

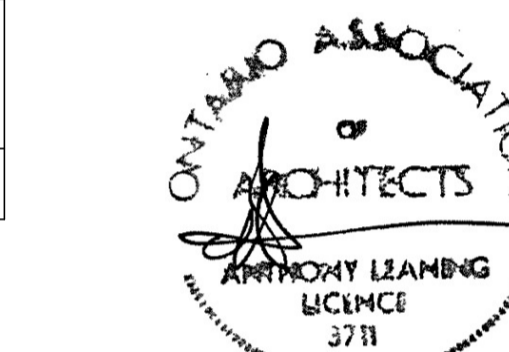
CIVIL ENGINEER
NOVA TECH
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LANDSCAPE ARCHITECT
GINO J. AIELLO LANDSCAPE ARCHITECT
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LOW-RISE APARTMENT ZONE: R4Y(2311)		
PERFORMANCE STANDARDS	REQUIRED	PROVIDED
MIN. LOT WIDTH	18m	19.24m
MIN. LOT AREA	450sqm	1015sqm
MIN. FRONT YARD SETBACK (AS PER SECTION 135(1))	APPLIES TO REAR LOT LINE: 5m	5m
MIN. CORNER YARD SETBACK (AS PER SECTION 135(2))	APPLIES TO PROVENDER AVE. AS WELL AS BURMA RD. AND WANAKI RD.: 3m	3m
MIN. INTERIOR SIDE YARD SETBACK	N/A	N/A
MIN. REAR YARD SETBACK	N/A	N/A
MAX. BUILDING HEIGHT	16m	11.6m
LANDSCAPE AREA	30% OF LOT AREA = 338.2 SQM	505.6 SQM
AMENITY AREA TABLE 137(2)	TOTAL AMENITY AREA: 15SQM PER DWELLING UNIT UP TO 8 UNITS, PLUS 6SQM PER UNIT IN EXCESS OF 8: 120SQM COMMUNAL AMENITY AREA: 100% OF AMENITY AREA REQUIRED FOR FIRST 12 UNITS: 120SQM LAYOUT OF COMMUNAL AMENITY AREA - BE LOCATED AT GRADE AND IN THE REAR YARD - BE LANDSCAPED - CONSIST OF AT LEAST 80% SOFT LANDSCAPING - BE LOCATED AT GRADE AND IN THE REAR YARD AND MAY INCLUDE ON INTERIOR YARD THAT ABUTS BOTH THE REAR YARD AND INTERIOR SIDE YARD, UNLESS THE LOT HAS ACCESS TO A REAR LANE.	277SQM 129.8SQM
PARKING REQUIREMENTS		
MIN. PARKING SPACE RATES (SECTION 101(3))	AREA X ON SCHEDULE 1A, NO OFF- STREET MOTOR VEHICLE PARKING REQUIRED FOR THE FIRST 12 UNITS: 0 SPACES REQUIRED	8 SPACES
MIN. VISITOR PARKING RATES SECTION 102(2))	AREA X ON SCHEDULE 1A, NO VISITOR PARKING REQUIRED FOR THE FIRST 12 UNITS: 0 SPACES REQUIRED	0 SPACES
MIN. BICYCLE PARKING SPACE RATES (TABLE 111A(b)(i))	0.5 PER DWELLING UNIT: 4 SPACES	4 SPACES

NOTES:

- 1 RETAINING WALL
- 2 DEPRESSED CURB B.F. ACCESS
- 3 CURB CUT FOR OVERFLOW
- 4 DRAIN TO FOUNDATION DRAINAGE



STAMP

2 2019/06/27 ISSUED FOR SITE PLAN CONTROL
REV DATE ISSUE

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4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

HABITAT FOR HUMANITY

Client Street Address,
Province, Postal Code,
Country
PROJECT

HABITAT GO

455 WANAKI ROAD
OTTAWA, ONTARIO

TITLE

SITE PLAN

PROJECT NO: 2018-0320
DRAWN: RP
APPROVED AL
SCALE As indicated
FIRST ISSUE: 04/23/19

REV

DRAWING NO.

2

A100

PRINTED: 6/28/2019 8:03:49 AM

1 SITE PLAN
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