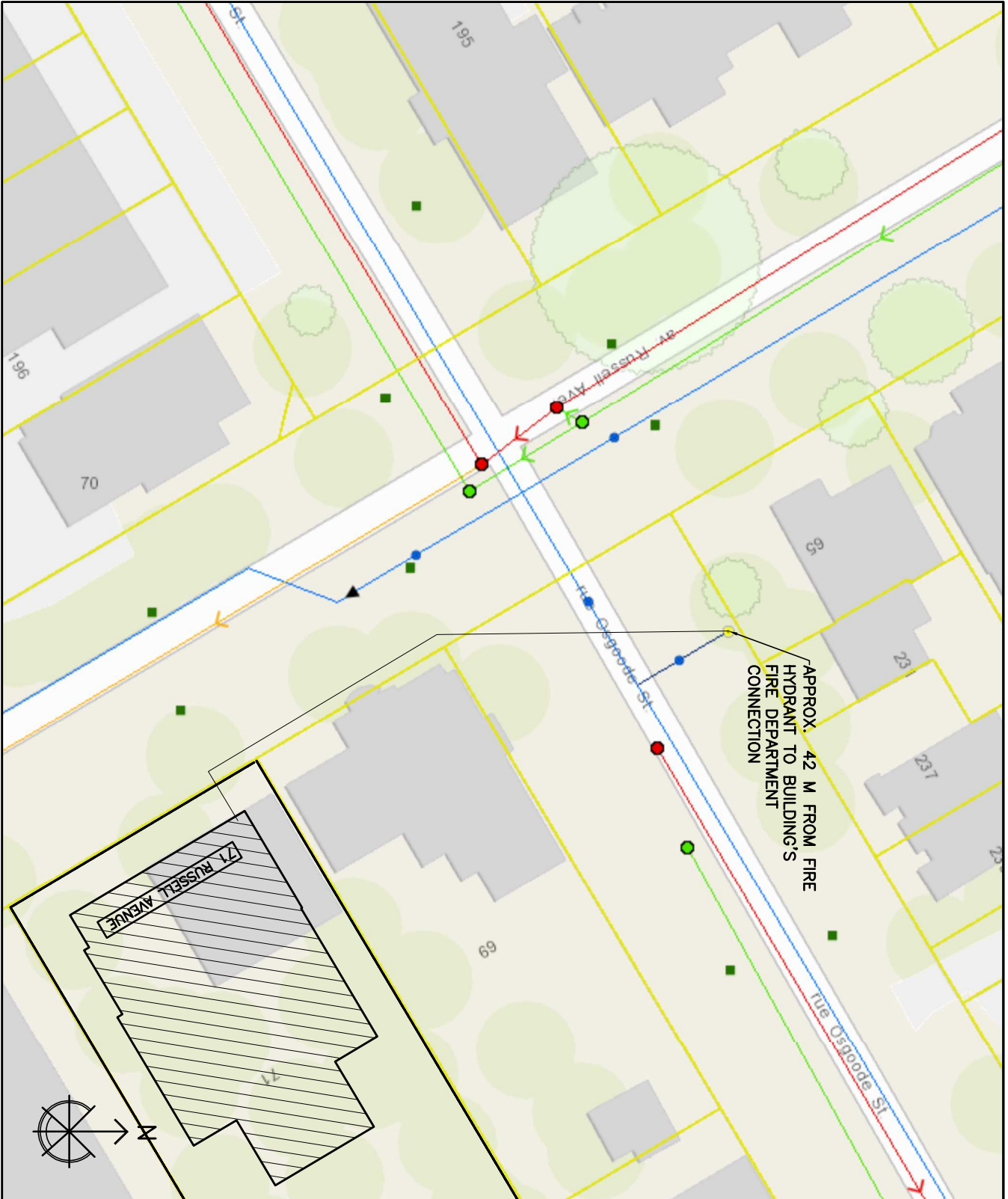




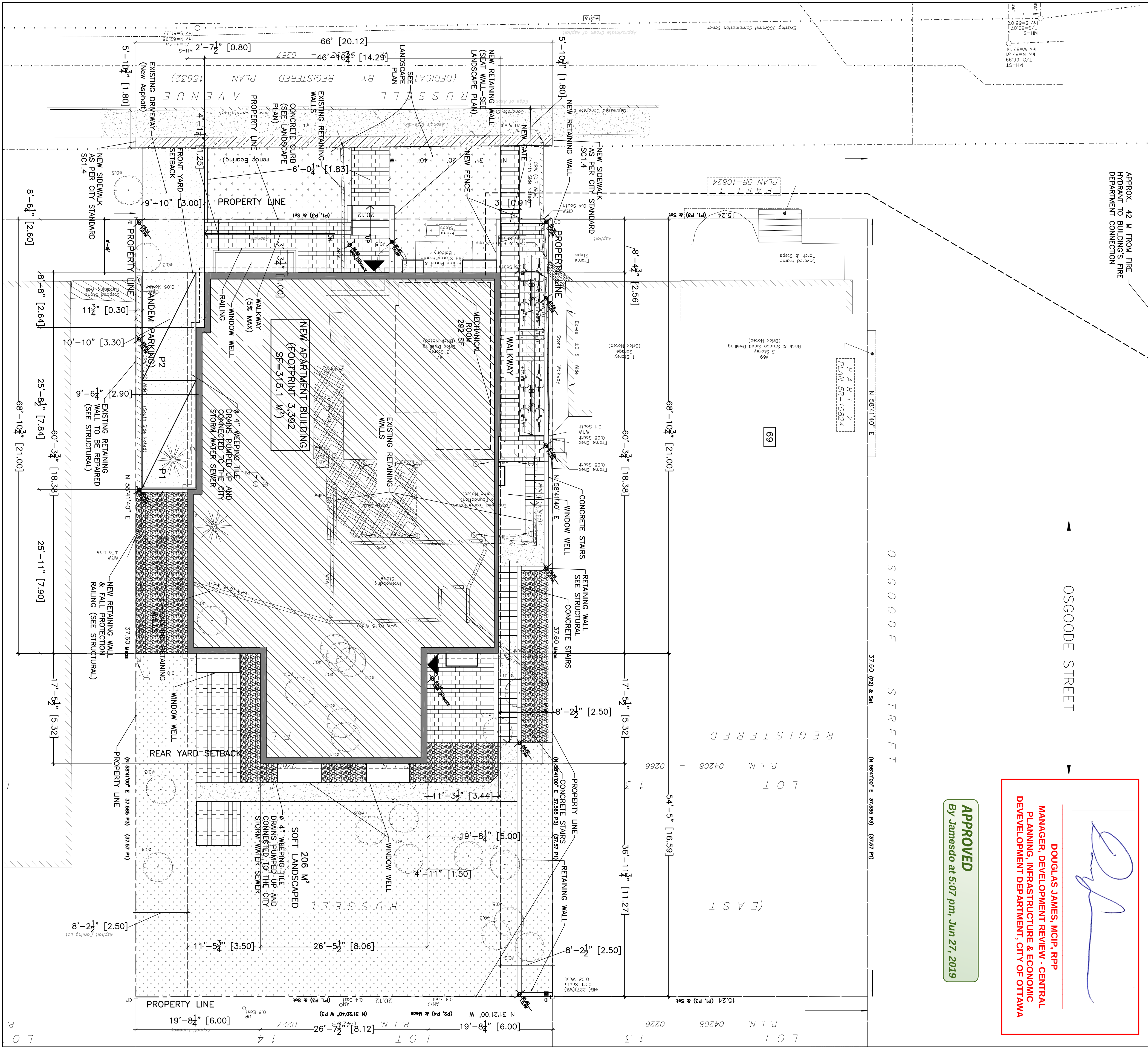
0 LOCATION PLAN
SP Scale: NTS

ZONING INFORMATION, PLAN 58319 LOT 14, RUSSELL, E. PIN 042080265		
RAS [480]		
PRINCIPAL DWELLING TYPE	REQUIRED FOR LOW RISE, APARTMENT	PROPOSED 4 STOREY, 16 UNITS
MINIMUM LOT WIDTH	15 m	20.12 m
MINIMUM LOT AREA	540 m ²	756.4 m ²
MAXIMUM BUILDING HEIGHT	14.5 m	12.75 m
MINIMUM FRONT YARD SETBACK	average of neighboring buildings (2.95 m + 2.17 m) = 2.56 m	2.56 m
MINIMUM CORNER SIDE YARD SETBACK	3m	N/A
MINIMUM REAR YARD SETBACK	30% lot depth = 11.27 m	11.27 m
MINIMUM INTERIOR SIDE YARD SETBACK	1.5 m within 21 m & 6 m after 21 m	1.5 m within 21 m & 6 m after 21 m
AMENITY SPACE	8 units @ 15m ² = 120 m ² MIN. REQUIREMENT OF 80 % TOTAL: 168 m ²	206 m ² SOFT LANDSCAPED AREA AT REAR YARD
MINIMUM LANDSCAPED AREA	30%	226.92 m ²
Parking Rate		
Motor Vehicle	(16-12)/2=2	2
Bicycle Parking (0.5/dw)	8 spaces	8 spaces outdoor (+14 bicycle storage in basement)

16 UNIT APARTMENT BUILDING:
3 BEDROOM UNIT: 5
2 BEDROOM UNIT: 9
1 BEDROOM UNIT: 2
2 UNITS REQUIRED TO BE B.F.

SITE PLAN LEGEND	
LINE PATTERNS:	HATCH:
PROPERTY LINE	EXISTING BUILDING
SETBACK LINE	SOFT LANDSCAPING
DEMOLITION	SIDEWALK
PROPOSED BUILDING	ASPHALT
	EXISTING BUILDING
	PEASTONE
	SOFT-LANDSCAPED (AMENITY SPACE-REAR YARD)
	ENTRANCE
	BICYCLE RACK

1. SITE PLAN
SP Scale: 1:100



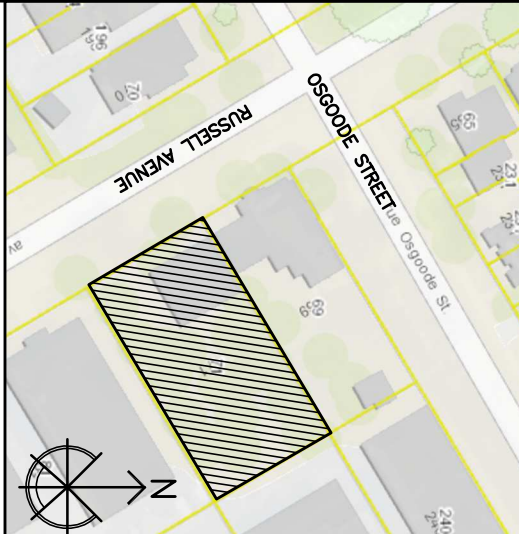
APPROVED
By Jamesdo at 5:07 pm, Jun 27, 2019

DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APARTMENT BUILDING

71 RUSSELL AVENUE
OTTAWA, ONT.

CLIENT:
Philip Ho
& Brent McInerhan



0 LOCATION PLAN
SP Scale: NTS

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613-722-5327
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CIVIL ENGINEERING
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FAX: 613.836.3742
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TEL: (613) 727-8226
FAX: (613) 727-1826

REVISION
DATE

NOTES:
1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site.
2. All work to comply with Ontario Building Code, including thickness of system board on stud walls in conjunction with structural drawings.

LOCATION PLAN,
SITE PLAN, ZONING
INFORMATION,
LEGEND
& PROPOSED
RENDERING

Scale	AS NOTED
Drawn	ZK
Checked	SOS
Date	JAN/2018
Job #	1765

DWG#

CITY FILE NUMBER:
D07-12-18-0140