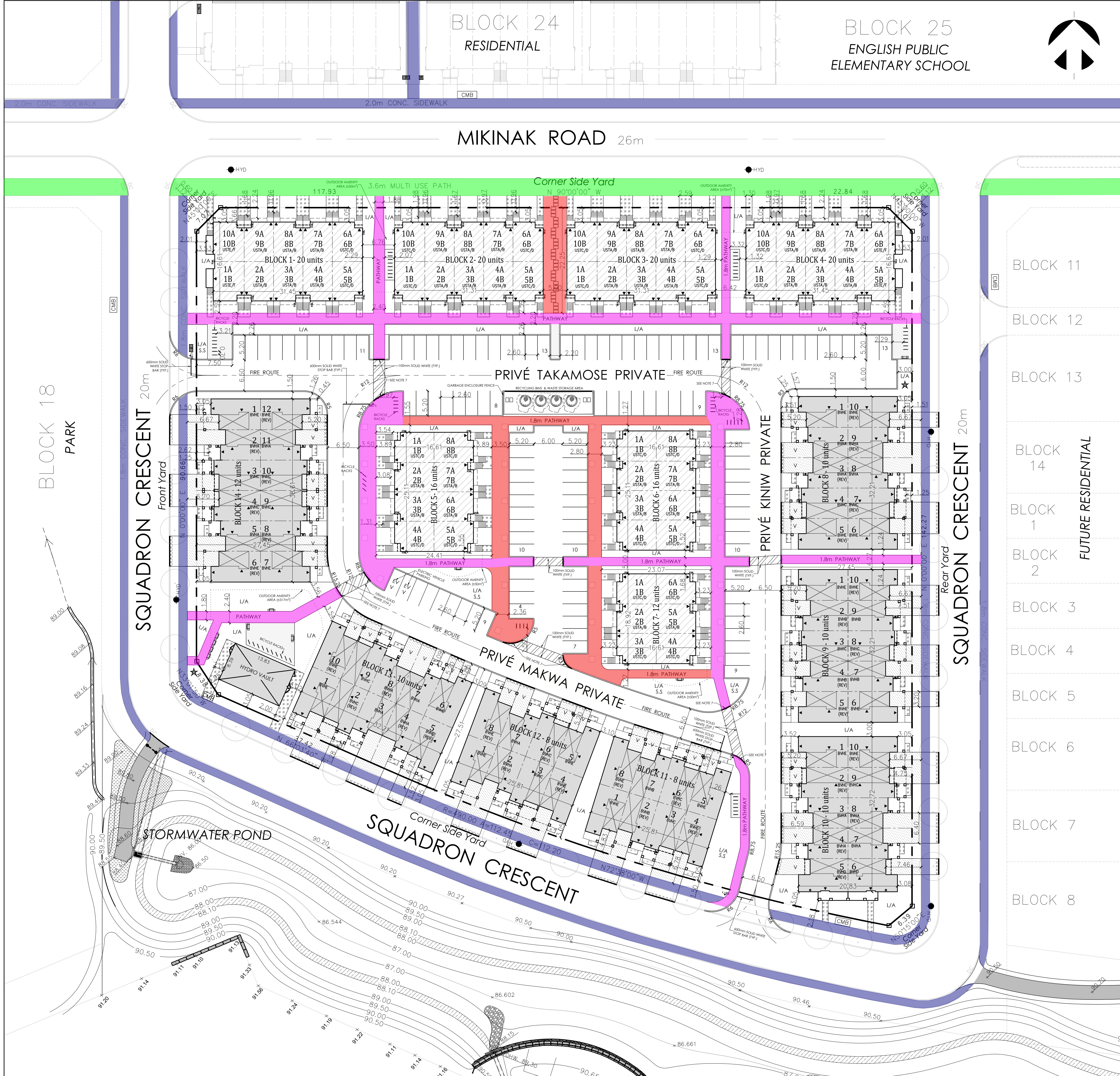




SITE STATISTICS AND DEVELOPMENT DATA

SITE AREA	19,588.25m ² (1.96 ha)
PAVED AREA	6,210.40m ² (31.7%)
LANDSCAPED AREA	6,202.15m ² (31.7%)
TOTAL BUILDING COVERAGE	7,175.70m ² (36.6%)
TOTAL GROSS FLOOR AREA	22,746.6m ²
STACKED TOWNS TYPE A UPPER MODEL (34@114m ²)	3,876m ²
STACKED TOWNS TYPE B LOWER MODEL (34@85m ²)	2,890m ²
STACKED TOWNS TYPE C UPPER MODEL (24@116.93m ²)	2,806.32m ²
STACKED TOWNS TYPE D LOWER MODEL (24@87.26m ²)	2,094.24m ²
STACKED TOWNS TYPE E UPPER MODEL (4@117.20m ²)	468.80m ²
STACKED TOWNS TYPE F LOWER MODEL (4@89.97m ²)	359.88m ²
B2B TOWNHOUSE TYPE A MODEL (20@126.72m ²)	2,525.20m ²
B2B TOWNHOUSE TYPE B MODEL (6@139.82m ²)	838.92m ²
B2B TOWNHOUSE TYPE C MODEL (14@159.24m ²)	2,229.36m ²
B2B TOWNHOUSE TYPE D MODEL (2@172.06m ²)	344.12m ²
B2B TOWNHOUSE TYPE E MODEL (26@165.92m ²)	4,313.92m ²
HYDRO VAULT (1)	116m ²
DENSITY (UPH)	98
ZONE CATEGORY	R4Y(2456)

DWELLING BLOCK	DWELLING TYPE	GROUND FLOOR AREA (m ²)	UNITS
BLOCK 1	STACKED TOWNS	503.62	20
BLOCK 2	STACKED TOWNS	499.59	20
BLOCK 3	STACKED TOWNS	499.59	20
BLOCK 4	STACKED TOWNS	503.62	20
BLOCK 5	STACKED TOWNS	400.82	16
BLOCK 6	STACKED TOWNS	400.82	16
BLOCK 7	STACKED TOWNS	301.24	12
BLOCK 8	BACK TO BACK TOWNHOUSES	571.00	10
BLOCK 9	BACK TO BACK TOWNHOUSES	591.81	10
BLOCK 10	BACK TO BACK TOWNHOUSES	575.07	10
BLOCK 11	BACK TO BACK TOWNHOUSES	480.27	8
BLOCK 12	BACK TO BACK TOWNHOUSES	469.87	8
BLOCK 13	BACK TO BACK TOWNHOUSES	571.00	10
BLOCK 14	BACK TO BACK TOWNHOUSES	691.38	12
TOTAL		7,059.70	192

SECTION	ZONE PROVISION - PLANNED UNIT DEVELOPMENT	REQUIRED	PROPOSED
162A (Table)	MIN. LOT WIDTH (m)	N/A	N/A
162A (Table)	MIN. LOT AREA (m ²)	1,400m ²	19,588m ²
162A (Table)	MAX. BUILDING HEIGHT (m)	11.0m	10.0m
162A (Table)	MIN. FRONT YARD SETBACK (m)	3.0m	3.0m
162A (Table)	MIN. CORNER SIDE YARD SETBACK (m)	3.0m	3.0m
162A (Table)	MIN. CORNER SIDE YARD SIGHT TRIANGLE SETBACK (m)	0.5m	0.6m
162A (Table)	MIN. REAR YARD SETBACK (m)	3.0m	3.0m
162A (Table)	MIN. INTERIOR YARD SETBACK (m)	3.0m	N/A
101 (Table)	RESIDENT PARKING - B2B TOWNS (68)	51 (68@0.75/unit)	68 (68@1/unit)
2018-124	VISITOR PARKING - B2B TOWNS (124)	62 (124@0.5/unit)	124 (124@1/unit)
2018-124	VISITOR PARKING - B2B TOWNS	0	0 (34@0/unit)
111A (Table)	BICYCLE PARKING (STACKED TOWNS)	62 (0.5/unit)	140
131 (Table)	MIN. WIDTH OF PRIVATE WAY (m)	6.0m	6.0m
2018-124	SEPARATION OF ANY WALL OF A RESIDENTIAL BUILDING TO A PRIVATE WAY (m)	0.2m	0.4m
2018-124	MIN. SETBACK OF GARAGE DOOR TO PRIVATE WAY (m)	1.0m	5.2m
131 (Table)	SEPARATION DISTANCE BETWEEN BUILDINGS WITHIN A PLANNED UNIT DEVELOPMENT (m)	1.2m	3.0m
137 (Table) [7]	TOTAL AMENITY AREA (6m ² /unit)	744m ²	±3,321m ²
137 (Table) [7]	MIN. OF 50% AS COMMUNAL, AT LEAST 1 AGGREGATED AREA MIN. 54m ²	372m ²	±537m ²

SECTION	ADDITIONAL PROVISIONS	REQUIRED	PROPOSED
65	PERMITTED PROJECTIONS INTO YARDS:		
65(6)	COVERED OR UNCOVERED BALCONY, PORCH, DECK (m)	2.0m (Max)	1.8m
		>1.0m to lot line	1.2m
65 (5)	FIRE ESCAPES, OPEN STAIRWAYS, STOOP (m)	>0.6m to lot line	0.9m
106(1)	MIN. PERPENDICULAR PARKING SPACE SIZE (m)	2.6m x 5.2m	2.6m x 5.2m
107 (2)	MIN. DRIVEWAY WIDTH TO GARAGE (m)	2.6m	3.2m
109 (3)(b)	MAX. WALKWAY WIDTH PERMITTED IN YARD (m)	1.8m	1.8m
110 (Table)	LANDSCAPED AREA SURROUNDING PARKING LOT-ABUTTING A STREET (m)	3.0m	3.0m
2018-124	MAX. PROJECTION HEIGHT (m)	3.2m	0.96m
91	UTILITY INSTALLATION MIN. CORNER SIDE YARD SETBACK (m)	0.5m	1.9m

Legend

- Block 15 Specific Pathways
- Primary Mid-Block Pathways
- Secondary Pathways
- Connecting Wateridge Pathways
- Sidewalks
- Multi-Use Pathway

KEY MAP

N.T.S.

SCALE 1:400

LEGEND

- BACK TO BACK TOWNHOUSE
- STACKED TOWNHOUSE
- PATHWAY
- WALKWAY TO ENTRY
- CROSSWALK
- ASPHALT DRIVEWAY
- CURB (0.2m)
- MOUNTABLE CURB
- DEPRESSED CURB
- PORCH
- PROJECTION (STAIRS)
- WINDOW WELL
- S.S. SNOW STORAGE AREA
- L/A LANDSCAPED AREA
- ENTRANCE
- UNIT NUMBER
- BENCH
- RAIN WATER LEADER
- HYD FIRE HYDRANT
- CANADA POST MAIL BOX
- LIGHT DUTY PAVING
- STOP SIGN
- BIKE RACKS
- V VISITOR PARKING
- TREE GRATE
- ENTRY FEATURE
- ART FEATURE
- BLOCK BOUNDARY

GENERAL NOTES

- DO NOT SCALE DRAWINGS FOR PRINT.
- THIS DRAWING IS THE EXCLUSIVE PROPERTY OF KORSIAK URBAN PLANNING AND MATTHEW HOMES. COPYRIGHT RESERVED.
- SITE PLAN PREPARED IN ACCORDANCE WITH PLAN 4M-1581 AND PLAN 4R-30196, PREPARED BY ANNIS O'SULLIVAN, VOLLEBECK LTD.
- TOWNHOUSE DWELLING UNITS ARE DESIGNED TO ACCOMMODATE CURBSIDE GARAGE PICK-UP.
- MEWS ARE INTENDED FOR PUBLIC ACCESS.
- WALKWAYS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.
- REFERENCES CITY OF OTTAWA T.W.S.I., DETAIL SC7.3

PROJECT TEAM

SITE PLAN DESIGN: KORSIAK Urban Planning

LANDSCAPE ARCHITECTURE: NAK design strategies

MECHANICAL/ELECTRICAL: LR J

PLANNING: Stantec

TRANSPORTATION: NOVATECH

ARCHITECTURE: Q4A

NOISE: VALCOURT

CIVIL ENGINEER: DSEL

GEOTECHNICAL & STRUCTURAL: paker group

mattamyHOMES

WATERIDGE VILLAGE: PHASE 1B

245 SQUADRON CRES.

BLOCK 15

PART OF LOT 22

CONCESSION 1 (OTTAWA FRONT)

GEOGRAPHIC TOWNSHIP OF GLOUCESTER

REGISTERED PLAN 4M-1559

CITY OF OTTAWA

TITLE: BLOCK 15 SITE PLAN

DATE: June 21, 2019

DRAWN BY: SP

CHECKED BY: CR

FILE NO.: D07-12-17-0111

JOB NO.: Mattamy - Wateridge

DRAWING NO. A1

S. Korsiak & Company/Mattamy Homes/Wateridge Site Plan/June 19/Block 15 site plan/revision 1/2019 June 21/0111