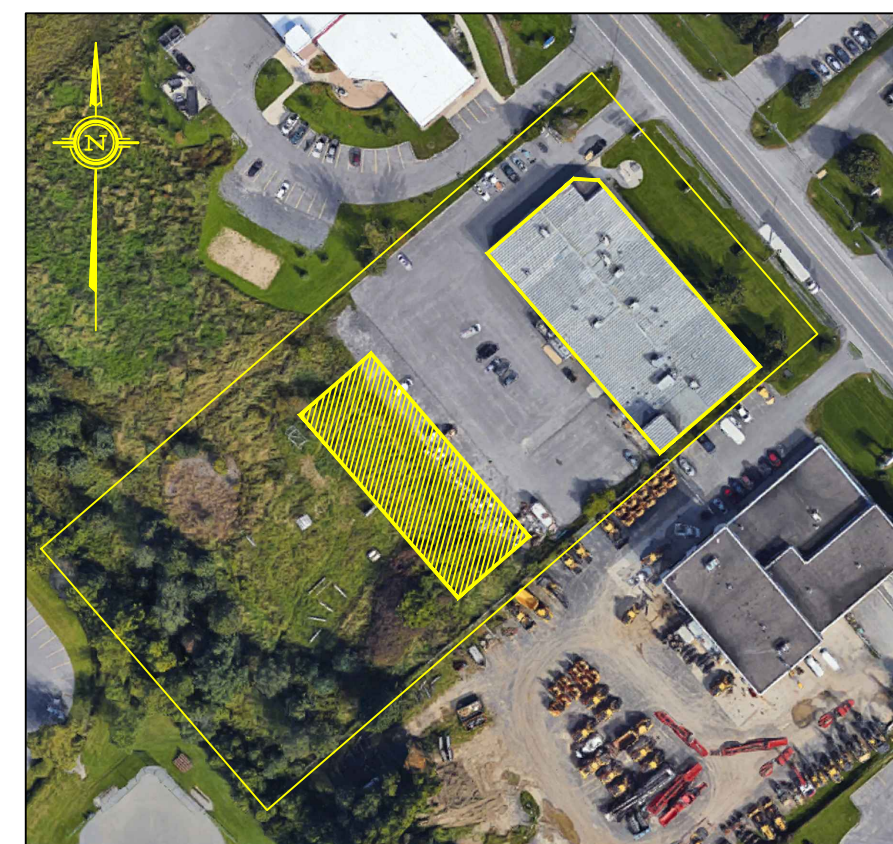
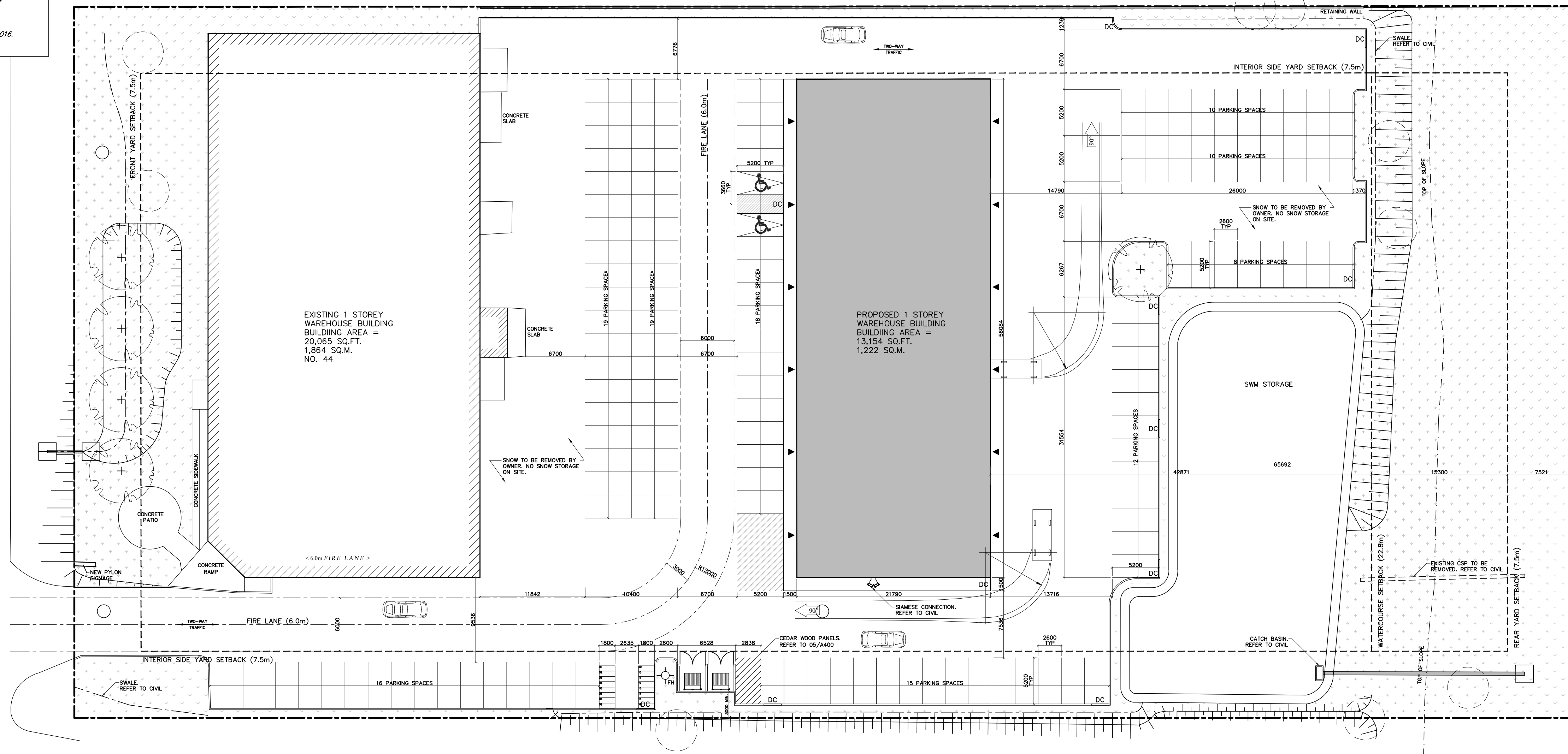


PLAN OF SURVEY OF
PART OF BLOCK 1
REGISTERED PLAN 4M-454
CITY OF OTTAWA
PREPARED BY ANNIS, O'SULLIVAN,
VOLLEBERG LTD.
COMPLETED ON SEPTEMBER 21, 2016.



KEYPLAN

Derrick Moodie

DERRICK MOODIE
MANAGER
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED

By Derrick Moodie at 11:34 am, Jun 14, 2019

01 SITE PLAN
A100 SCALE: 1:300

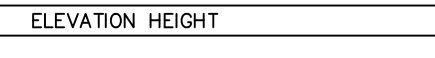
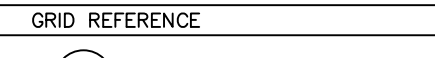
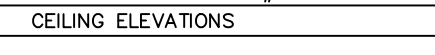
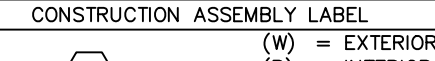
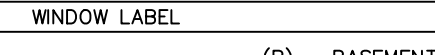
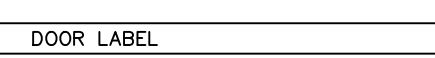
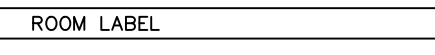
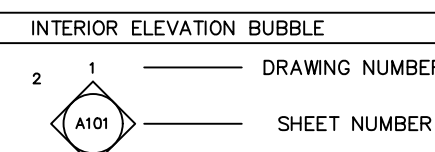
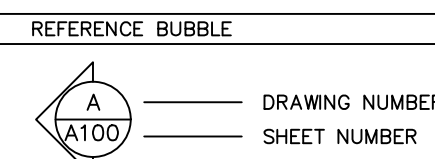
Item	Iber Commercial Complex- 44 Iber Road, Ottawa, ON	OBC Reference
1	Project Description: ☐ New ☐ Addition ☐ Change of Use ☐ Alteration 11.1 to 11.4	☐ Part 11 ☐ Part 3 1.1.2. [A] 1.1.2. [A]§9.10.1.3
2	Major Occupancy (s) Primary: D Secondary: F2	3.1.2.1. (1) 9.10.2.
3	Building Area (m²) Existing 0m² New 1,687m² Total 1,687m²	1.4.1.2. [A] 1.1.1.2. [A]
4	Gross Area (m²) Existing 0m² New 1,687m² Total 1,687m²	1.4.1.2. [A] 1.1.1.2. [A]
5	Number of Storeys Above Grade 1 Below Grade 0	1.4.1.2. [A] & 3.2.1.1. 1.1.1.2. [A] & 9.10.4.
6	Height of Building (m) +/- 5.1m	3.2.2.10. & 3.2.5. 9.10.20.
7	Number of Streets/ Fire Fighter Access 1	3.2.2.20. - .83 9.10.2.
8	Building Classification 3.2.2.53.	3.2.2.20. - .83 9.10.2.
9	Sprinkler System Proposed ☐ Entire Building ☐ Selected Compartments ☐ Selected Floor Areas ☐ Basement ☐ in lieu of roof rating ☐ Not Required	3.2.2.20. - .83 9.10.8.2. 3.2.2.17. INDEX INDEX
10	Standpipe Required ☐ Yes ☒ No	3.2.9. N/A
11	Fire Alarm Required ☐ Yes ☒ No	3.2.4. 9.10.18.
12	Water Service/ Supply is adequate ☒ Yes ☐ No	3.2.5.7. N/A
13	High Building ☐ Yes ☒ No	3.2.6. N/A
14	Permitted Construction ☒ Combustible ☒ Non-Combustible Actual Construction ☐ Combustible ☒ Non-Combustible	3.2.2.20. - .83 9.10.6.
15	Mezzanine(s) Area (m²) N/A	3.2.1.1. (3)-(8) 9.10.4.1.
16	Occupant load based on ☐ m²/person ☒ Design of building Basement: Occupancy N/A Load N/A Persons 1 st Floor: Occupancy Group "D" "F2" Load 90 Persons 2 nd Floor: Occupancy N/A Load N/A Persons	3.1.1.17. 9.9.1.3.
17	Barrier-free Design ☒ Yes ☐ No	3.8. 9.5.2.
18	Hazardous Substances ☐ Yes ☒ No	3.3.1.2. & 3.3.1.19 9.10.1.3. (4)
19	Required Fire Resistance Rating (FRR) (Hours) Horizontal Assemblies Fire Separation FRR (Hours) FRR of Supporting Members Listed Design No. or Description (SG-2) Fire Separation Listed Design No. or Description (SG-2) Fire Separation	3.2.2.20. .83 & 3.2.1.4. 9.10.9. 3.2.3. 9.10.14.
20	Spatial Separation Wall Area of EBF (m²) L.D. (m) L/H or H/L Permitted Max % of openings FRR (Hours) Listed Design or Description Construction Comb. NonComb. Comb. NonComb.	3.2.3. 9.10.14.

- CONSTRUCTION NOTES.**
1. PROVIDE SOILS REPORT TO INSPECTOR AT TIME OF INSPECTION STATED MIN. BEARING CAPACITY 75 KPA.
 2. STRUCTURAL INFORMATION INCLUDED IN ASSEMBLY & CONSTRUCTION NOTES ARE SUPERSEDED BY STRUCTURAL NOTES. REFER TO STRUCTURAL NOTES, FOOTING SCHEDULES & DETAILS FOR CONCRETE WALL, FOOTING REINFORCING.
 3. JOISTS TO BE DESIGNED BY SUPPLIER. JOIST SUPPLIER TO PROVIDE SHOP DRAWINGS INDICATING LAYOUT AND SPACING.
 4. FILL BEAM POCKET CAVITIES AT TOP OF FOUNDATION WALL WITH NON-SHRINK GROUT.
 5. REFER TO DRAWINGS FOR THICKNESS OF POURED CONCRETE FOUNDATION WALLS.
 6. PROVIDE BRICK OR STONE TIES & WEEP VENT HOLES AS PER OBC 9.20.13.
 7. PROVIDE FILTER CLOTH OVER WEEPING TILE.
 8. PROVIDE CEMENT PARGING TO 8" BELOW GRADE ALL EXPOSED CONCRETE FOUNDATION WALLS.
 9. PROVIDE TYPE 5 ROLL ROOFING ISOLATION MEMBRANE BETWEEN CONCRETE BELOW GRADE & WOOD FRAMING OR BATT INSULATION.
 10. INTERIOR WOOD FRAMED WALLS USE 2"x4" @16" OC, UNLESS NOTED OTHERWISE.
 11. EXTERIOR WOOD FRAMED WALLS USE 2"x6" @16" OC, UNLESS NOTED OTHERWISE.
 12. TAPE & SEAL ALL JOINTS IN TYVEK AIR / MOISTURE BARRIER, PROVIDE AIR SEAL TO ALL OPENINGS IN ACCORDANCE WITH DETAILS 2/4203.
 13. LAP & SEAL ALL JOINTS IN POLYETHYLENE VAPOUR BARRIER.
 14. ALL GYPSUM BOARD WALLS & CEILINGS TO BE TAPED & SANDED FOR PAINT OR SPECIFIED INTERIOR FINISH. PIECEMEAL OF GYPSUM BOARD SHEETS IS NOT ACCEPTABLE.
 15. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS, WASHROOM, CEILINGS & WASHROOM WALLS. CEMENT BOARD TO BE USED ON ALL TUB DECKS & SHOWER ENCLOSURES.
 16. PROVIDE 5/8" PLYWOOD UNDERLAY WITH 1/8" GAPS WHERE CERAMIC TILE IS TO BE INSTALLED AS PER OBC.
 17. CERAMIC TILE ON ALL TUB AREAS WALLS TO UNDERSIDE OF BULKHEAD.
 18. ALL TOILETS MUST HAVE A MAXIMUM 6 LITRES / FLUSH CAPACITY.
 19. ALL BATHROOM / POWDER ROOM EXHAUST FANS MUST VENT TO EXTERIOR.
 20. BACKING TO BE PROVIDED FOR ALL MILLWORK, WASHROOM ACCESSORIES, HAND RAILINGS, ETC. & TO BE COORDINATED ON SITE.
 21. PROVIDE ALL CLOSETS WITH MIN. ONE (1) FULL WIDTH SHELF 12" DEEP & ONE (1) FULL WIDTH ROD.
 22. ALL ATTIC ACCESS HATCHES MUST BE INSULATED.
 23. DRYER VENT MUST EXHAUST TO EXTERIOR.
 24. ALL INTERIOR GUARDRAILS MUST BE MIN. 42" HIGH.
 25. ALL STAIR HANDRAILS MUST BE MINIMUM 3'-0" & MAXIMUM 3'-2" ABOVE THE STAIR.
 26. ALL PENETRATIONS THROUGH FRATERATED WALLS (PARTY WALLS, CORRIDOR WALLS, ETC) MUST BE SEALED TIGHT WITH A COMBINATION OF JOINT COMPOUND AND FIRE CAULK, TO ENSURE A CONTINUOUS FIRE RATING.
 27. THICKEN WALLS AS REQUIRED TO ACCOMMODATE ELECTRICAL PANELS & MECHANICAL ITEMS. CONTRACTOR TO CONFIRM CODE COMPLIANCE WITH ARCHITECT BEFORE SITE WORK BEGINS.
 28. FOR ASSEMBLIES REQUIRING TO CONFORM TO A LISTED ULC/UL RATING, ALL MATERIAL SHALL BE LABELED WITH ULC/UL IDENTIFICATION.
 29. ALL ELECTRICAL SWITCHES ARE TO BE LOCATED BETWEEN 4"-8" FROM THE ENTRANCE DOOR TO A ROOM. LOCATE STUDS TO ACCOMMODATE THE LOCATION OF SWITCHES SHOWN ON DRAWINGS AND SUIT THE APPROVED SUITE WORK-UP.
 30. PROVIDE SCUPPERS AT EDGES OF ROOF WHERE OVER FLOW CONTROL ROOF DRAINS ARE SPECIFIED. CONFIRM LOCATIONS WITH ARCHITECT.
 31. ALL FIRE DAMPER INSTALLATION TO BE PER MANUFACTURER INSTRUCTIONS - HVAC CONTRACTOR TO COORDINATE ON SITE WITH DRYWALL/FRAMING CONTRACTOR TO ENSURE INSTALLATION INSTRUCTIONS ARE FOLLOWED EXACTLY.
 32. ANY WASHROOM WALLS ADJACENT TO LIVING SPACES/PUBLIC AREAS ARE TO HAVE SOUND ATTENUATING BATT INSULATION - ULC APPROVED- IN THE STUD CAVITIES (TO FILL CAVITY).
 33. ALL GYPSUM BOARD IS TO EXTEND TO FULL HEIGHT OF PARTITION U.L.O.

SHEET INDEX:

- A100 - SITE PLAN & NOTES
- A101 - DEMOLITION SITE PLAN
- S100 - STRUCTURAL NOTES
- A200 - FLOOR PLANS
- A201 - ROOF PLAN, BUILDING ASSEMBLIES, WINDOW & DOOR SCHEDULE & WINDOW DETAILS
- A400 - ELEVATIONS
- A500 - BUILDING SECTIONS & WALL SECTION
- A501 - SECTION DETAILS

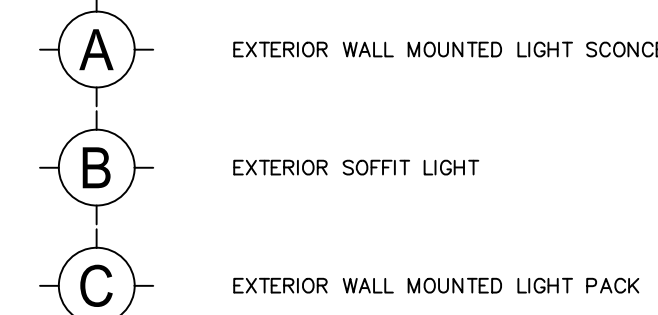
DRAWING SYMBOLS



- LIST OF ABBREVIATIONS**
- | | |
|-------|--|
| ACT | ACOUSTIC CEILING TILE |
| AFT | ABOVE FINISHED FLOOR |
| ALUM | ALUMINUM |
| ARCH | ARCHITECTURAL |
| ASSY | ASSEMBLY |
| BD | BUILDING GRADE |
| BLDG | BUILDING |
| BS | BUTCH BASIN |
| CL | CATCH BASIN |
| CC | CENTRE TO CENTRE |
| CL | CONTROL JOINT |
| CL | CENTRE LINE |
| CLG | CEILING |
| CLR | CLEAR |
| COL | COLUMN |
| CR | CARPET |
| CPT | CARD READER |
| CR | CERAMIC TILE |
| CO | CURTAIN WALL |
| DM | DIMENSIONS |
| DO | HANDICAP DOOR OPERATOR |
| EL | ELEVATION |
| ELECT | ELECTRICAL |
| ELEV | ELEVATOR |
| EPS | EXTERIOR INSULATION FINISH SYSTEM |
| EP | ELECTRICAL PANEL |
| EQ | EQUAL |
| ES | EMERGENCY SCUPPER |
| EXP | EXISTING |
| EXT | EXTERIOR |
| FA | FIRE ALARM |
| FDC | FLOOR DRAIN |
| FEC | FIRE EXTINGUISHER CABINET |
| FD | FIRE HOSE CABINET |
| FIN | FINISH |
| FIR | FLOOR |
| FRR | FIRE RESISTANCE RATED GLASS OR GLAZING |
| GB | GRAB BAR |
| GYP | GYPSUM WALLBOARD |
| HM | HOLLOW METAL |
| HWT | HOT WATER TANK |
| INT | INTERIOR |
| JO | JOINT |
| LT | LISTED |
| MAX | MAXIMUM |
| MECH | MECHANICAL |
| MC | MEDICINE CABINET |
| MIN | MINIMUM |
| NBC | NATIONAL BUILDING CODE |
| NO | NUMBER |
| NOT | NOT TO SCALE |
| OC | ON CENTRE |
| OVER | OVERHEAD |
| PAINT | PAINT |
| PLAM | PLASTIC LAMINATE |
| PSE | PRESSED STEEL FRAME |
| PVC | POLY VINYL CHLORIDE |
| RCP | REFLECTIVE CEILING PLAN |
| ROD | ROOF DRAIN |
| REIN | REINFORCED |
| RFL | REQUIRED |
| RWL | RAIN WATER LEADER |
| SH | SHOWER |
| SIM | SIMILAR |
| ST | STAINLESS STEEL |
| T/O | TOP OF |
| TYP | TYPICAL |
| U/S | UNDERSIDE |
| VCT | VINYL COMPOSITION TILE |
| VEST | VESTIBULE |
| WC | WATER CLOSET |

ZONING		
EXISTING ZONING	IL [1559] LIGHT INDUSTRIAL	
	REQUIRED	PROPOSED
MIN. FRONT YARD SETBACK	7.5m	15.0m
MIN. REAR YARD SETBACK	7.5m	65.7m
MIN. INTERIOR YARD SETBACK	7.5m	8.2m
MAX. BUILDING HEIGHT	18.0m	±8.7m
MIN. LOT AREA	2,000m²	13,507m²
MAX. LOT COVERAGE	65%	26%
MAX. FLOOR SPACE INDEX	2	1
MIN. WIDTH OF LANDSCAPE AREA		
ABUTTING A STREET	3m	15m
ALL OTHER CASES	NA	-
MIN. LOT WIDTH	NA	80m

LEGEND



UNIT PAVES - TYPE 1
REFER TO LANDSCAPE PLAN

BUILDING AREA	EXISTING	PROPOSED
BASEMENT	NA	NA
GROUND FLOOR	1,864m²	1,222m²
SECOND FLOOR	NA	NA

AUTOMOBILE PARKING SUMMARY			
REQUIRED PARKING			
OFFICE UNITS	2.4 PARKING SPACES PER 100m2 EXISTING = $(1,864/100) \times 2.4 = 44.7$ (45) PROPOSED = $(1,222/100) \times 2.4 = 29.3$ (29)		
TOTAL	= 74 REQUIRED PARKING SPACES		
PROVIDED PARKING			
		UNDERGROUND	ABOVE GROUND
REGULAR SPACES	MIN. 2.6m x 5.2m	—	125
REDUCED SIZE SPACES	MIN. 2.4m x 4.6m	—	—
HANDICAP SPACES	MIN. 2.6m x 5.2m	—	2
TOTAL	= 127 PROVIDED PARKING SPACES		

BICYCLE PARKING SUMMARY

REQUIRED PARKING			
OFFICE UNITS	1 SPACE PER 250m2 EXISTING = 1,864/250 = 7.4 (7) PROPOSED = 1,222/250 = 4.8 (5)		
TOTAL	= 12 REQUIRED BICYCLE SPACES		
PROVIDED PARKING			
		UNDERGROUND	ABOVE GROUND
HORIZONTAL SPACES	MIN. 0.6m x 1.8m	-	16
VERTICAL SPACES	MIN. 0.5m x 1.5m	-	-
TOTAL	= 16		

OFFICE UNIT COUNT	EXISTING	PROPOSED
BASEMENT FLOOR	NA	NA
GROUND FLOOR	3 UNITS	6 UNITS
SECOND FLOOR	NA	NA
TOTAL	9 UNITS**	

NOTES:

1. ALL REPRESENTATIONS ARE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
2. ADDITIONAL CHANGES MAY BE ISSUED FOR CLARIFICATION, PROVIDED THE CHANGES DO NOT AFFECT THE INTENT OF THE ORIGINAL DRAWINGS.
3. ALL CHANGES MUST BE APPROVED BY THE ARCHITECT.
4. ALL CHANGES MUST BE APPROVED BY THE ARCHITECT.
5. ALL CHANGES MUST BE APPROVED BY THE ARCHITECT.

FIRE RESISTANCE RATING LEGEND:

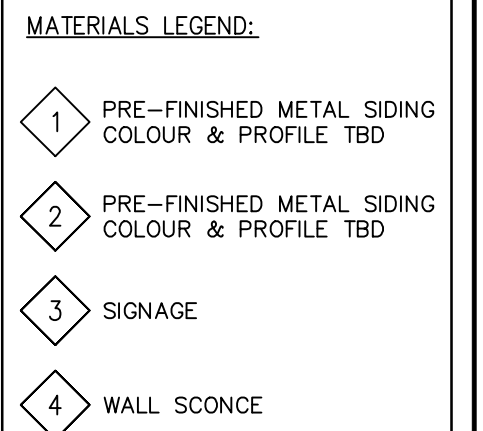
AS	AS - FIRE RESISTANCE RATING
AS	AS - FIRE RESISTANCE RATING
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04	2018-11-19	RE-ISSUED FOR SPC
03	2018-07-20	RE-ISSUED FOR SPC
02	2018-02-23	RE-ISSUED FOR SPC
01	2017-07-04	ISSUED FOR SITE PLAN CONTROL

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DATE	2019-09-20	DESIGNED BY	S.J.L.
DATE	2019-09-20	CHECKED BY	S.J.L.
DATE	2019-09-20	APPROVED BY	S.J.L.

PROJECT NUMBER: SE - 008 - 16



01 FRONT [NORTH] ELEVATION
A400 SCALE: 1:100

02 REAR [SOUTH] ELEVATION
A400 SCALE: 1:100


DERRICK MOODIE
MANAGER
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Derrick Moodie at 11:35 am, Jun 14, 2019

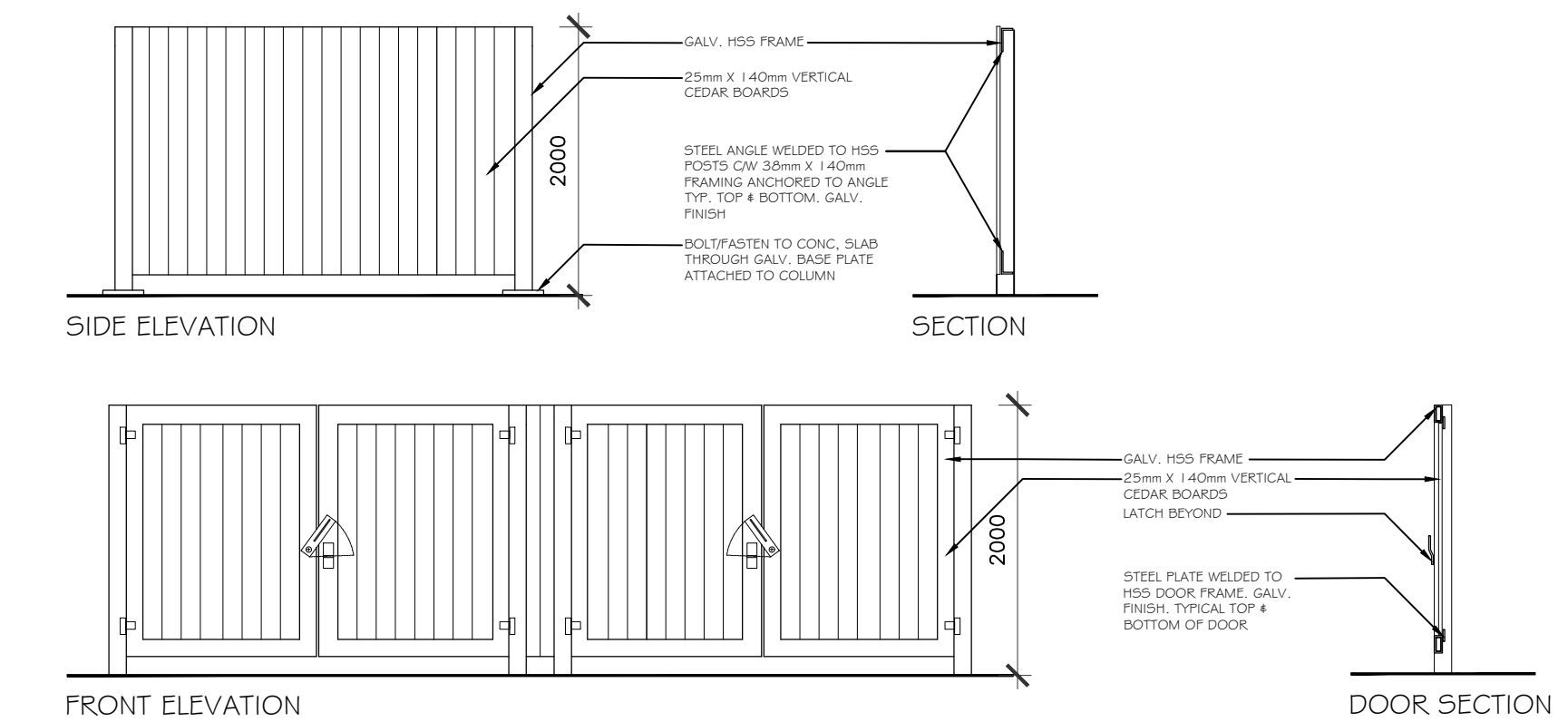
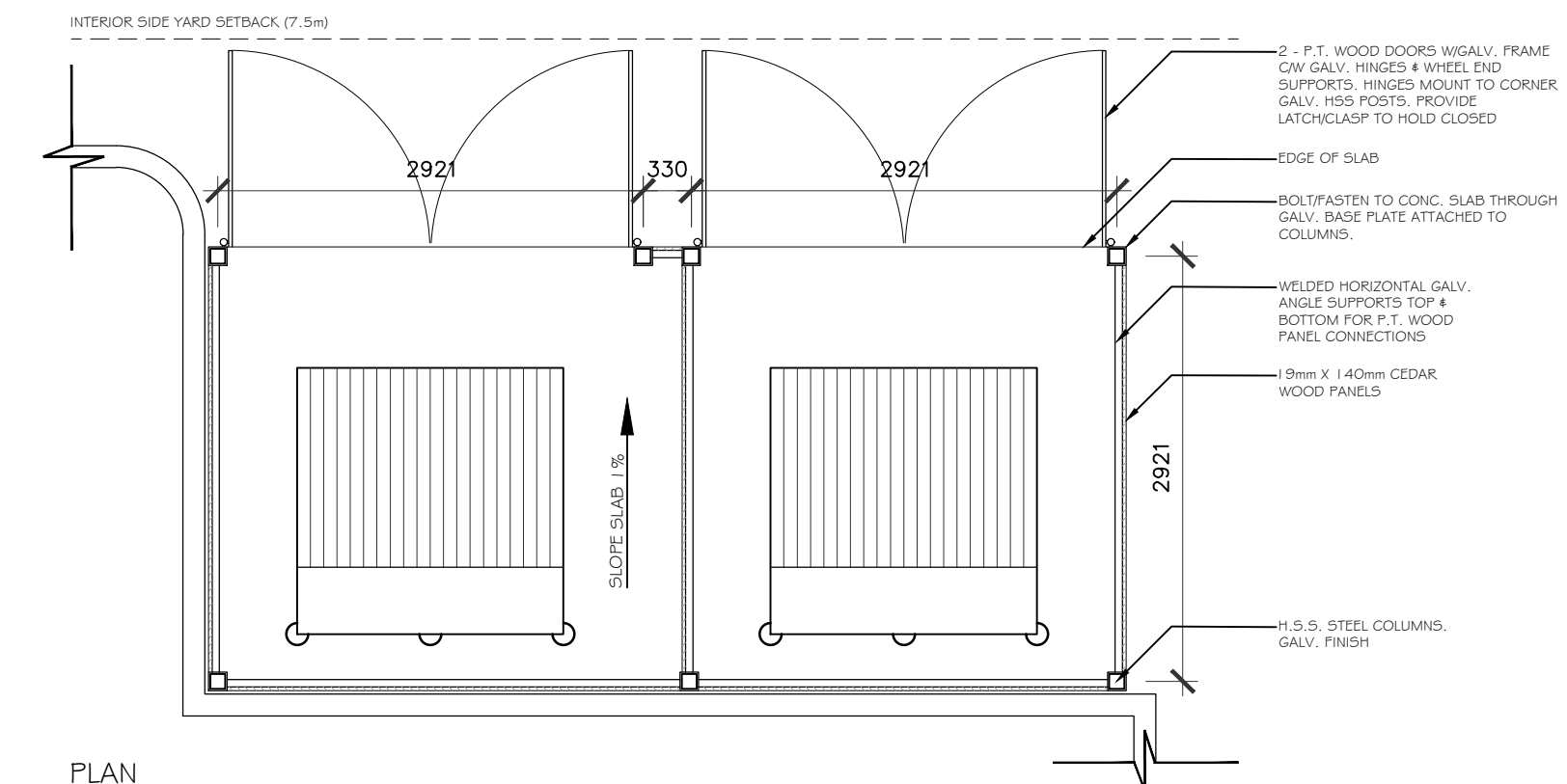
03 SIDE [WEST] ELEVATION
A400 SCALE: 1:100

04 SIDE [EAST] ELEVATION
A400 SCALE: 1:100

GLASS NOTES:

F.I.R.-FIRE RATED GLASS
"TIGULITE" BY TECHNICAL GLASS PRODUCT
STANDARD GRADE
TO CSH STANDARDS
(DESIGNED FOR 45min CLOSER)
SP- INSULATED SPANDREL PANEL
ONE GLAZING
OLC GEORGIAN WIRE GLASS
6mm THICK
TO: TIERED GLASS
CT: CLEAR TEMPLATED GLASS
6mm THICK
FIXED GLASS
THERMAL PANEL
DOUBLE GLAZED

+ ALL ALUMINUM FRAMES TO BE WHITE ANODIZED, UNOIL
+ EXTERIOR FRAMES & DOORS TO BE INSULATED
+ ALL EXTERIOR GLAZING UNITS TO BE CLEAR, DOUBLE
GLAZING WITH LOW "E" RATIO
+ ALL ZING & ULC RATED DOORS & FRAMES TO BE
GEORGIAN WIRE GLASS, U.S.G.O.



05 GARBAGE ENCLOSURE
A400 SCALE: 1:50

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03	2018-11-19	RE-ISSUED FOR SPC
02	2018-07-20	RE-ISSUED FOR SPC
01	2018-02-23	RE-ISSUED FOR SPC
00	2017-07-04	ISSUED FOR SITE PLAN CONTROL
No	DATE	REVISION



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DESIGNED BY: <i>B.L.</i>	DESIGNED BY: <i>S.L.L.</i>
DATE: <i>2016-09-29</i>	CHECKED BY: <i>S.L.L.</i>
SCALE: <i>AS NOTED</i>	PLOT DATE: <i>2018-11-19</i>

IBER COMMERCIAL
COMPLEX
46 IBER ROAD,
OTTAWA, ON.

JOB NUMBER: SL - 828 - 16

ELEVATIONS

A400