJECT

99 PINHEY

DRAWING TITLE

SITE PLAN

PROJECT NO.
0293

DATE
JAN 24, 2018