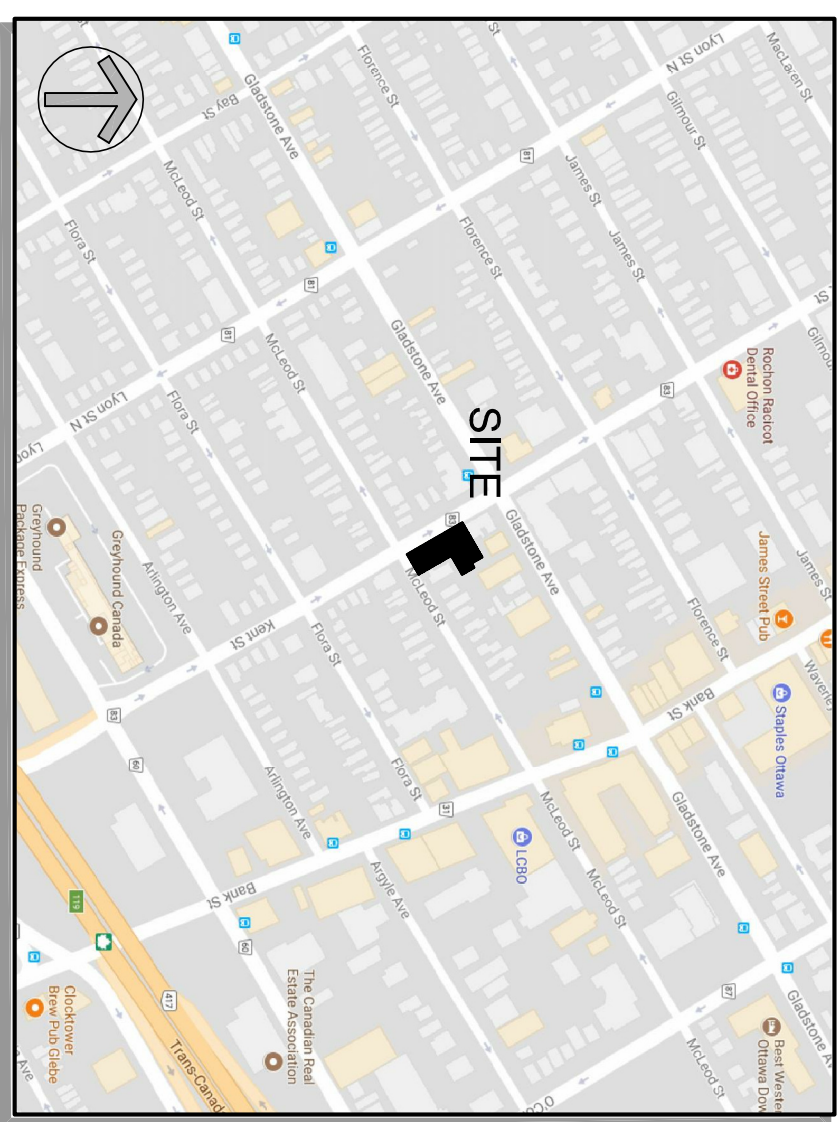
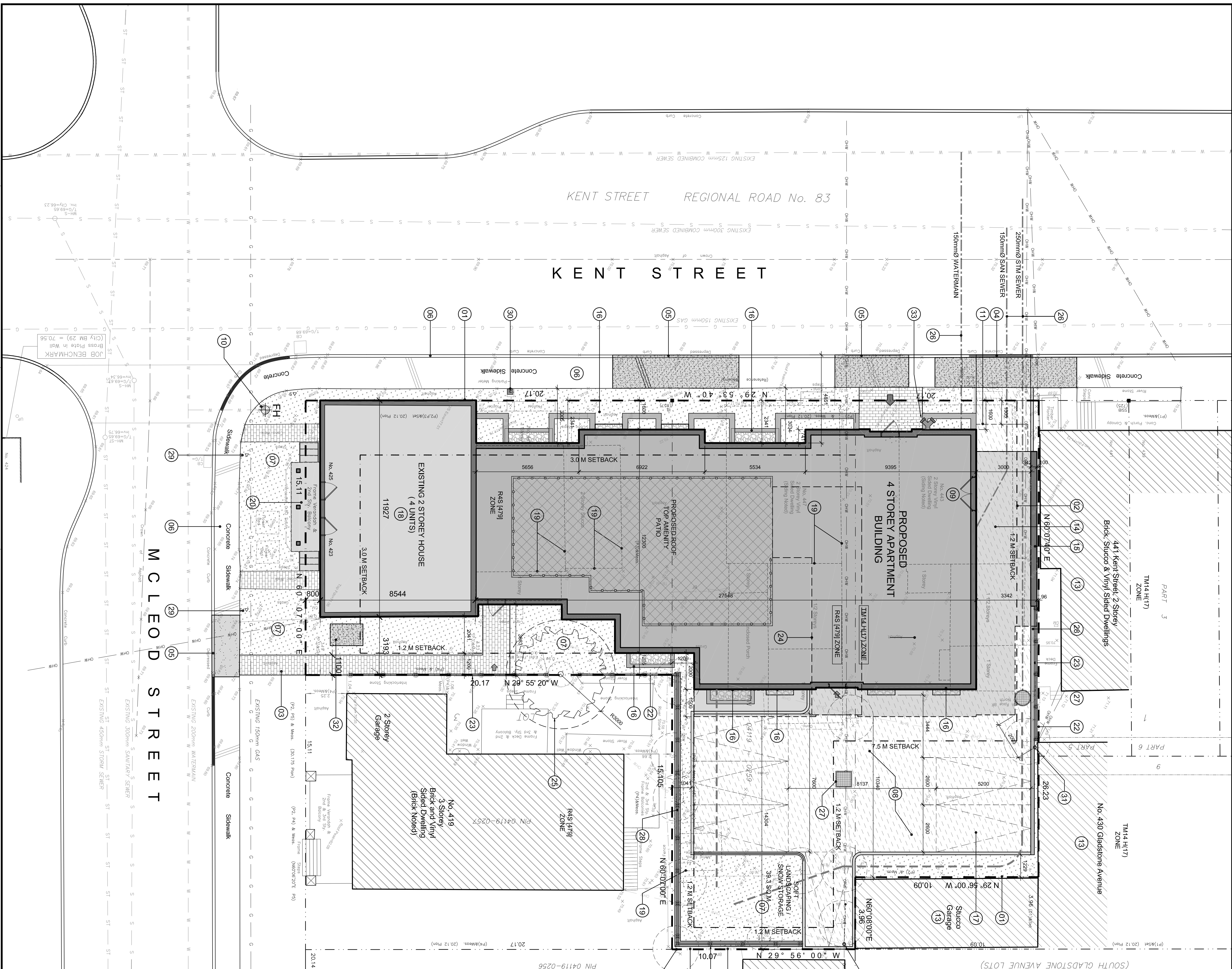




KEY MAP

DRAWING NOTES

- | | |
|----|--|
| 1 | PROPERTY LINE |
| 2 | BUILDING STRUCTURE |
| 3 | HAZ. SURFACE PAINTS: SEE LANDSCAPE PLAN FOR PAINTED TYPE |
| 4 | DENSEST CURB TO CITY OF OTTAWA STANDARD |
| 5 | DEVELOP EXISTING BARRIERS: CLIMB WITH BARRIER |
| 6 | EXISTING SIDEWALK, SEE LANDSCAPE PLAN |
| 7 | EXISTING STREET: CURB AND SIDEWALK |
| 8 | ASPHALT DRIVING SURFACE: PARKING LOT WITH 150 MT. CURB |
| 9 | GARAGE ROOM |
| 10 | EXISTING FIRE HYDRANT |
| 11 | OUTLINE OF PRIVATE TRENCH ABOVE |
| 12 | EXISTING TREE TO BE REMOVED |
| 13 | EXISTING BUILDINGS ON ADJACENT PROPERTY |
| 14 | SEE OWNERS' PLAN |

PROJECT INFORMATION

[illegible]

PROJECT STATISTICS

APPROVED ZONING AMENDMENT	R4S25(1)
CORNER YARD SETBACK	1.6 M
FRONT YARD SETBACK	0.8 M
REAR YARD SETBACK	0.0 M
EASTERN INTERIOR YARD SETBACK	1.2 M
AMENITY AREA - TOTAL	86.0 sq. m
AMENITY AREA - COMMUNAL	39.0 sq. m
LANDSCAPE AREA	21%
MINIMUM RESIDENTIAL PARKING	4

GROSS BUILDING FLOOR AREA

LOWER LEVEL	164.3 sq. m.
	1,775 sq. ft.
GROUND FLOOR	303.3 sq. m.
	3,270 sq. ft.
2ND FLOOR	406.0 sq. m.
	4,370 sq. ft.
3RD FLOOR	317.4 sq. m.
	3,416 sq. ft.
4TH FLOOR	317.4 sq. m.
	3,416 sq. ft.
TOTAL AREA ABOVE GRADE	1,509.4 sq. m.
	16,287 sq. ft.

SITE PLAN SYMBOLS

SITE PLAN SYMBOLS

-
- EXISTING TREE TO BE REMOVED
- ZONING SETBACKS
- PROPERTY LINE
- UNIT BALCONY DOOR / FIRE EXIT
- MAIN ENTRANCE
- TWO WAY VEHICLE CIRCULATION
- BIKE RACK
- SOFT LANDSCAPING
- ASPHALT DRIVEWAY SURFACE
- WASHED RIVER STONE SURFACE
- PROPOSED CONCRETE SURFACE
- CONCRETE UNIT PATERS SURFACE

DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Jamesdo at 1:20 pm, Jun 03, 2019

SITE PLAN

1 SITE PLAN
SCALE = 1/100
SP-1

[illegible]