













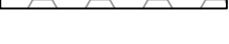









The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
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- | | |
|---|--|
|  | ORIGINAL GROUND ELEVATION |
|  | PROPOSED ELEVATION |
|  | PROPOSED LOT CORNER EXISTING ELEVATION AT LOT CORNER |
|  | FLOW DIRECTION AND GRADE |
|  | FINISHED FIRST FLOOR ELEVATION |
|  | TOP OF FOUNDATION ELEVATION |
|  | UNDERSIDE OF FOOTING ELEVATION |
|  | TERRACING 3:1 SLOPE MAXIMUM (UNLESS OTHERWISE SHOWN) |
|  | PROPOSED SWALE |
|  | DIRECTION OF OVERLAND FLOW |
|  | PROPOSED VALVE BOX |
|  | PROPOSED CATCH-BASIN |
|  | EXISTING DEPRESSED CURB LOCATION |
|  | PROPOSED DOOR LOCATIONS |
|  | PROPOSED WALK WAY |
|  | EXISTING OVERHEAD WIRE |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING COMBINED SEWER |
|  | EXISTING CATCH-BASIN |
|  | EXISTING VALVE CHAMBER |

1. TOPOGRAPHICAL PLAN OF SURVEY, LOT 9 AND 11, REGISTERED PLAN 47389, CITY OF OTTAWA AND BENCHMARK COMPLETED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED OCTOBER 29, 2018.
2. SITE PLAN PREPARED BY SUSAN D. SMITH ARCHITECT DATED FEBRUARY 11, 2019.
3. GEOTECHNICAL REPORT PREPARED BY GEMTEC DATED JANUARY 23, 2019.

2	REVISED AS PER CITY COMMENTS	WAJ	KJK	19.05.31
1	ISSUED FOR REVIEW	WAJ	KJK	19.02.15
Revision		By	Appd.	YY.MM.DD

File Name: 160401462-DB	JP	DT	MJS	19.01.15
	Dwn.	Chkd.	Dsgn.	YY.MM.DD

Permit-Seal

Client/Project

ART CONSTRUCTION
SUITE 101 - 11 ROSEMOUNT AVE.

3 STOREY APARTMENT
13 MONK STREET
OTTAWA, ONTARIO

Title

GRADING PLAN

Project No.
160401462

Scale 0 1 3 5m
1:100

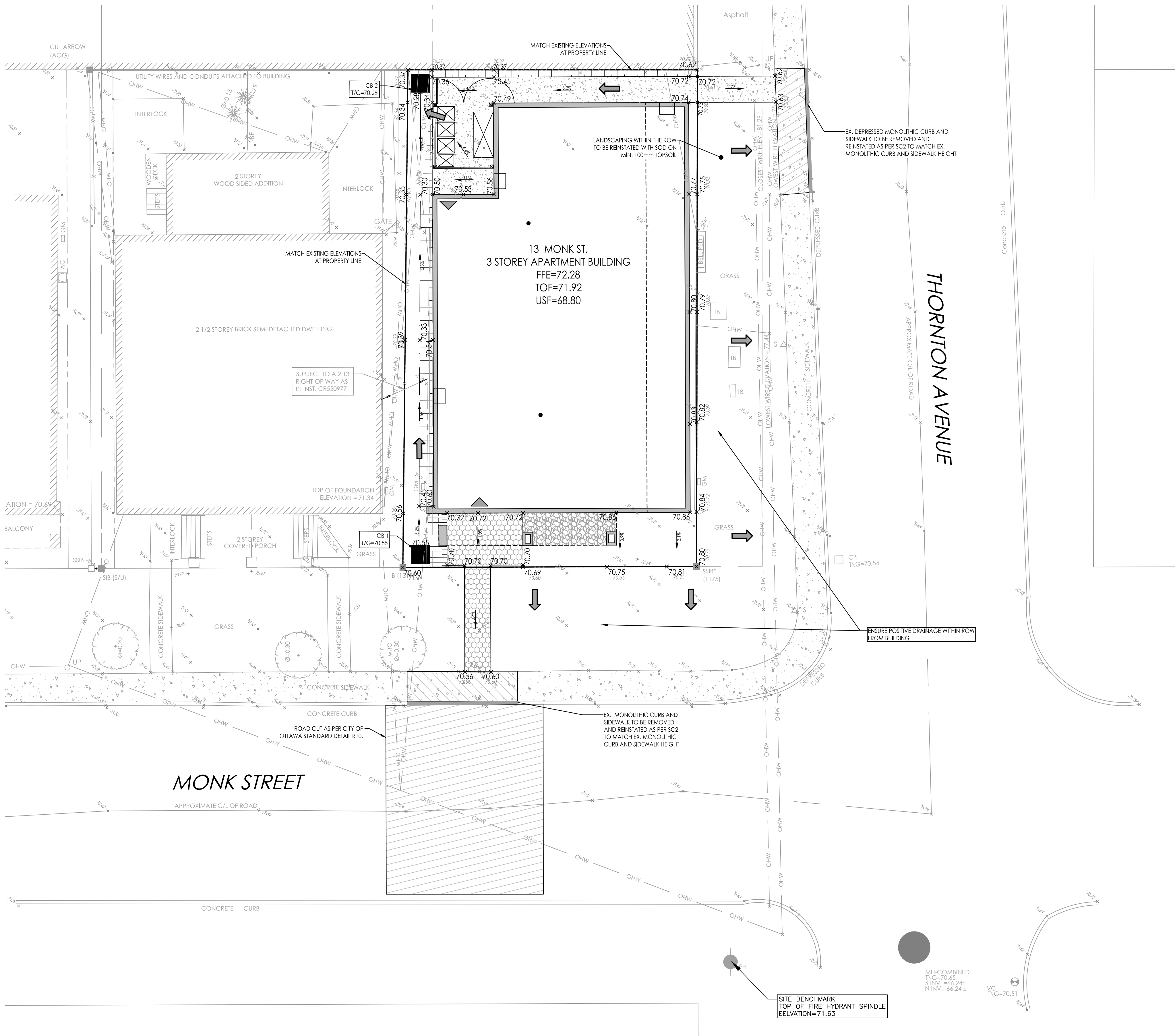
Drawing No.	Sheet	Revision
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GP-1

3 of 5

2

#17906



SITE GRADING

1. ALL GRANULAR BASE & SUB BASE COURSE MATERIALS SHALL BE COMPACTED AS PER GEOTECHNICAL CONSULTANT RECOMMENDATIONS.
2. ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER, WITH SOIL ON MIN. 100mm TOPSOIL. THE RELOCATION OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER.
3. INSPECTIONS: ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERWAYS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED.
4. REFER TO ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND SITE DETAILS.
5. CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE IF REQUIRED BY THE MUNICIPALITY.
6. EMBANKMENTS TO BE SLOPED AT MIN. 3:1, UNLESS OTHERWISE SPECIFIED.
7. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH DEVELOPER AND THE CITY OF OTTAWA PRIOR TO TREE CUTTING.
8. SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR 'B' COMPACTED IN 0.15m LAYERS.
9. NO ALTERATION TO EXISTING GRADES OR DRAINAGE PATTERN ON PROPERTY LINE MAY BE MADE WHERE NO PERMISSION TO ENTER ADJACENT PROPERTY EXISTS.
10. ALL TREES ON THE RIGHT-OF-WAY OR ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTION AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER MUNICIPAL TREES AND NATURAL AREAS PROTECTION BYLAWS AND URBAN TREES CONSERVATION BYLAW.
11. NO EXCESS DRAINAGE TO BE DIRECTED TO NEIGHBOURING PROPERTIES EITHER BEFORE OR AFTER CONSTRUCTION.
12. CONTRACTOR IS RESPONSIBLE TO KEEP THE ROADS FREE AND CLEAN FROM MUD OR DEBRIS.

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ORIGINAL SHEET - ARCH D