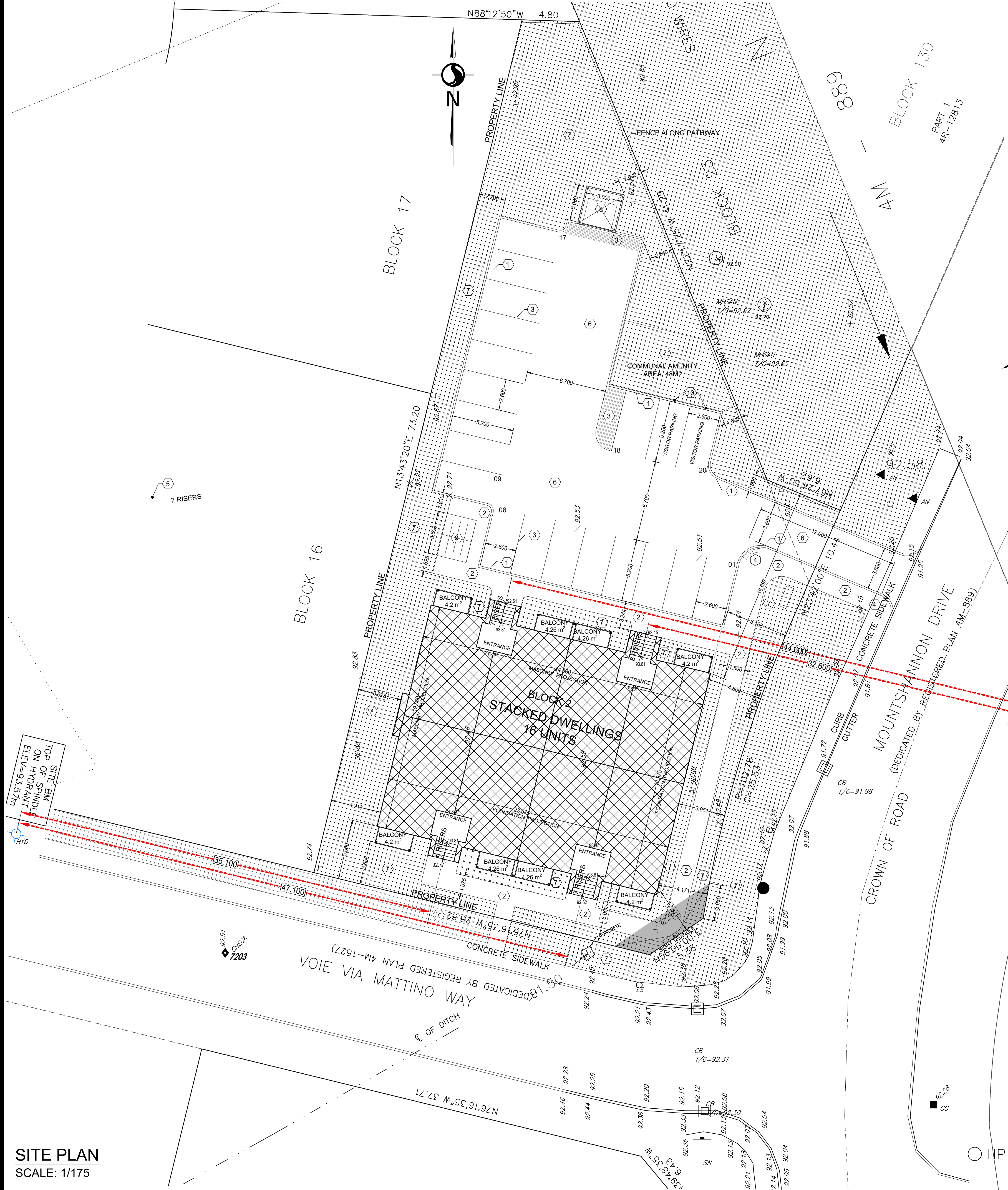




SITE PLAN
SCALE: 1/175



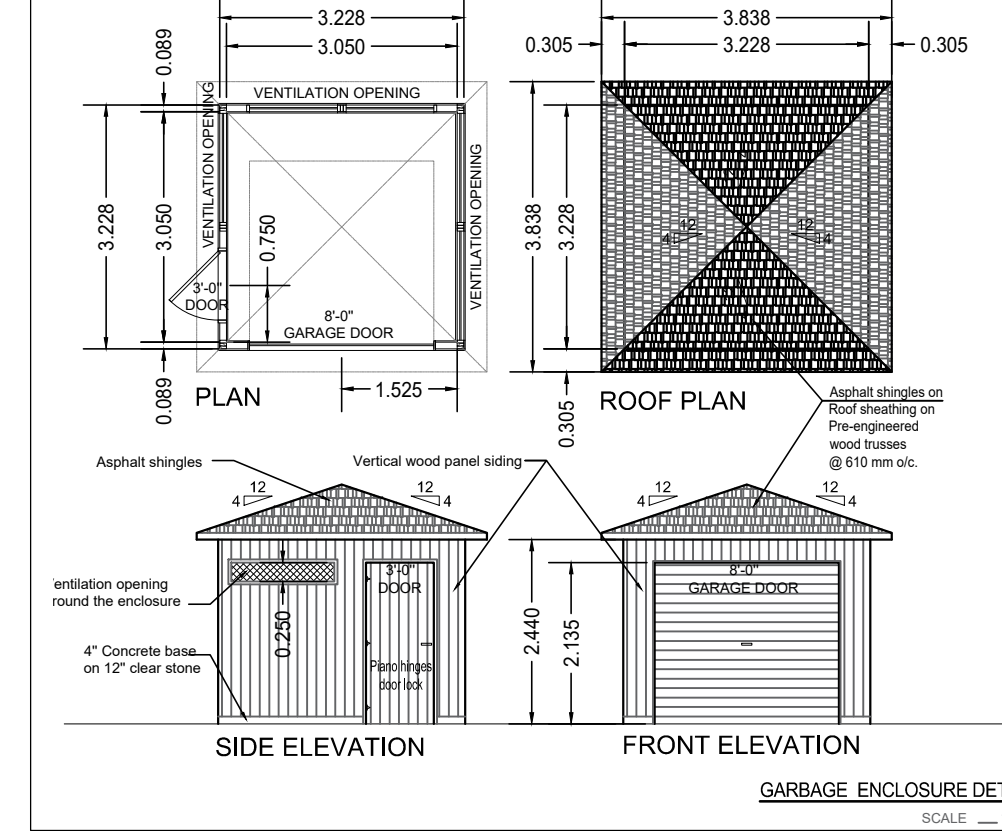
CURRENT ZONING BY LAW		
DESCRIPTION	PROPOSED	REQUIRED
LOT AREA	1894.6 m ²	660
LOT FRONTAGE	32 m	22 m
LOT DEPTH	72.7m	N/A
MAX. NUMBER OF DWELLING UNITS	16	16 R4A(2162)
FRONT SET BACK	5 m	3 m
CORNER SIDE YARD SETBACK	3.8 m	2 m
INTERIOR SIDE YARD SETBACK	3.6 m	3 m
REAR SET BACK	16.6 m	7.5 m
REAR SET SETBACK BETWEEN UNITS	0	0
BUILDING AREA	456m ²	-
GROSS FLOOR AREA	1824 m ²	-
BUILDING HEIGHT	12 m	11m
AMENITY AREA	-	0
MIN. LANDSCAPING BUFFER	3	3
PARKING SPACE	18	0.5 /UNIT-Rapid Transit
MIN. VISITOR PARKING	2	0.1 /UNIT-Rapid Transit
AMENITY AREA	48m ² +60m ²	96m ²
TOTAL PARKING LOT AREA	533 m ²	-
LANDSCAPING PROVIDE FOR THE PARKING LOTS	334.5 m ²	15% OF PARKING AREA(80 m ²)
TOTAL SOFT & HARD LANDSCAPED AREA	800 m ²	30% OF LOT AREA

GRADE SCHEDULE
AVERAGE GRADE: 92.730.
T.O.FOUNDATION: 92.880/ 100.000
T.O.FIRST FLOOR: 93.966 T.O.BASEMENT: 90.967
T.O.SECOND FLOOR: 97.109, T.O.THIRD FLOOR: 100.183.
T.O.ROOF PLATE :102.653, T.O.MID-ROOF: 104.460.

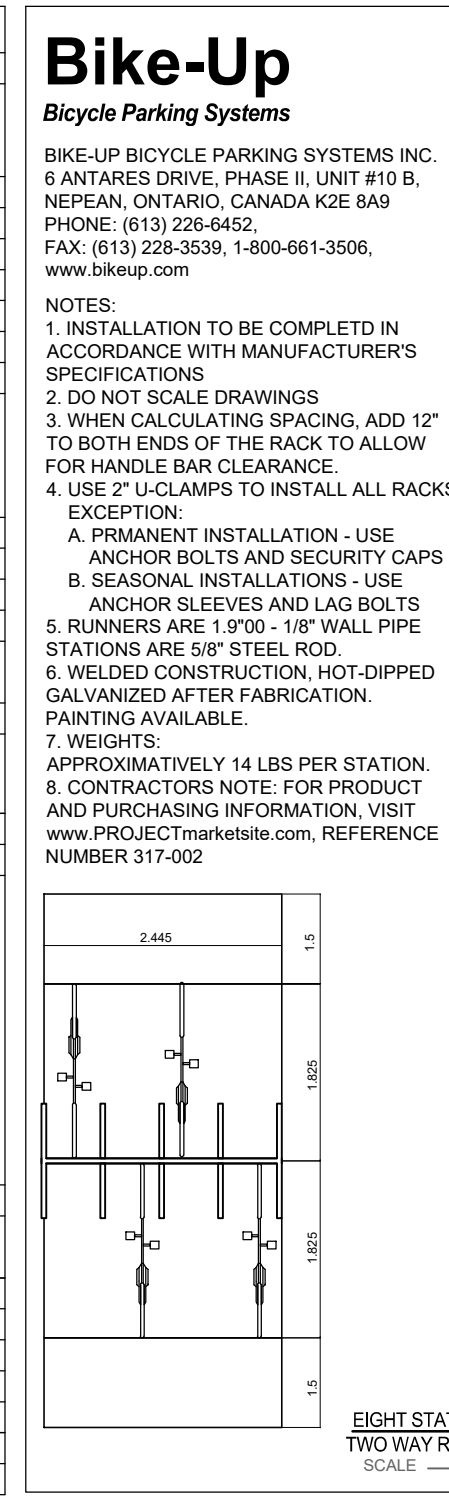
MINOR VARIANCE:
-To permit a building height of 12m whereas the zoning requirement permits up to 11m.

- BUILDING CODE ANALYSIS**
- 3 STOREYS RESEDENTIAL USE BUILDING WITH BASEMENT
 - 16 STACKED DWELLING UNITS
 - FACING 2 STREETS
 - BUILDING AREA : 456m²
 - GROSS FLOOR AREA : 1824 m²
 - USE : GROUP GROUP "C".
 - CLASSIFICATION: 9.10.8.1
 - PARTS 9 OF OBC 2012
 - COMBUSTIBLE CONSTRUCTION.
 - SECOND FLOOR FIRE SEPARATION: 3/4HR REQUIRED C/W VERTICAL STRUCTURAL COMPONENTS
 - UPPER DWELLING STAIRWAY ENTRANCE/EXIT ENCLOSURES FIRE SEPARATION: 3/4HR REQUIRED C/W VERTICAL STRUCTURAL COMPONENTS
 - FIRE RESISTANCE FOR ROOF: NOT REQUIRED
 - PLUMBING EQUIPMENTS:
 - . 1 WASH ROOM PER UNIT REQUIRED
 - . 10% NATURAL LIGHTING REQUIRED FOR LIVING ROOMS & DINNING ROOMS
 - . 5% NATURAL LIGHTING REQUIRED FOR BEDROOMS
 - . BARRIER FREE PATH OF TRAVEL NOT REQUIRED ACCORDING.

- LÉGENDE**
- 1 CONCRETE CURB
 - 2 SIDEWALK
 - 3 PAINT MARKS
 - 4 DEPRESSED SIDEWALK.
 - 5 ACCESSIBLE PARKING VERTICAL SIGNAGE
 - 6 ASPHALT
 - 7 GRASS
 - 8 TRASH ENCLOSURE, SCREENED FROM VIEW BY AN OPAQUE SCREEN WITH TWO METRES HEIGHT.
 - 9 BICYCLE PARKING SPACE ON CONCRETE SLAB SURFACE
 - 10 VISITOR PARKING VERTICAL SIGNAGE



Item	Ontario Building Code Data Matrix Parts 3 & 9				OBC Reference	
1	Project Description:	☒ New ☐ Addition ☐ Alteration ☐ Change of Use	☐ Part 10 ☐ Part 11	☐ Part 3 ☐ Part 9	2.1.1. 9.10.1.3.	
2	Major Occupancy(s):	C			3.1.2.1.(1)	9.10.2.
3	Building Area (sq.m.)	456.8 m ²			1.1.3.2.	1.1.3.2.
4	Gross Area (sq.m.)	1785.6 m ²			1.1.3.2.	1.1.3.2.
5	Number of Storeys:	Above grade 3 Below grade 1			3.2.1.1. & 1.1.3.2.	2.1.1.3.
6	Height of building (m.)	12 m				2.1.1.3.
7	Number of Streets/Access Routes:	2			3.2.2.10. & 3.2.5.5.	
8	Building Classification:	9.10.8.1.			3.2.2.20.-83.	9.10.4.
9	Sprinkler System Proposed:	☐ Entire building ☐ Addition only ☐ In lieu of roof rating ☒ Not required			3.2.2.20.-83.	9.10.8.
10	Standpipe required:	☐ Yes ☒ No			3.2.9.	
11	Fire Alarm required:	☐ Yes ☒ No			3.2.4.	9.10.17.2.
12	Water Service/Supply is Adequate:	☒ Yes ☐ No				
13	High building:	☐ Yes ☒ No			3.2.6.	
14	Permitted Construction:	☒ Combustible ☐ Non-combustible ☐ Both			3.2.2.20.-83.	9.10.6.
15	Mezzanine(s) Area (sq.m.)	N/A			3.2.1.1.(3)-(8)	9.10.4.1.
16	Occupant load based on:	☐ sq.m./person ☒ design of building			3.1.1.6.	9.9.1.3.
17	Hazardous Substance:	☐ Yes ☒ No			3.8.	9.5.2.
18	Required Fire Resistance Rating (F.R.R.)	Horizontal Assemblies F.R.R. (Hours) Floors 3/4 Hours Roof 0 Hours Mezzanine - Hours F.R.R. of Supporting Members Floors 3/4 Hours Roof 0 Hours Mezzanine 0 Hours	Listed Design No. or Description (SG-2) SB-3 (F19d) Listed Design No. or Description (SG-2) SB-3 (EW1a)		3.2.1.2.(1) & 3.3.1.19. (1) 3.2.2.20.-83. & 3.2.1.4.	9.10.3. 9.10.8. 9.10.9.
20	Spatial Separation - Construction of Exterior Walls	Area of EBF (sq.m.) L.D. (m.) L/H or H/L Permitted Max. % of Openings Proposed % of Openings F.R.R. (Hours)	32.4 32.4 100% 37% 100% 4/3H	3.2.3. Listed Design or Description Comb. Const. Non-C. Const. Comb. Cladding Non-C. Cladding	9.10.14. X X X X	
21	Other - Describe					



Pierre J. Tabet architect
167 Rue De Roquebrune, Gatineau Qc J8T 7Y6
Tel. : 819-568-3994 / 613-797-5375 Fax : 819-246 4312
E-Mail : pierre.tabet@hotmail.com

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6				
5				
4				
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1	CITY COMMENTS	A.A.	P.T.	19.05.13
Revision		By	Appd.	YY.MM.DD
6				
5				
4				
3				
2				
1	PRE-APPLICATION DOC.	A.A.	P.T.	18.12.11
Issued		By	Appd.	YY.MM.DD

Stamp

Project

MATTINO HOMES
16 CONDO UNITS BUILDING
BLOCK 2
255 MOUNTSHANNON DRIVE,
OTTAWA, ON

Title

SITE PLAN

Project #	Scale	Date
Revision	1:175	2019-05-29
1	Sheet 01	Drawing # A-100