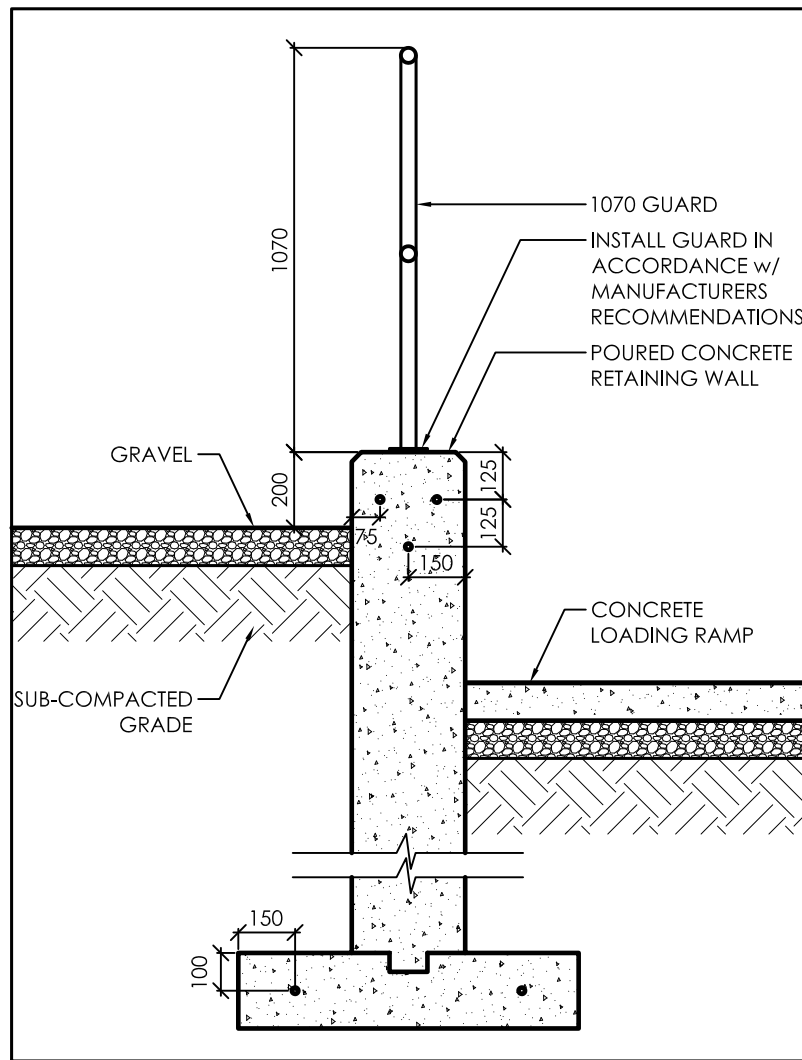
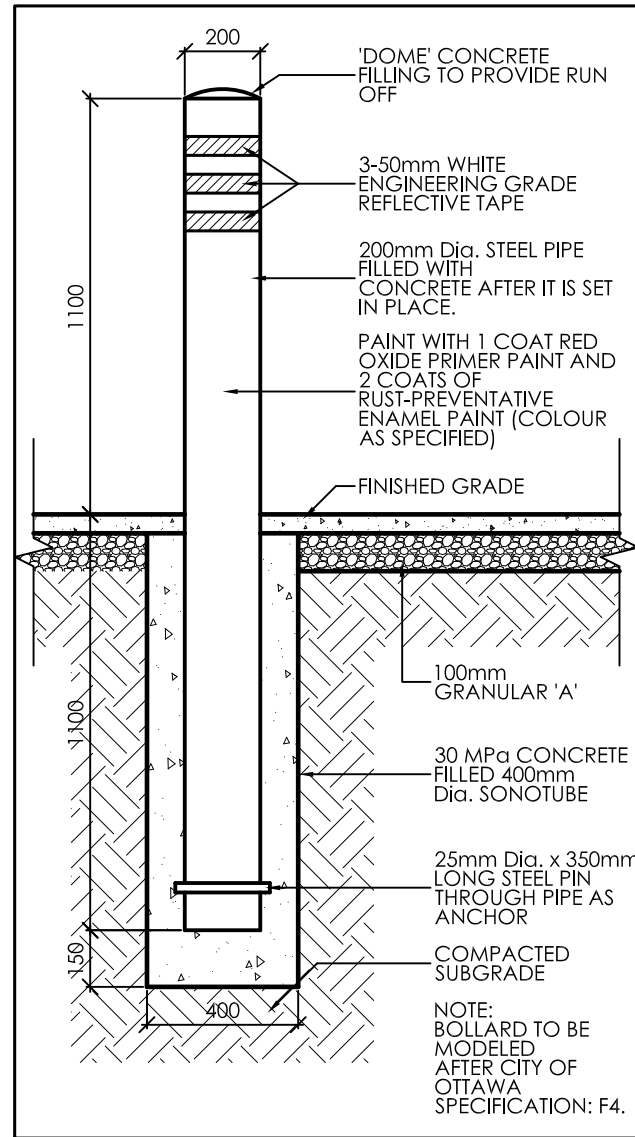
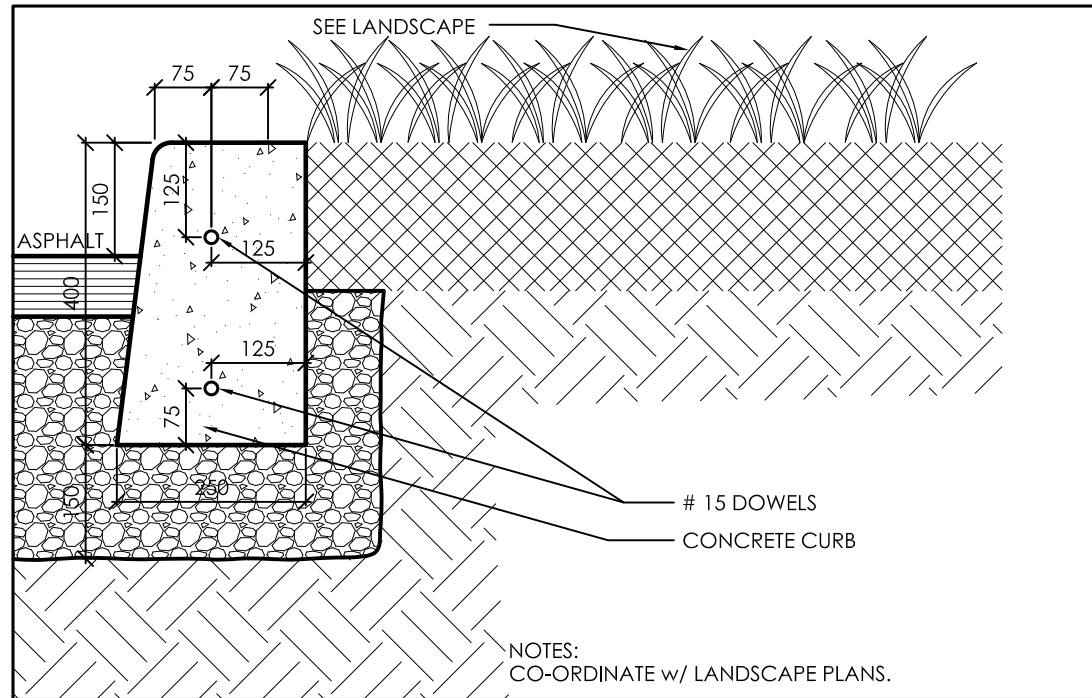




6 GUARD @ LOADING DOCK
A001
SCALE: 1:20

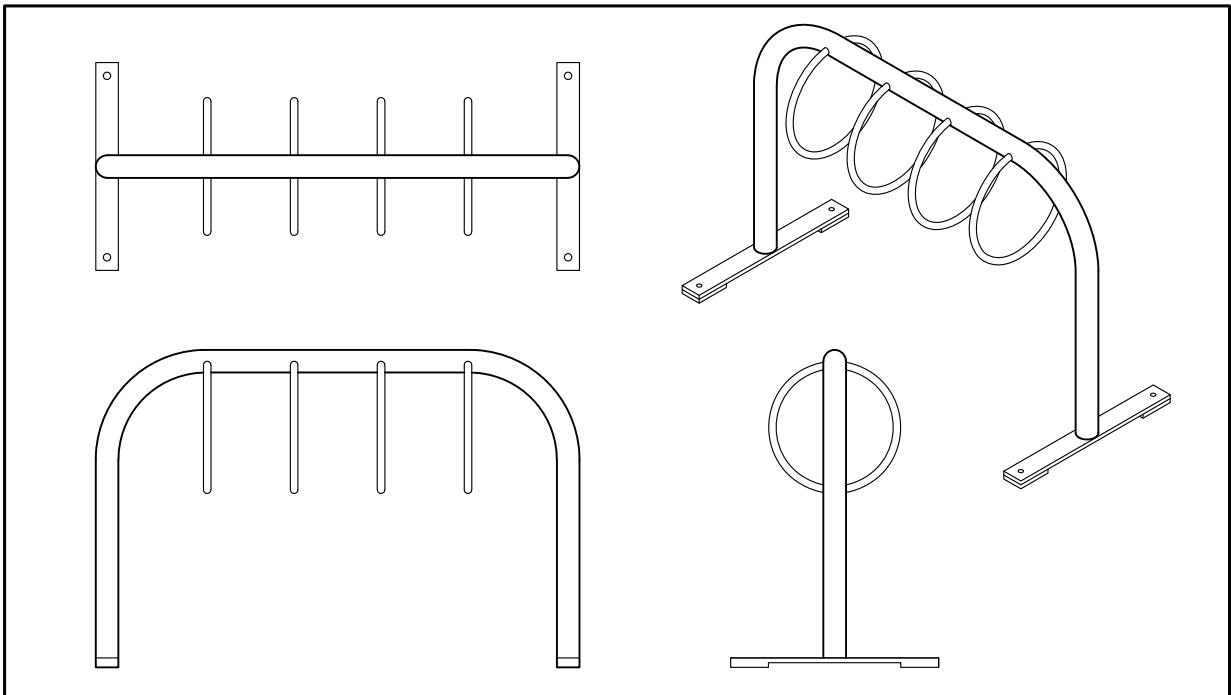


5 TYPICAL BOLLARD
A001 SEE STRUCT. SCALE: 1:20

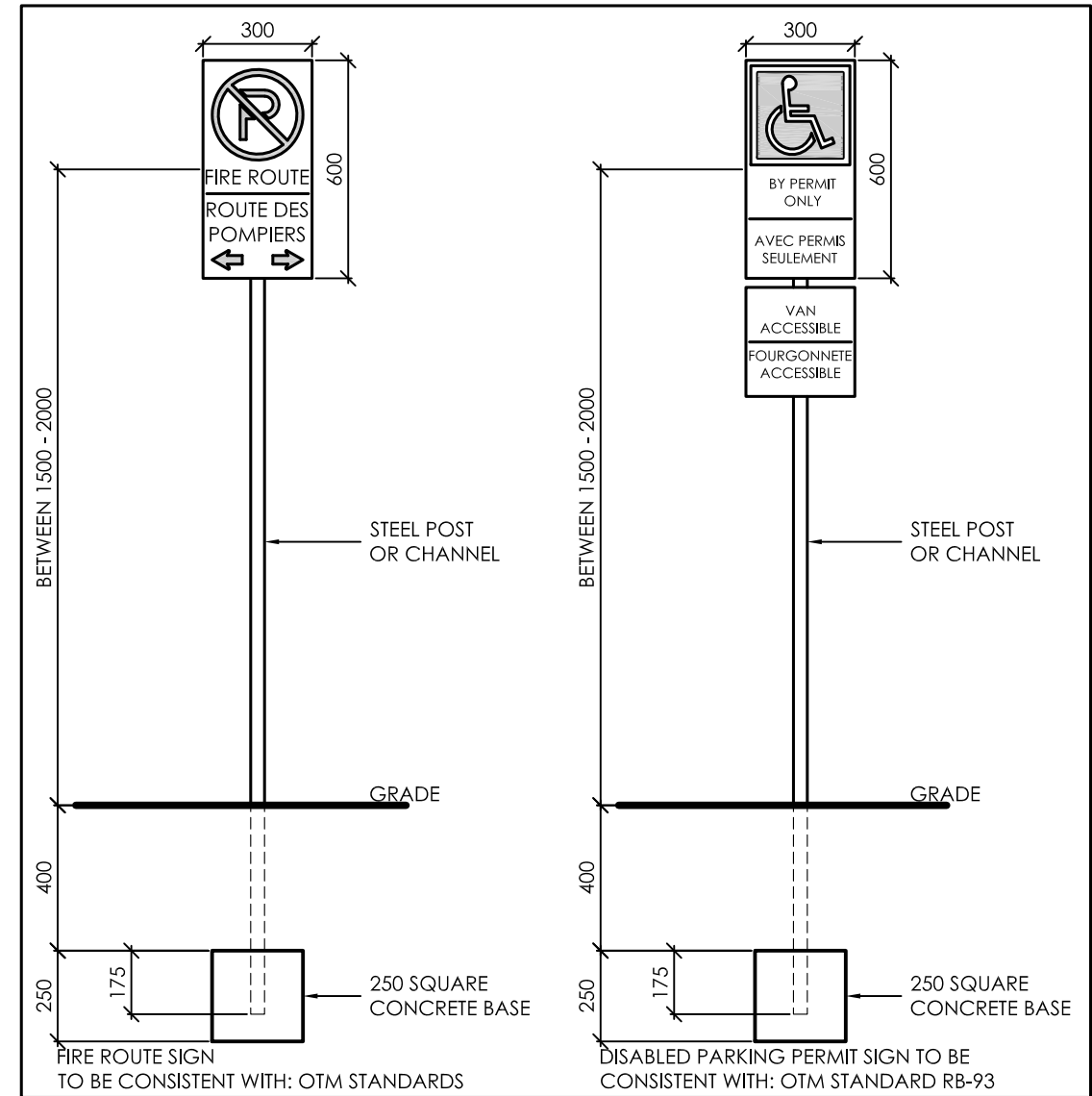


3 TYPICAL CURB
A001
SCALE: 1:20

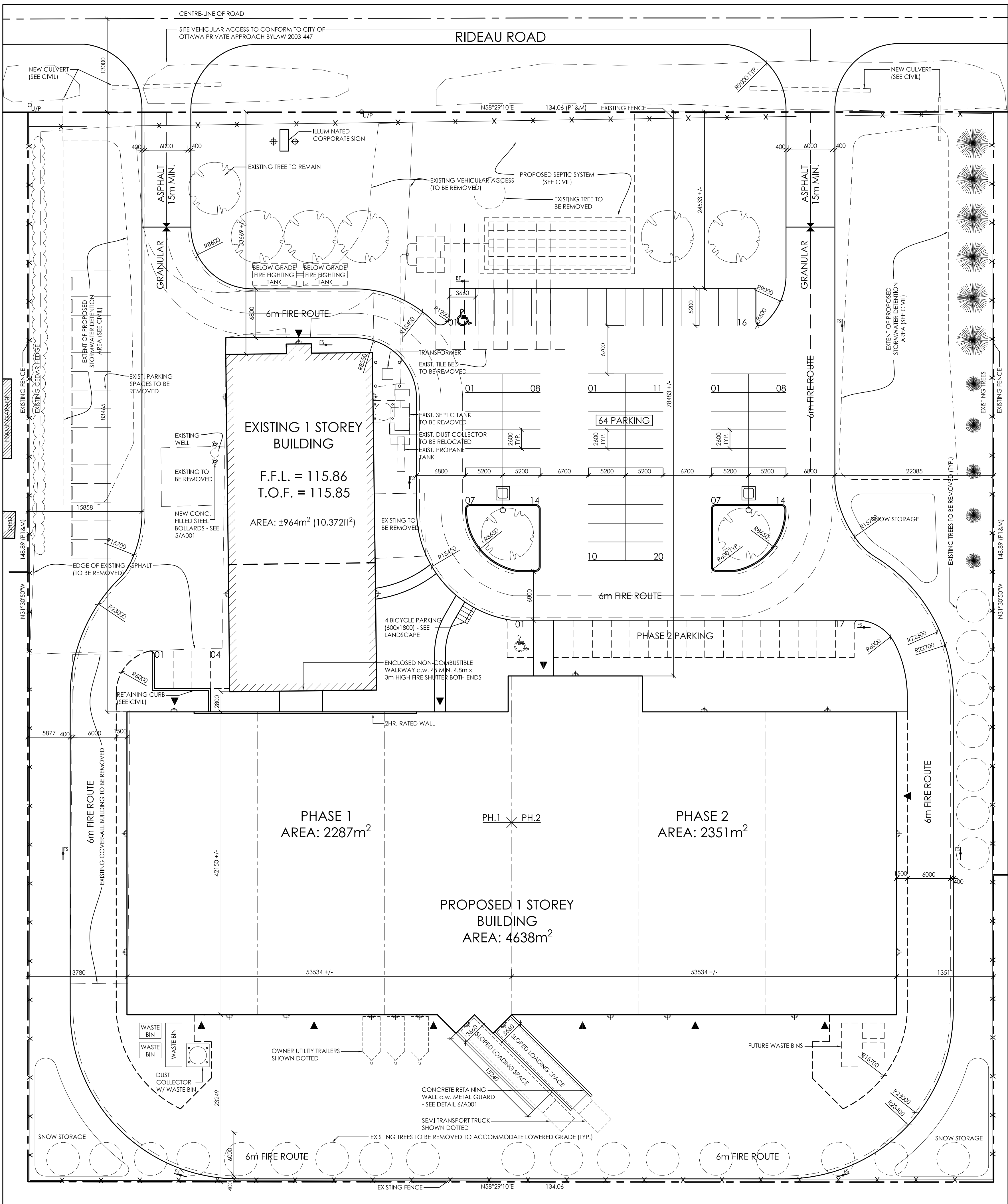
SITE STATISTICS			
AREAS (m²):			
SITE (TOTAL):	20,004 (100%)		
BUILDING:			
EXISTING:	964 (4.8%)		
NEW:	4,638 (23.2%)		
LANDSCAPE:	6,881 (34.4%)		
ASPHALT (GRAVEL):	7,521 (37.6%)		
ZONING REGULATIONS			
SITE ZONING: RURAL GENERAL INDUSTRIAL ZONE - RG1 [242r]			
MECHANISM		REQUIRED	PROVIDED
MINIMUM LOT AREA		8,000m²	20,004m²
MINIMUM FRONT YARD SETBACK		15m	83.46m
MINIMUM REAR YARD SETBACK		15m	23.25m
MINIMUM INTERIOR SIDE YARD SETBACK		8m	13.78m
MINIMUM INTERIOR SIDE YARD SETBACK		8m	13.51m
MAXIMUM LOT COVERAGE		50%	28%
MAXIMUM BUILDING HEIGHT		15m	9m
MIN. # PARKING SPACES	OFFICE 2.4/100m² GFA	# OF SPACES 185m² @ 2.4/100m² = 4.44 SPACES	85
	LIGHT INDUST. 0.8/100m² GFA	5714m² @ 2.4/100m² = 43.34 SPACES	
	LOADING: 2 FOR 5000-9000m²	2	2
PARKING FOR DISABLED		BETWEEN 20-99 SPACES = 1	1
BICYCLE PARKING:	OFFICE: 185m² @ 1 SPACE/500m² = 0.37	4	4
	LIGHT INDUST.: 4638m² @ 1 SPACE/1500m² = 3.092		
VEHICLE PARKING SPACE SIZE PROVISIONS		2.6m x 5.2m	2.6m x 5.2m
MIN. AISLE WIDTH		6.7m	6.7m
MIN. # BICYCLE PARKING SPACES		1 PER 1500 m² GFA	4



4 FOUR RING BIKE RACK
A001
SCALE: 1:20

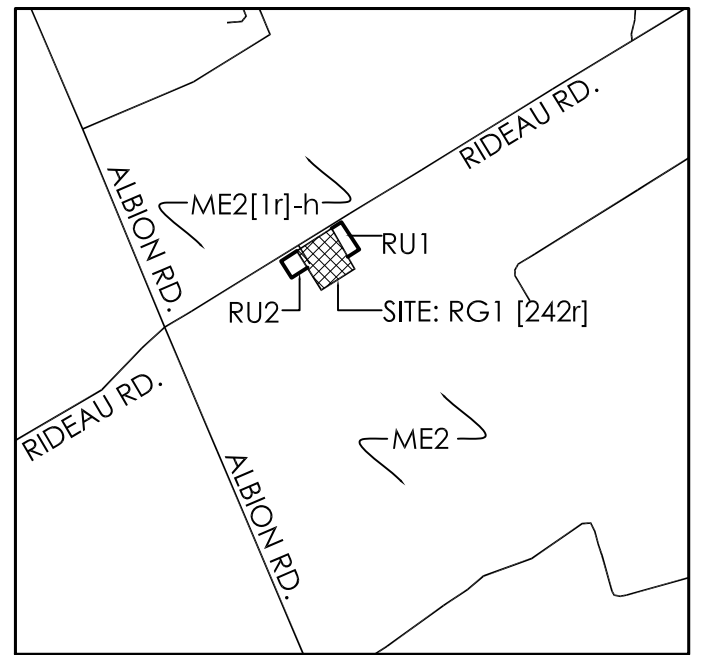


2 TYPICAL SIGNS
A001
SCALE: 1:20



1 SITE PLAN
A001
SCALE: 1:300

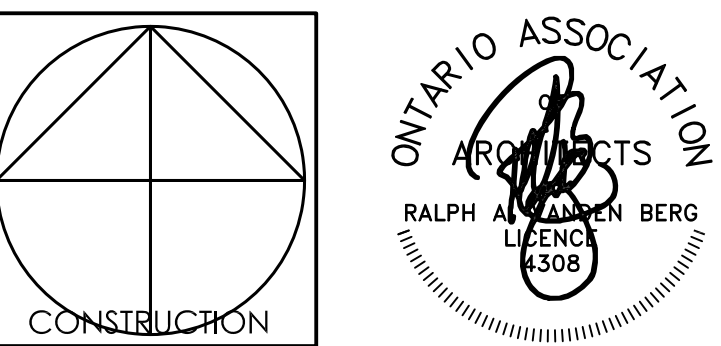
NO.	REVISION	DATE
8	ISSUED FOR COORDINATION	MAY 8/19
9	ISSUED FOR COORDINATION	MAY 17/19
10	ISSUED FOR COORDINATION	MAY 21/19
11	ISSUED FOR COORDINATION	MAY 29/19
12	ISSUED FOR SITE PLAN CONTROL APP.	MAY 31/19



PROPERTY INFORMATION:
2610 RIDEAU ROAD
PART OF LOT 26, CONCESSION 4 (RIDEAU FRONT)
PIN 043270101
CITY OF OTTAWA
REGIONAL MUNICIPALITY OF OTTAWA-CARLETON

LEGEND	
	PROPERTY LINE
	CURB: SEE 3/A001
	EXISTING FENCE
	DESIGNATED BARRIER FREE PARKING SPACE
	BARRIER FREE PARKING SIGN
	FIRE ROUTE SIGN
	BOLLARD
	DENOTES BUILDING EXIT
	UTILITY POLE
	EXISTING TREE TO BE REMOVED (REFER TO LANDSCAPE)
	NEW TREE PROPOSED (REFER TO LANDSCAPE)
	LIGHT STANDARD W/POLE BASE ('E' DENOTES EXISTING) (SEE ELECTRICAL)
	WALL SCONCE (SEE ELECTRICAL)
	FLOOD LIGHT TO ILLUMINATE SIGN

- GENERAL NOTES:
- PROPERTY BOUNDARY/GRADING INFORMATION DERIVED FROM TOPOGRAPHICAL PLAN OF SURVEY FOR PART LOT 26 CONCESSION 4R AS PREPARED BY H.A. KEN SHIPMAN SURVEYING LTD. (REF. NO. GL-498).
 - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL SERVICES AND LANDSCAPE RELATED ITEMS.
 - ALL WALKWAYS TO BE GRAVEL UNLESS NOTED OTHERWISE.
 - ALL PARKING AREAS TO BE GRAVEL UNLESS NOTED OTHERWISE.



Vandenberg & Wildeboer
A.R.C.H.I.T.E.C.T.S.

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*THE OLD STORE 120041 +160 8-ARCHITECTURE 160 077096 044040 +000000 +000000

PROJECT TITLE	LTR INDUSTRIES 2610 RIDEAU RD., GLOUCESTER, ON K1X 1A1
DRAWING TITLE	SITE PLAN
DESIGNED BY:	RV
DRAWN BY:	JN
START DATE:	FEB. 2019
SCALE:	AS SHOWN
PROJECT NO.	1802