



**SITE PLAN CONTROL APPROVAL APPLICATION  
DELEGATED AUTHORITY REPORT  
MANAGER, DEVELOPMENT REVIEW, SUBURBAN SERVICES**

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Site Location: 1501 Innes Road

File No.: D07-12-18-0176

Date of Application: December 12, 2018

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This SITE PLAN CONTROL application submitted by Mike Green (Controlex), on behalf of Innes Crossing Inc., is APPROVED as shown on the following plan(s):

1. **Site Plan, SP-A01**, prepared by MCROBIE Architects + Interior Designers, Revision 6 dated 20 March 2019;
2. **Site Servicing Plan, SS**, prepared by exp Services Inc., Revision 3 dated 21 February 2019;
3. **Grading and Erosion Plan, GP**, prepared by exp Services Inc., Revision 3 dated 21 February 2019;
4. **Landscape Plan, L1**, prepared by MCROBIE Architects + Interior Designers, Revision 3 dated 21 March 2019;
5. **Building Elevations, A200**, prepared MCROBIE Architects + Interior Designers, Revision 3 dated 20 March 2019.

And as detailed in the following report(s):

1. **Geotechnical Investigation**, prepared by Patterson Group, dated 15 December 2018;
2. **Grading plan review Memo**, prepared by Patterson Group, dated 24 January 2019.
3. **Site Lighting Certification Memo**, prepared by LRL Engineering, dated August 9, 2018; and
4. **Servicing Report & Stormwater Management Retail Unit F**, prepared by exp Services Inc., dated 7 February 2019.

And subject to the following Requirements, Standard and Special Conditions:

### **Standard Conditions**

1. The Owner shall be required to enter into an Amending Site Plan Agreement with the City in order to reflect the changes being made under this site plan approval to the existing development agreements registered on title to the subject lands, including changes to the existing approved plans and reports associated thereto.
2. The Owner shall enter into the City' standard amending site development agreement consisting of the following conditions. In the event the Owner fails to enter into such amending agreement within one year, this approval shall lapse.
3. The Owner acknowledges and agrees that all terms and conditions of the existing development and site plan agreements registered on title to the development lands are reconfirmed and are in full force and effect except as otherwise varied or amended in this Amending Site Plan Agreement. The Owner further acknowledges and agrees that the relevant portion of the approved plans referenced in this report shall supercede and replace and/or be in addition to, as the case may be, the relevant sections of the corresponding plans contained in the existing development and site plan agreements.

### **Special Conditions**

#### **Watermain**

4. The Owner agrees and acknowledges that the Water Plant within the lands is a Private Watermain and appurtenances are to be maintained by the Owner. The Owner performing maintenance on critical infrastructure, such as private watermain shall maintain adequate records as proof of having done so in accordance with applicable regulations and that the records shall be retained for review by the City and or the Fire Department when requested.

#### **Water Metering**

5. The details for water servicing and metering shall be to the satisfaction of the General Manager. The Owner agrees to submit for review and approval by the General Manager, a "Water Meter Data Card", prepared by a qualified mechanical engineer, licensed in the Province of Ontario, which Card is required to determine the water meter sizing requirements for the lands. The Owner further agrees to implement any water Works deemed required by the City, such water Works shall be carried out at the sole expense of the Owner, including the cost of connections, inspections and sterilization by the City personnel and the supply and installation of water meters by City personnel.

### **Access to the City**

6. Prior to registration of the Amending Site Plan Agreement, the Owner shall grant to the City a blanket easement over the lands, with the right and licence of free, uninterrupted, unimpeded and unobstructed access to the City, its servants, agents, contractors, and sub-contractors, to enter on and to pass at any and all times, on, over, along and upon the Lands with or without vehicles, supplies, machinery and equipment for all purposes necessary or convenient to construct, maintain, repair and replace the Watermains, Service Posts and fire hydrants at the Owner's expense. The Owner acknowledges and agrees that notwithstanding the rights granted to the City under the grant of easement, the Owner remains responsible at all times for the maintenance, inspection, alteration, repair, replacement and reconstruction of the utility in the said lands during their term of use. The Owner further acknowledges and agrees that the blanket easement shall be conveyed to the City free of encumbrances and at the Owner's expense.

### **Due Diligence**

7. The Owner acknowledges and agrees that while the site is under construction, any water discharged to the sanitary sewer due to dewatering shall meet the requirements of the City's Sewer Use By-law No. 2003-514, as amended.

### **Use of Explosives and Pre-Blast Survey**

8. The Owner(s) agree that all blasting activities or pile placement will conform to the City of Ottawa's standard S.P. No: F-1201 Use of Explosives. Prior to any blasting activities, a pre-blast or pile survey shall be prepared as per F-1201, at the Owner(s) expense for all buildings, utilities, structures, water wells, and facilities likely to be affected by the blast and those within 75 m of the location where explosives are to be used. The standard inspection procedure shall include the provision of an explanatory letter to the owner or occupant and owner with a formal request for permission to carry out an inspection. The pre-post inspection survey shall include, as a minimum, the following information:
  - a) Type of structure, including type of construction
  - b) Location identification and description of existing differential settlements, including visible cracks in walls, floors, and ceiling, including a diagram, if applicable, room-by-room. All other apparent structural and cosmetic damage or defect must also be noted. Defects shall be described, including dimensions, wherever possible.
  - c) Photographs or video as necessary for recording areas of significant concern

A copy of the pre-post inspection survey shall be provided to the owner of that residence or property upon request.

Furthermore, the Owner(s) agree to provide a Notification Letter in compliance with City specification F-1201. Specification indicates that a minimum of 15 Business days prior to blasting the Contractor shall provide written notice to all owner(s) and tenants of buildings or facilities within a minimum of 150m of the

blasting location. A copy of the Notification Letter will be submitted to the Program Manager of Construction Services, City of Ottawa.

### **Approvals**

9. The Owner acknowledges and agrees that if dewatering is required in excess of 50,000 litres per day on site for approved works that they shall apply to the MOECC for a dewatering activity discharge approval. Furthermore, all cost shall be borne by the Owner.

### **Contaminants**

10. The Owner agrees and acknowledges that should buried materials such as concrete and asphalt or undesirable cobbles and materials be excavated on site they shall be removed from the excavations and be removed off site as per the direction of the on-site geotechnical engineer, and to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development.

### **Inspection**

11. The Owner shall have competent professional engineering inspection personnel on-site during the period of construction and the General Manager, Planning, Infrastructure and Economic Development shall have the right at all times to inspect the installation of the Works. Should it be found in the sole opinion of the General Manager, Planning, Infrastructure and Economic Development that such personnel are not on site or are incompetent in the performance of their duties, or that the said Works are not being carried out in accordance with approved plans or specifications and in accordance with good engineering practice, then the General Manager, Planning, Infrastructure and Economic Development may order all work in the project to be stopped.

### **Geotechnical Investigation**

12. The Owner acknowledges and agrees that it shall retain the services of a geotechnical engineer, licensed in the Province of Ontario, to ensure that the recommendations of the Geotechnical Investigation (**Geotechnical Investigation**, prepared by Patterson Group, dated 15 December 15 2018), are fully implemented. The Owner further acknowledges and agrees that it shall provide the General Manager, Planning, Infrastructure and Economic Development with confirmation issued by the geotechnical engineer that the Owner has complied with all recommendations and provisions of the Geotechnical Investigation prior to construction of the foundation and at the completion of the Works, which confirmation shall be to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development.

### **Tree Protection Measures**

13. The Owner acknowledges and agrees that all trees to be retained, as shown on the approved Environmental Impact Statement & Tree Conservation Report and Addendum and the Landscape Plan referenced in Schedule "E" herein, shall be protected in accordance with the City's required tree protection measures. At a minimum, the following tree protection measures shall be applied during all on-site works:

- (a) Erect a fence at the critical root zone (CRZ) of trees, defined as ten (10 cm) centimetres from the trunk for every centimetre of trunk DBH (i.e.,  $CRZ = DBH \times 10cm$ );
- (b) Tunnel or bore when digging within the CRZ of a tree;
- (c) Ensure that exhaust fumes from all equipment are not directed towards any tree's canopy;
- (d) Do not place any material or equipment within the CRZ of the tree;
- (e) Do not attach any signs, notices or posters to any tree;
- (f) Do not raise or lower the existing grade within the CRZ without the approval of the General Manager, Planning, Infrastructure and Economic Development; and
- (g) Do not damage the root system, trunk or branches of any tree.

### **Inlet Control Devices**

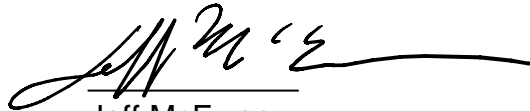
14. The Owner acknowledges and agrees to install and maintain in good working order the required roof-top and in-ground stormwater inlet control devices, as recommended in the approved **Site Servicing Plan, SS**, prepared by exp Services Inc., Revision 3 dated 21 February 2019. The Owner further acknowledges and agrees it shall assume all maintenance and replacement responsibilities in perpetuity. The Owner shall keep all records of inspection and maintenance in perpetuity, and shall provide said records to the City upon its request.

**Private Storm Sewer Connection to City Sewer System**

15. The Owner acknowledges and agrees that any new storm sewers to be installed as part of this development shall not be connected to the City's existing storm sewer system until such time as either:

- (a) a certificate of conformance and Record Drawings have been received from a Professional Engineer, licensed in the Province of Ontario, certifying that all required inlet control devices have been properly installed to City Standards or Specifications, and that the storm sewer system has been installed in accordance with the approved engineering drawings for site development and City Sewer Design Guidelines. The inlet control devices shall be free of any debris; or
- (b) a flow limiting orifice plate, designed by a Professional Engineer licensed in the Province of Ontario and to the satisfaction of the City, has been installed at the storm water outlet prior to connecting any upstream storm sewers. Such orifice plate shall not be removed until subsection (a) above has been satisfied and approved by the General Manager, Planning, Infrastructure and Economic Development.

May 6/19  
Date



Jeff McEwen  
Manager, Development Review  
Development Review, East  
Planning, Infrastructure and Economic  
Development Department

Enclosure: Site Plan Control Application approval – Supporting Information

**SITE PLAN CONTROL APPROVAL APPLICATION**

## **SUPPORTING INFORMATION**

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**File Number:** D07-12-18-0176

### **SITE LOCATION**

1501 Innes Road, and as shown on Document 1.

### **SYNOPSIS OF APPLICATION**

The site is located in the Beacon Hill-Cyrville Ward on the north side of Innes Road, immediately east of Highway 417 and to the west of Cyrville Road as shown on the attached Location Map. The property contains a commercial complex of approximately 3.8 hectares in area. Similar commercial uses are found to the north and south of the property, with low-rise residential uses further north beyond Cyrville Road.

The site development proposes a 625 square metres retail building at the corner of the intersection between the access to the existing commercial complex and Innes Road. The existing complex is made up of three parcels under one ownership, currently containing five retail and restaurant uses, and associated with parking areas.

The new single storey 'Building F' is to be placed over an existing surface parking areas. Minimum parking space requirements and existing access to the site are to be maintained. Loading will be accommodated at the south of the building, and a landscape buffer is proposed along the frontage on Innes Road.

### **DECISION AND RATIONALE**

This application is approved for the following reasons:

- The proposed use and site development conforms to the relevant policies of the City of Ottawa's Official Plan as 1501 Innes Road is located within the urban area of the City of Ottawa, and the property is along a designated Arterial Mainstreet on Schedule B of the Official Plan.
- The site is zoned General Mixed Use (GM12). The development complies with the general provisions of the GM Zone.
- The proposed site development is consistent with The City of Ottawa's Urban Design guidelines for General Mixed Use.
- The proposed site, servicing, and landscape design for the proposed two-storey office building and one-storey multi-purpose accessory building, along

with the proposed conditions of approval, are reasonable in the context of the future use of the surrounding land, and, therefore, represent good and responsible planning and site design.

To ensure that the above conditions of site plan control approval are complied with, the applicant is required to enter into a site plan agreement with the City. The required agreement would serve to ensure that the development proceeds in accordance with the approved plans and conditions of site plan control approval.

## **URBAN DESIGN REVIEW PANEL**

N/A

## **CONSULTATION DETAILS**

Councillor Tim Tierney - Beacon Hill-Cyrville has concurred with the proposed conditions of approval.

## **Public Comments**

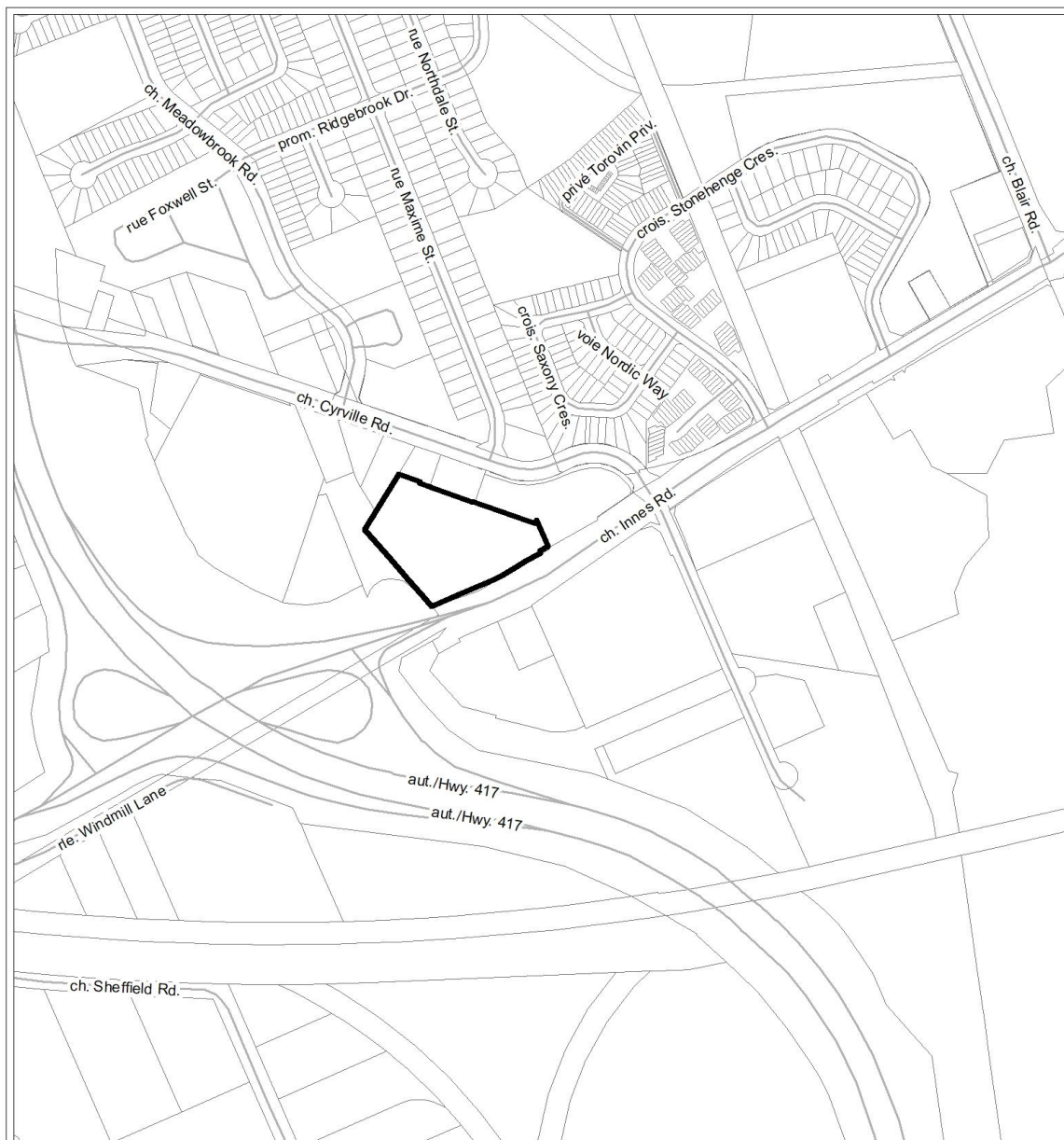
This application was not subject to the Public Notification and Consultation Policy.

## **APPLICATION PROCESS TIMELINE STATUS**

This Site Plan application was not processed by the On Time Decision Date established for the processing of an application that has Manager Delegated Authority due to staff workload redistribution, and revisions required to the site plan.

**Contact:** Evode Rwagasore Tel: 613-580-2424, ext. 16483, fax 613-580-2576 or e-mail: [Evode.Rwagasore@ottawa.ca](mailto:Evode.Rwagasore@ottawa.ca)





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REVISION / RÉVISION - 2018 / 12 / 14

LOCATION MAP / PLAN DE LOCALISATION  
SITE PLAN / PLAN D'EMPLACEMENT



1501 ch. Innes Road

