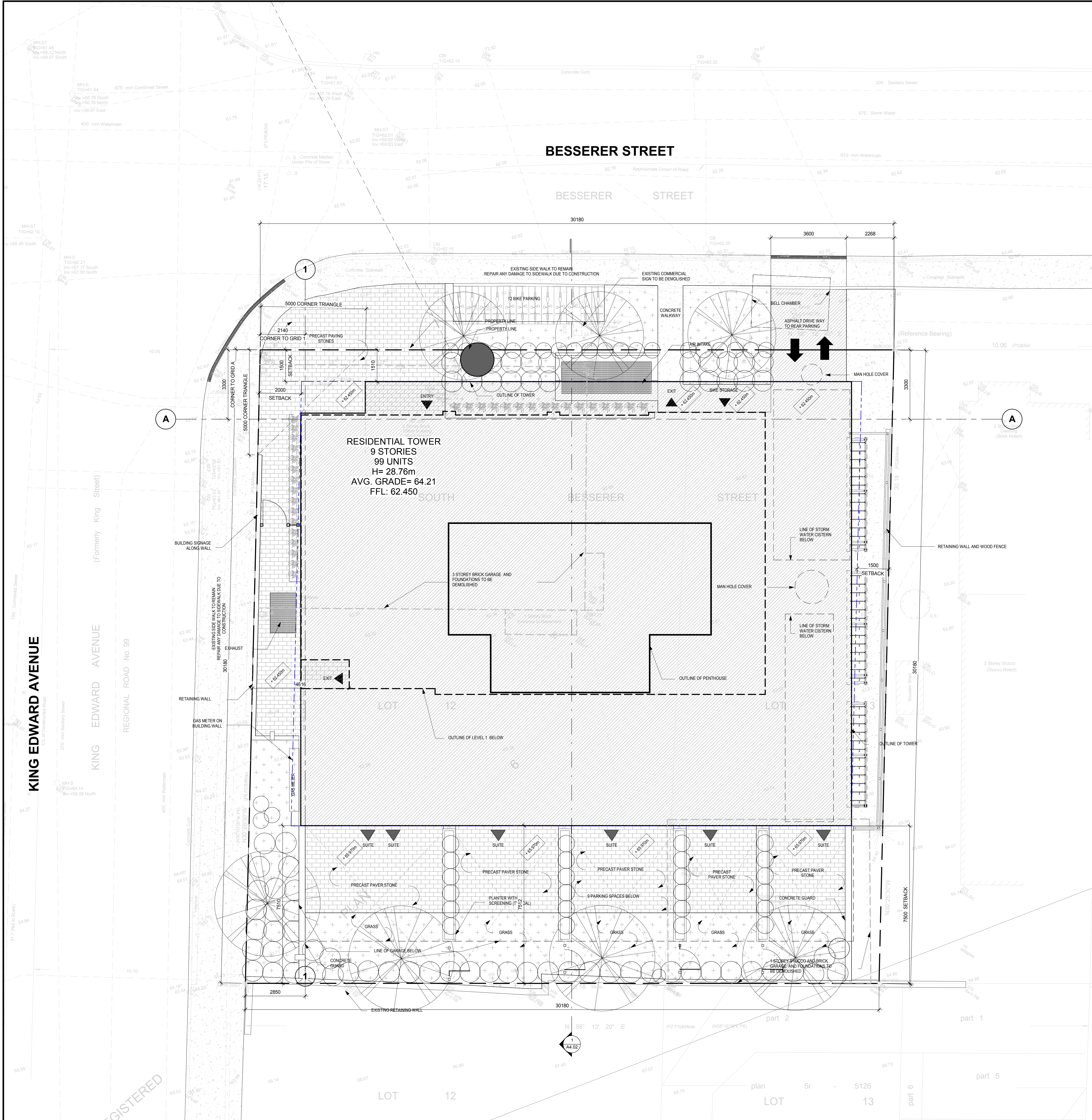




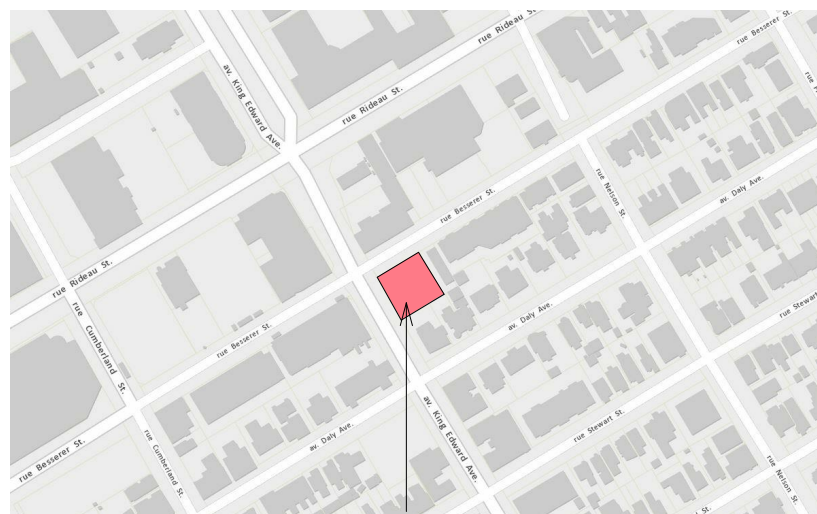
SITE DATA

LEGAL DESCRIPTION:
PLAN 6, LOT 12
CITY OF OTTAWA

CIVIL ADDRESS:
250 BESSERER STREET

ZONING NOTES:

OFFICIAL PLAN DESIGNATION: RESIDENTIAL FIFTH DENSITY ZONE
CURRENT ZONING: R5B (453) H19
ADJACENT ZONING: SOUTH: RHT
WEST: R5B (1680) S70
NORTH: TMB (158) R5B (5) H19
EAST: R5B (453) H21



SITE

SURVEY DATA

BOUNDARY INFORMATION FROM ANNIS, O'SULLIVAN, VOLLEBEK LTD.
SURVEY: 1705-15, MARCH 27, 2015.
PLEASE REFER TO LANDSCAPE PLAN FOR PAVING, PLANTING, AND SITE LIGHTING INFO.
PLEASE REFER TO SITE SERVICING AND GRADING PLAN FOR GRADING INFORMATION

ZONING DATA

ZONING TABLE		
Current Zoning	R5B(453) H19	
Site Area	910.8 m ²	
Dwelling Units	32 Dwelling Units	
Lot Area	875 m ²	2103 m ²
Lot Frontage	No minimum	1.5m
Minimum Lot Width	22.5m	32.3m
Setbacks	Front Yard: 3m Corner Side Yard: 3m Interior Side Yard: Within 21m of the front lot line: 1.5m Further than 21m from the front lot line: 6m Rearyard: 7.5m	Front Yard (Besserer): 1.5m Corner Side Yard (King Edward): 2m Interior Side Yard (East): 1.5m Rearyard: 7.5m
Maximum Building Height	10m	28.76m from average grade of 64.21m
Amenity Area	Total of 6m ² per dwelling unit; 194m ² of which 50% is required to be communal	Private Amenity Space Private Terrace: 194m ² Common Amenity Space Groundfloor Amenity: 116m ² Exterior rooftop amenity: 264m ² Total Amenity Area: 594m ²
Percentage of Site Landscaping	30% of Site to be landscaped	Site Area = 910.8 m ² Grade = 180 m ² Private Terrace = 194 m ² Total = 474 m ² (48% of site) Total Provided: 9 spaces
Parking	Minimum Required: Residential: (99-12) x 5 = 44 spaces Residential Visitor: (99-12 x .1) = 9 spaces Maximum: 30 spaces	Provided: 0 spaces Provided: 9 spaces
Bicycle Parking Requirements	Minimum Required: Residential: 0.5/dwelling unit	Total Bicycle Parking: 105 spaces Outdoor: 88 spaces Indoor: 17 spaces City Property: 12 spaces Total: 117 spaces (127 spaces on City property)

UNIT MIX DATA

	BACH	1BD	1+DEN	2 BED	2+DEN / 3 BED	Guest Suite	
GROUND							0
LEVEL 1	2	7		2			11
LEVEL 2	2	7		2			11
LEVEL 3	2	7		2			11
LEVEL 4	2	7		2			11
LEVEL 5	2	7		2			11
LEVEL 6	2	7		2			11
LEVEL 7	2	7		2			11
LEVEL 8	2	7		2			11
LEVEL 9	2	7		2			11
TOTAL	18	63	0	18	0	0	99

Gross Building Area - per OBC Definition
Total area of all floors above grade taken to the exterior face of the exterior wall.
Excluding: Exits, vertical service spaces and their enclosing assemblies

Level 1 507 sq.m.
Level 2-9 4056 sq.m.
Roof Top 51.4 sq.m.
Total: 4614.4 sq.m.

GFA - per City Definition:
Gross floor area means total area of each floor, above and below grade, measure to interior of exterior walls. Including floor area occupied by interior walls.
Excluding: Mechanical, electrical, common hallways, corridors, stairwells, shafts, voids, bike parking, car parking, common laundry, storage, common washrooms, amenity or play areas and living quarters for a caretaker of the building

Basement Level 1 0 sq.m.
Groundfloor 0 sq.m.
Level 1 420.5 sq.m.
Level 2-9 3436 sq.m.
Roof Top 0 sq.m.
Total: 3856.5 sq.m.

Overall GFA
Overall Gross floor area means total area of each floor, above and below grade, measure to outside face of exterior walls.

Basement Level 1 288 sq.m.
Groundfloor 288 sq.m.
Level 1 548.8 sq.m.
Level 2-9 4384.4 sq.m.
Roof Top 83.7 sq.m.
Total: 5614.9 sq.m.

Building Foot Print
The area on a project site that is used by the building structure and is defined by the perimeter of the building plan.

Total: 701.2 sq.m.

Note: all existing site information as per site survey plan dated September 18, 2015 and prepared by STANTEC GEOMATICS Ltd. Ref No. 161613555-310

A-1197006 Issued for Site Plan Application

no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.

All contractors must comply with all

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

Hobin Architecture Incorporated

63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613-238-7200
F: 613-235-2005
E: mail@hobinarc.com
hobinarc.com



250 BESSERER STREET

250 BESSERER STREET

SITE PLAN

DRAWN: DATE: SCALE: 1:17

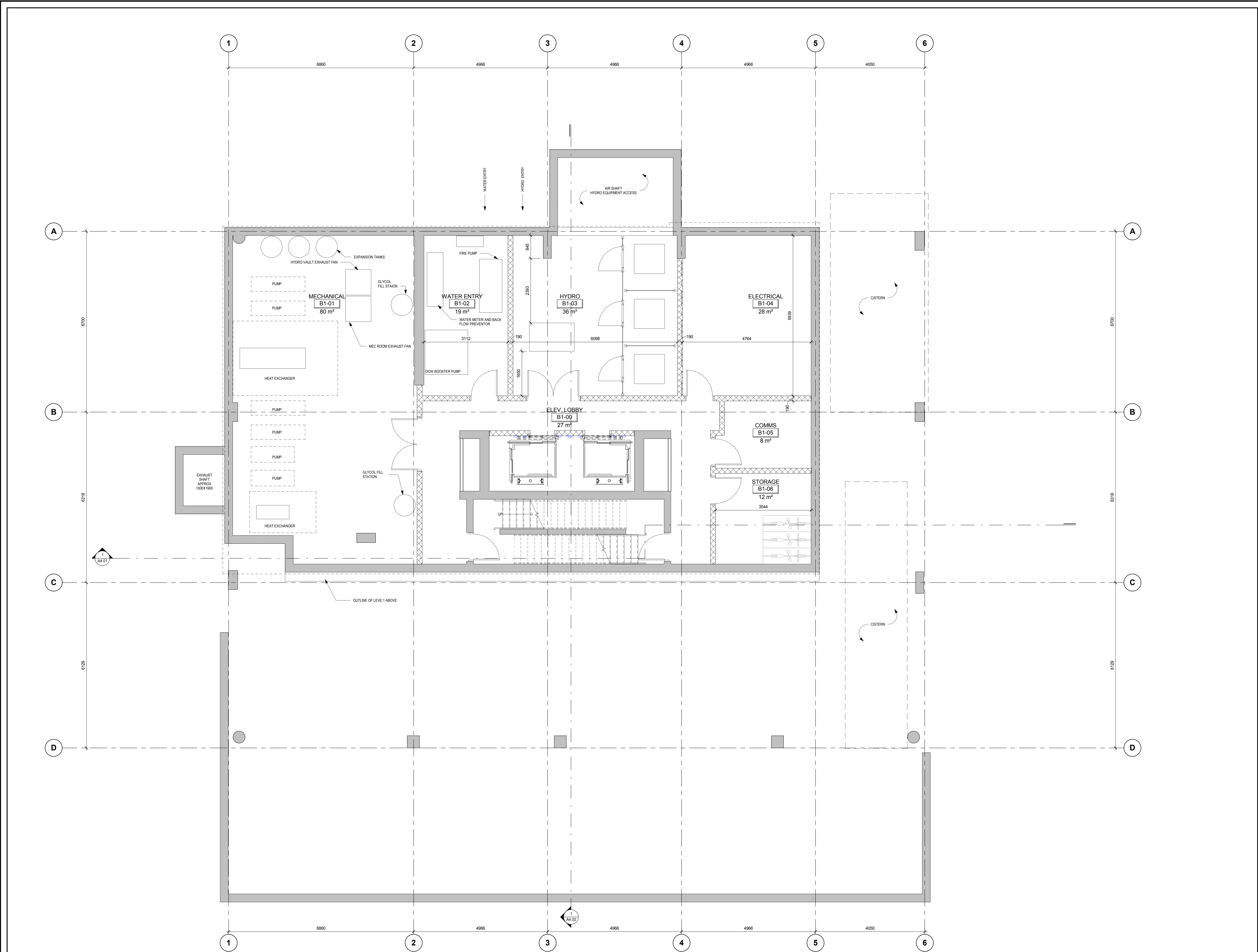
Author: 04/XX/XXXX As Indicated

PROJECT: 1917

DRAWING NO. A1.00

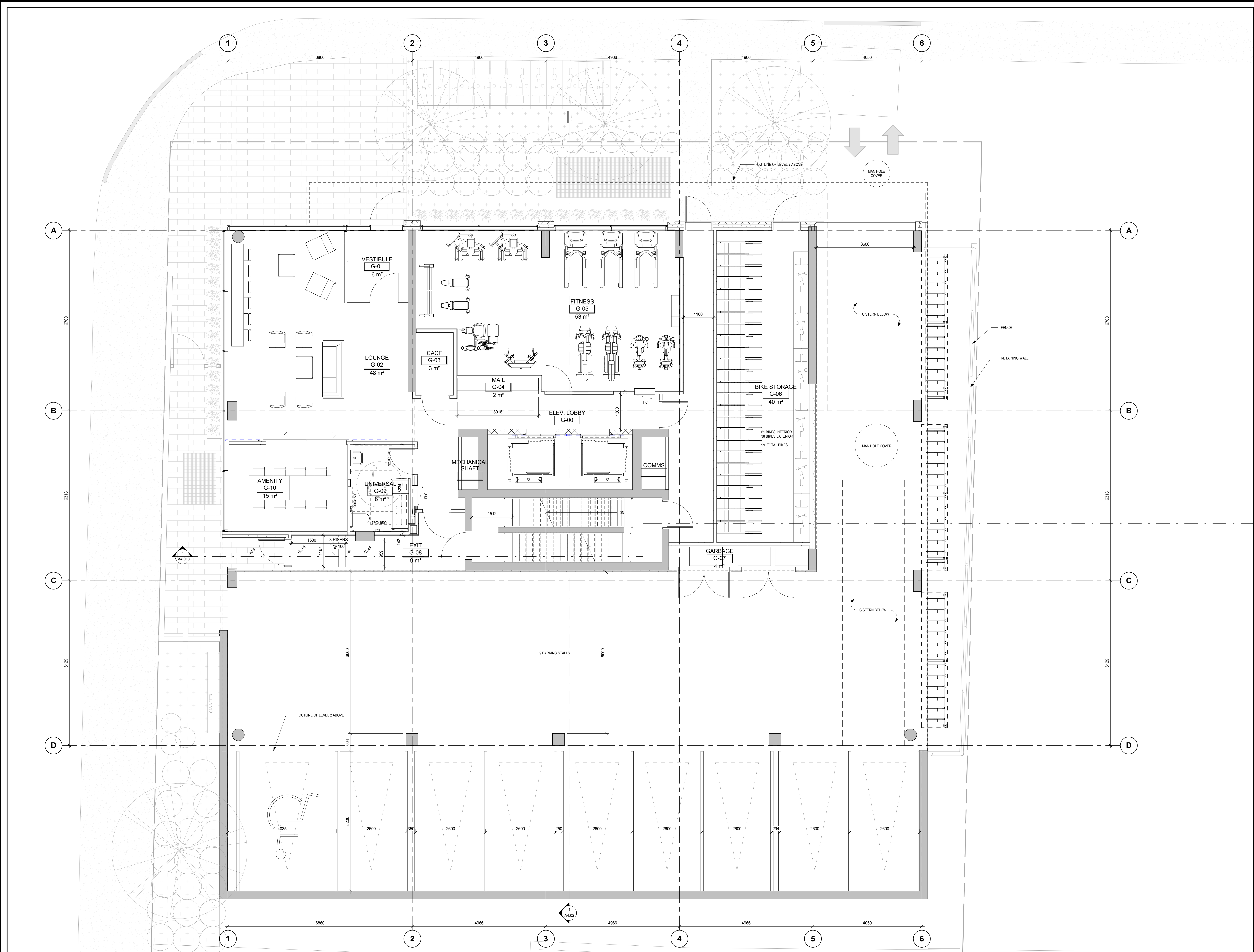
REVISION NO. A

XXXXX



1 LEVEL B1 - BASEMENT FLOOR PLAN
A2.01 SCALE: 1 : 50

A-19/05/06 Issued for Site Plan Application		
no.	date	revision
It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.		
All contractors must comply with all		
Do not scale drawings.		
This drawing may not be used for construction until signed.		
Copyright reserved.		
Hobin Architecture Incorporated 63 Pamela Street Ottawa, Ontario Canada K1S 3K7 T: 613-238-7200 F: 613-238-2005 E: mail@hobinarc.com hobinarc.com		
PROJECT 250 BESSERER STREET 250 BESSERER STREET		
DRAWING TITLE BASEMENT FLOORPLAN		
DRAWN Author	DATE XX/XX/XXXX	SCALE 1 : 50
PROJECT 1917		DRAWING NO. A2.01
REVISION NO. A		XXXXX



1 LEVEL G - GROUND FLOOR PLAN
A2.02 SCALE: 1 : 50

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.

All contractors must comply with all.

No not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

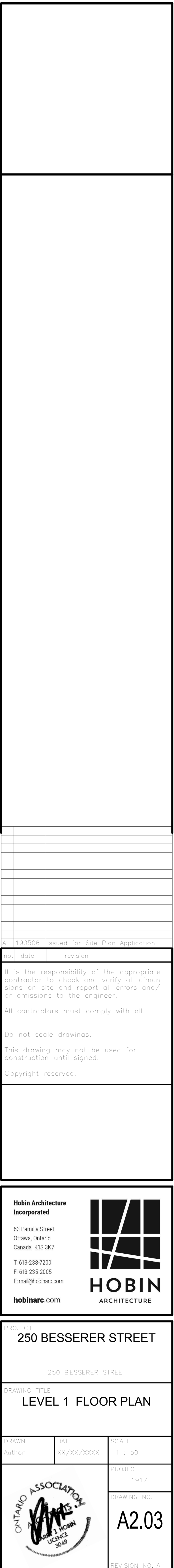
Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613-238-7200
F: 613-238-2005
E: mail@hobinarc.com
hobinarc.com

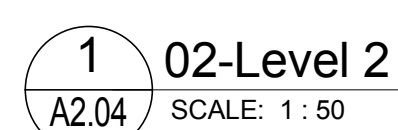
HOBIN
ARCHITECTURE

PROJECT
250 BESSERER STREET
250 BESSERER STREET

DRAWING TITLE
GROUND FLOOR PLAN

DRAWN RHS	DATE XX/XX/XXXX	SCALE 1 : 50
PROJECT 1917		DRAWING NO. A2.02
REVISION NO. A		XXXXX

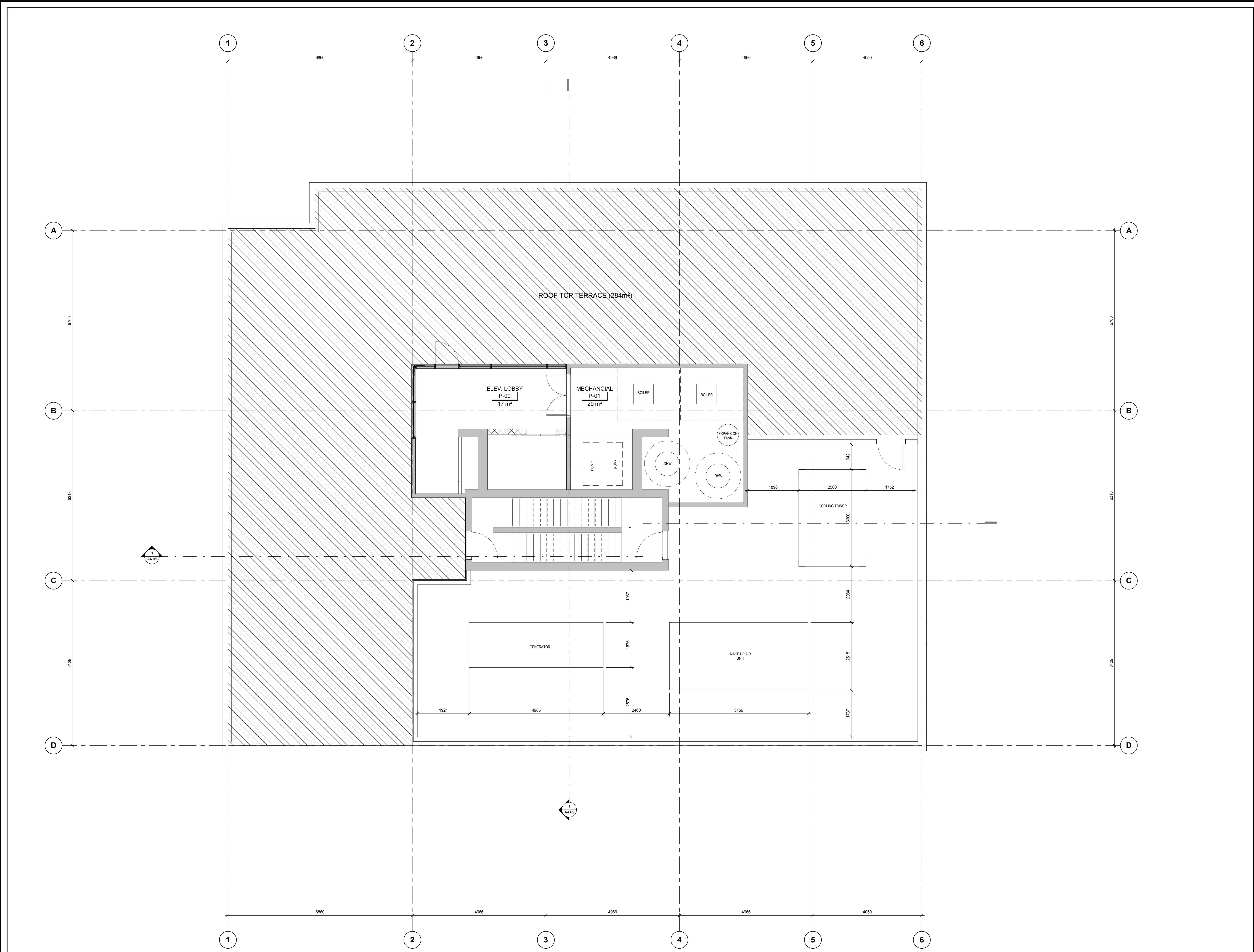




ONTARIO
ZACHARY J. MOBIN
LICENCE
3049

A2.04

REVISION NO. A



A. 19/05/06 Issued for Site Plan Application		
no.	date	revision
It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.		
All contractors must comply with all		
Do not scale drawings.		
This drawing may not be used for construction until signed.		
Copyright reserved.		

Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613-238-7200
F: 613-235-2005
E: mail@hobinarc.com
hobinarc.com



HOBIN
ARCHITECTURE

PROJECT 250 BESSERER STREET 250 BESSERER STREET		
DRAWING TITLE LEVEL 10 - PENTHOUSE PLAN		
DRAWN Author	DATE XX/XX/XXXX	SCALE 1 : 50
PROJECT 1917		DRAWING NO. A2.05
ONTARIO ASSOCIATION OF ARCHITECTS 1907		REVISION NO. A



MATERIAL TAG LEGEND

BM-1	BRICK MASONRY VENEER - TYPE 1
ALP-1	ALUMINUM PANEL - TYPE 1
SP-1	SPANDREL GLASS - REFER TO SPEC FINISH
LV	ALUMINUM LOUVER (PREFINISHED)
GL-1	GLASS - REFER TO SPECS
CSS	CURROGATED STEEL

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.

All contractors must comply with all

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613-238-7200
F: 613-235-2005
E: mail@hobinarc.com
hobinarc.com

HOBIN
ARCHITECTURE

250 BESSERER STREET

250 BESSERER STREET

ELEVATIONS

TOWN: Author DATE: XX/XX/XXXX SCALE: As Indicated

PROJECT: 1017

DRAWING NO. A3.01

REVISION NO. A

XXXXX



MATERIAL TAG LEGEND

BM-1	BRICK MASONRY VENEER - TYPE 1
ALP-1	ALUMINUM PANEL - TYPE 1
SP-1	SPANDREL GLASS - REFER TO SPEC FINISH
LV	ALUMINUM LOUVER (REFINISHED)
GL-1	GLASS - REFER TO SPECS
CSS	CURROGATED STEEL

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.

All contractors must comply with all.

This drawing may not be used for construction until signed.

Copyright reserved.

Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613-238-7200
F: 613-238-2905
E: mail@hobinarc.com
hobinarc.com

**HOBIN**
ARCHITECTURE

250 BESSERER STREET

250 BESSERER STREET

ELEVATIONS

TOWN	DATE	SCALE
Author	XX/XX/XXXX	As Indicated

PROJECT	1917
DRAWING NO.	A3.02

REVISION NO. A

XXXXX



1 BUILDING SECTION - CROSS SECTION
A4.01 SCALE: 1 : 75

Hobin Architecture
Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613-238-7200
F: 613-238-2005
E: mail@hobinarc.com
hobinarc.com



250 BESSERER STREET

250 BESSERER STREET

BUILDING SECTION

TOWN: Author DATE: XX/XX/XXXX SCALE: 1 : 75

PROJECT: 1917

DRAWING NO. A4.01

REVISION NO. A

XXXXX



1 BUILDING SECTION - LONGITUDINAL SECTION
A4.02 SCALE: 1 : 75

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.

All contractors must comply with all.

No scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613-238-7200
F: 613-238-2005
E: mail@hobinarc.com
hobinarc.com

PROJECT
250 BESSERER STREET

250 BESSERER STREET

DRAWING TITLE
BUILDING SECTION

DRAWN
Author

DATE
xx/xx/xxxx

SCALE
1 : 75

PROJECT
1917

DRAWING NO.
A4.02

REVISION NO. A