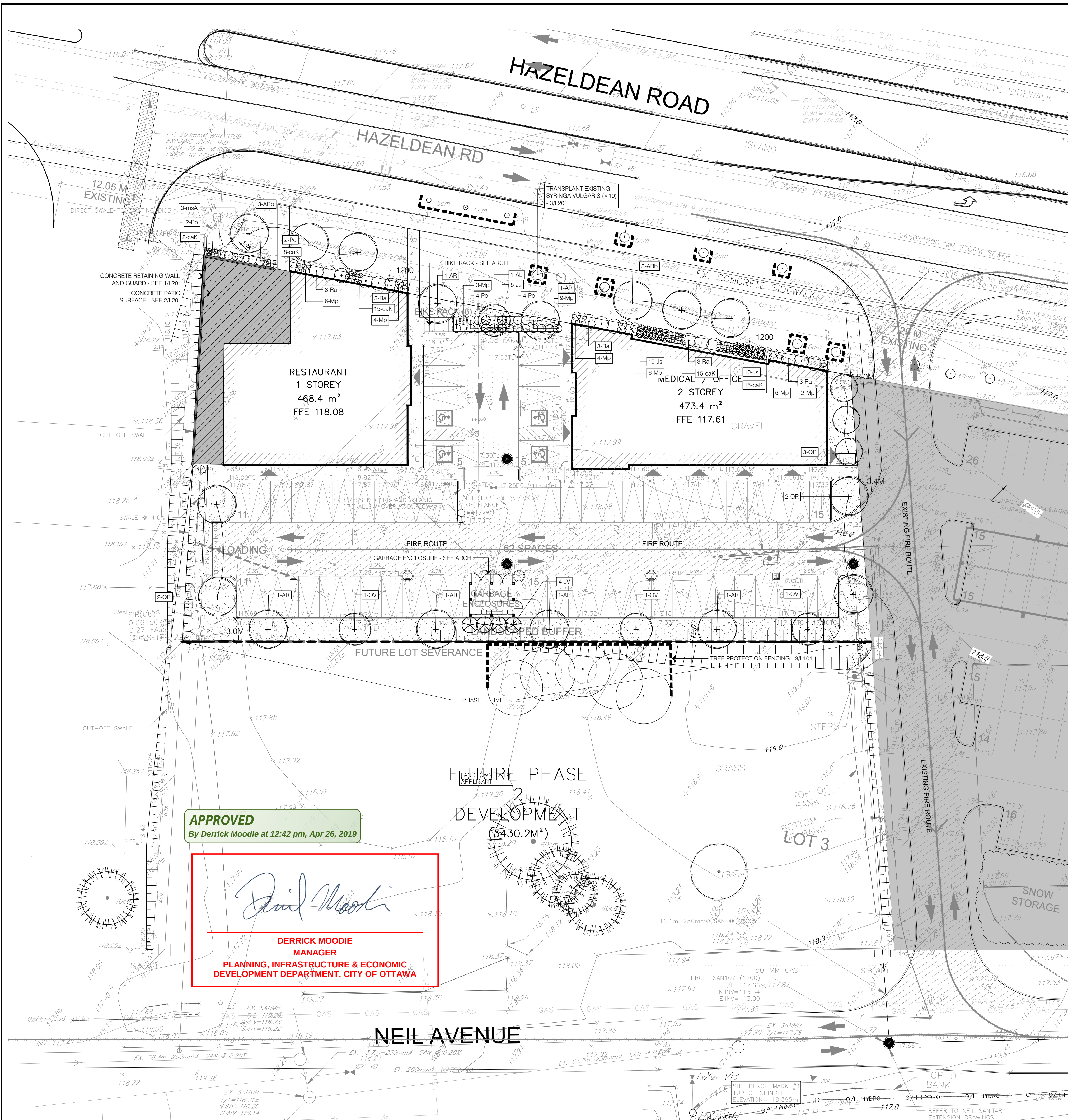




1 LANDSCAPE SITE PLAN

L101 PLANT LIST						
EVERGREENS						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	SPACING
JV	4	Juniperus virginiana	Eastern Red Cedar	175cm	W.B.	1800mm
JS	25	Juniperus sabina 'Calgary Carpet'	Calgary Carpet Juniper	50cm 3 Gal	Potted	1000mm
DECIDUOUS TREES						
AL	1	Amelanchier laevis 'Spring Flurry'	Spring Flurry Serviceberry	50mm	W.B.	
AR	6	Acer rubrum 'Armstrong'	Armstrong Maple	60mm	W.B.	
ARB	6	Acer rubrum 'Bowhall'	Bowhall Red Maple	60mm	W.B.	
OV	3	Ostrya virginiana	Ironwood	50mm	W.B.	
QP	3	Quercus palustris 'Green Pillar'	Green Pillar Oak	50mm	W.B.	
QR	4	Quercus rubra	Red Oak	50mm	W.B.	
SHRUBS						
Mo	40	Myrica pensylvanica	Bayberry	50cm 3 Gal	Potted	1000mm
Po	12	Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	50cm 3 Gal	Potted	1000mm
Ra	15	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	50cm 3 Gal	Potted	1600mm
GRASSES						
caK	61	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 Gal	Potted	600mm
maA	3	Miscanthus sinensis 'Autumn Red'	Autumn Red Maiden Grass	1 gal	Potted	800mm

- LANDSCAPE NOTES:
- EXISTING VEGETATION, IN THE FORM OF TREES AND SHRUBS, SHALL BE PRESERVED AS NOTED.
 - REASONABLE MEASURES SHALL BE UNDERTAKEN TO LIMIT GROUND DISTURBANCE CAUSED BY HEAVY EQUIPMENT USAGE IN VICINITY OF PROPOSED LANDSCAPE.
 - PLANT MATERIAL SHALL BE NO.1 GRADE AND SHALL COMPLY WITH THE METRIC GUIDE SPECIFICATIONS FOR NURSERY STOCK (LATEST EDITION), PUBLISHED BY THE CANADIAN NURSERY TRADES ASSOCIATION.
 - PLANT MATERIALS SHALL BE INSTALLED USING ACCEPTABLE HORTICULTURAL PRACTICES AND PLANTING MATERIALS SHALL CONSIST OF ONLY PLANTING.
 - PLANT SUBSTITUTIONS SHALL NOT BE PERMITTED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT AND/OR THE TOWN OF PERTH.
 - PLANTS SHALL BE HANDLED WITH CARE SO AS NOT TO BREAK UP SOIL/ROOT CLOUDS OR BRANCHES.
 - ON SITE, ALL PLANTS SHOULD BE PROTECTED FROM SUN AND DRYING WINDS AND SHOULD BE WATERED FREQUENTLY UNTIL PLANTING.
 - PITS AND PLANTING BEDS SHOULD BE LOCATED ACCORDING TO THE DRAWINGS AND SHALL BE OF SUFFICIENT SIZE ACCORDING TO THE DETAILS PROVIDED.
 - ALL SURFACES OF PLANTING BEDS (PERENNIALS AND SHRUBS) AND SAUCERS FOR TREE PLANTING PITS WILL BE COVERED WITH 100mm DEPTH MULCH NATURAL CEDAR UNLESS NOTED OTHERWISE.
 - THE PLANTING SOIL AND PLANTS SHALL BE AMENDED INDIVIDUALLY - DIRECTLY IN THE PLANTING HOLE WITH COMPOST, BONE MEAL AND MYCORRHIZAE (BENEFICIAL FUNGUS) ACCORDING TO MANUFACTURER RECOMMENDATIONS.
 - PLANTS SHOULD BE WATERED LESS THAN AN HOUR AFTER PLANTING AND AGAIN WITHIN 24 HOURS.
 - ALL DECIDUOUS TREES SHALL BE PROTECTED AGAINST RODENTS WITH AN EXPANDABLE POLYETHYLENE GUARD (MINIMUM 300mm HIGH) INSTALLED AT THE BASE OF THE TRUNK, UNLESS OTHERWISE NOTED. GUARD TO BE REMOVED AFTER 5 YEARS BY MAINTENANCE CONTRACTOR.
 - WINTER PROTECTION: NECESSARY PROTECTION SHALL BE INSTALLED FOR ALL FRAGILE PLANTS TO PROTECT AGAINST WINTER WINDS OR LIKELY DAMAGE BY SNOW - FOR EXAMPLE THE BASE OF THE BUILDING SUBJECT TO FALLING SNOW FROM ROOFS, OR IN AREAS SUBJECT TO SNOW STORAGE AND REMOVAL, THE PROTECTION SHALL BE REVIEWED AND APPROVED AT THE END OF THE PLANTING WORKS BY THE LANDSCAPE ARCHITECT. PROTECTIONS MUST BE ADAPTED TO EACH PLANT OR GROUP OF PLANTS.
 - CONIFEROUS TREES TO BE PROTECTED WITH 4 STAKES AT DIAPHRANE DISTANCE WRAPPED HORIZONTALLY WITH WRAPPING MATERIAL (NEW BURLAP), COMPLETELY WRAP EACH TREE IN THE FALL PRIOR TO FIRST MAJOR SNOWFALL.

- MAINTENANCE SPECIFICATIONS:
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS LOCATED ON MUNICIPAL PROPERTY WHERE A TWO (2) YEAR EXTENDED WARRANTY SHALL APPLY.
 - ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY CONDITION AND WHEREVER NECESSARY REPLACED WITH NEW PLANT MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH LANDSCAPING REQUIREMENTS. PLANTS WHICH HAVE DIED DURING THE PERIOD OF WARRANTY SHALL BE REPLACED, CONSISTENT WITH THE ALLOWABLE PLANTING SEASON. DEAD PLANT MATERIAL REPLACED UNDER WARRANTY SHALL BE REMOVED. PLANT MATERIAL REPLACED UNDER WARRANTY SHALL CONFORM TO ALL SPECIFICATIONS OF THE ORIGINAL CONTRACT INCLUDING THE WARRANTY FROM THE DATE OF REPLACEMENT PLANTING.
 - INSTALLER MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANT MATERIAL IS INSTALLED AND SHALL CONTINUE THROUGHOUT THE ENTIRE WARRANTY PERIOD. MAINTENANCE REQUIREMENTS SHALL INCLUDE ALL PROCEDURES CONSISTENT WITH PROPER HORTICULTURAL PRACTICES TO ENSURE NORMAL, VIGOROUS, AND HEALTHY GROWTH OF ALL MATERIAL PLANTED INCLUDING SOD. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - REGULAR CULTIVATION AND WEED CONTROL OF PLANTING BEDS AND TREE PITS (NO PESTICIDES OR HERBICIDES IN ACCORDANCE WITH MUNICIPAL BY-LAWS AND PROVINCIAL LEGISLATION).
 - WATER A MINIMUM OF ONCE A WEEK FOR THE FIRST FOUR WEEKS, WHEN REQUIRED THEREAFTER AND IN SUFFICIENT QUANTITIES TO SATURATE THE ROOT SYSTEM AND TO ENSURE SUFFICIENT MOISTURE FOR VIGOROUS PLANT MATERIAL GROWTH. ENSURE ADEQUATE MOISTURE IN THE ROOTBALL AT TIME OF FIRST FROST. THE USE OF GATOR-BAGS OR APPROVED EQUAL IS ENCOURAGED.
 - PRUNING, INCLUDING THE REMOVAL AND DISPOSAL OF DEAD OR BROKEN BRANCHES.
 - MONITOR ALL PLANT MATERIAL FOR VIGOROUS GROWTH. IF APPLICATION OF FERTILIZER IS DEEMED NECESSARY, PRIOR TO THE APPLICATION, SUBMIT RATIO AND APPLICATION RATE TO LANDSCAPE ARCHITECT.
 - THE MAINTENANCE OF ALL ACCESSORIES IN GOOD CONDITION AND PROPERLY ADJUSTED INCLUDING THE REPAIR OR REPLACEMENT OF ACCESSORIES AS REQUIRED AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - AT THE TIME OF FINAL WARRANTY ACCEPTANCE, ALL MATERIAL MUST BE IN A HEALTHY AND VIGOROUS CONDITION. BEDS AND TREE PITS MUST BE FRESHLY CULTIVATED AND FREE OF WEEDS, RUBBISH AND DEBRIS. ALL STAKES, TIES, AND OTHER ACCESSORIES MUST BE REMOVED PRIOR TO FINAL ACCEPTANCE, EXCEPT FOR PLANT MATERIAL CONTINUING UNDER EXTENDED WARRANTY.

- OFFSET AND CLEARANCE NOTES:
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION.
 - TRUNKS OF ALL TREES MUST BE CLEAR OF INTERSECTION SIGHT TRIANGLES. OBTAIN APPROVAL OF PLANTING LAYOUT PRIOR TO DIGGING.
 - TREE PLANTING SHALL BE HAND EXCAVATED FOR THOSE LOCATIONS WITH LESS THAN 1 M CLEARANCE TO ANY UNDERGROUND UTILITIES.
 - TREES TO BE LOCATED 1M FROM DRIVEWAYS AND SIDEWALKS, 1.5M FROM CURB/ROAD EDGE.
 - TREES SHALL BE PLACED TO PROVIDE A MINIMUM SEPARATION DISTANCE OF 2M FROM HYDRANTS, 1.5M FROM WATER CURB-STOPS.
 - TREES ARE TO BE LOCATED A MINIMUM DISTANCE OF 2M FROM THE WATER AND SEWER SERVICES, AND A MINIMUM DISTANCE OF 0.7M FROM A GAS SERVICE.
 - TREES ARE TO BE LOCATED A MINIMUM DISTANCE OF 4.5M FROM A STREETLIGHT (2M FOR SMALL, ORNAMENTAL OR COLUMNAR TREE). CLEARANCES FROM UTILITY POLES SHALL BE AS PER THE DIRECTION OF THE AFFECTED UTILITY.

- NOTES:
- THE FOLLOWING PROTECTION MEASURES MUST BE IMPLEMENTED FOR RETAINED TREES, BOTH WITHIN THE WORK AREA AND ON ADJACENT PARCELS:
- UNDER THE GUIDANCE OF AN ARBORIST, ERECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES WHERE THE CRZ IS ESTABLISHED AS BEING 10 CENTIMETERS FROM THE TRUNK FOR EVERY CENTIMETER OF TRUNK DIAMETER AT BREAST HEIGHT PRIOR TO CONSTRUCTION.
 - TREE PROTECTION SHALL BE ERECTED TO PROVIDE A CONTINUOUS BARRICADE BETWEEN DESIGNATED TREES AND THE WORK AREA PRIOR TO CONSTRUCTION.
 - TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE.
 - ENSURE ALL EQUIPMENT AND CONSTRUCTION RELATED MATERIAL ARE NOT PLACED OR TEMPORARILY STORED WITHIN THE CRZ.
 - ENSURE EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE'S CANOPY.
 - FLOODING OR DEPOSITION OF SEDIMENT SHALL BE PREVENTED WHERE TREES ARE LOCATED.
 - ALL DISTURBED ROOT SYSTEMS SHALL BE EXPOSED AND BACKFILLED IN ONE CONTINUOUS OPERATION TO MINIMIZE DESICCATION.
 - EXPOSED ROOTS SHALL BE KEPT CONTINUOUSLY MOIST DURING EXCAVATION.
 - REMOVE BROKEN AND DAMAGED ROOTS WITH SHARP PRUNING SHEARS.
 - THE TREE PROTECTION FENCE IS TEMPORARY, SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OPERATIONS, SHALL BE REMOVED UPON COMPLETION OF WORK WHEN AGREED TO BY THE CONTRACT ADMINISTRATOR AND LANDSCAPE ARCHITECT.
 - STAKED/ ANCHORED TREE CONSTRUCTION FENCE BEYOND CRITICAL ROOT ZONE UNLESS AUTHORIZED BY THE CONTRACT ADMINISTRATOR AND LANDSCAPE ARCHITECT.

2 TREE PROTECTION FENCE

LEGEND:

- PROPERTY LINE
- GLASS + ALUMINUM GUARD
- C.I.P. CONCRETE PATIO SURFACE - 2L201
- C.I.P. RETAINING WALL - 1A/201
- CONCRETE SIDEWALK - SEE CIVIL
- ASPHALT - SEE ARCH
- TREE PROTECTION FENCING - 2L101
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING CONIFEROUS TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO BE REPLANTED - 3L201
- NEW DECIDUOUS TREE - 4L201
- NEW CONIFEROUS TREE - 5L201
- SHRUBS - 6L201
- SOD
- PROPOSED STORM CBMH - SEE CIVIL
- PROPOSED STORM CB - SEE CIVIL
- PROPOSED STORM STRUCTURE - SEE CIVIL
- PROPOSED SAN STRUCTURE - SEE CIVIL
- PROPOSED CBMH - SEE CIVIL
- PROPOSED STORM SERVICE - SEE CIVIL
- PROPOSED WATER SERVICE - SEE CIVIL
- PROPOSED SANITARY SERVICE - SEE CIVIL



KEY MAP, NTS GENERAL NOTES

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TREE PRESERVATION, PROTECTION & REMOVAL NOTES

- ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION BY MAINTAINING A PROTECTION FENCE AT THE CRITICAL ROOT ZONE OF THE TREE OR GROUP OF TREES.
 - CRZ: DIAMETER OF TRUNK IN CM MULTIPLIED BY 10CM
- STORAGE OF MATERIALS AND/OR EQUIPMENT IS PROHIBITED WITHIN THE DRIP LINE OF ALL EXISTING TREES TO REMAIN.
- CONTRACTOR MUST COMPLY WITH THE MIGRATORY BIRDS CONVENTION ACT (MBCA), 1994 AND REGULATIONS.
- TREES NOTED FOR REMOVAL MUST BE CUT OUTSIDE OF BIRD NESTING SEASON.
- BIRD NESTING SEASON: APRIL 1ST UNTIL AUGUST 31ST.

NO.	DATE	DESCRIPTION
4	2019/04/18	ISSUED FOR SITE PLAN APPLICATION REV03
3	2019/04/01	ISSUED FOR SITE PLAN APPLICATION REV02
2	2019/02/21	ISSUED FOR SITE PLAN APPLICATION REV01
1	2018/05/28	ISSUED FOR SITE PLAN APPLICATION

NO.	DATE	DESCRIPTION
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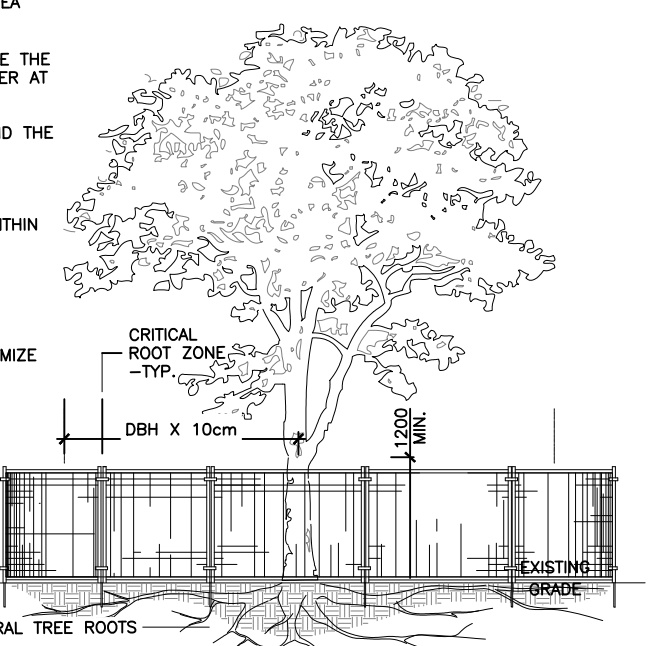
LASHLEY+ASSOCIATES
LANDSCAPE ARCHITECTS AND SITE ENGINEERS
202-250 GLADSTONE AVENUE
OTTAWA, ON K1Y 3E8
T 613 233 8579
F 613 233 4051
W LashleyA.com

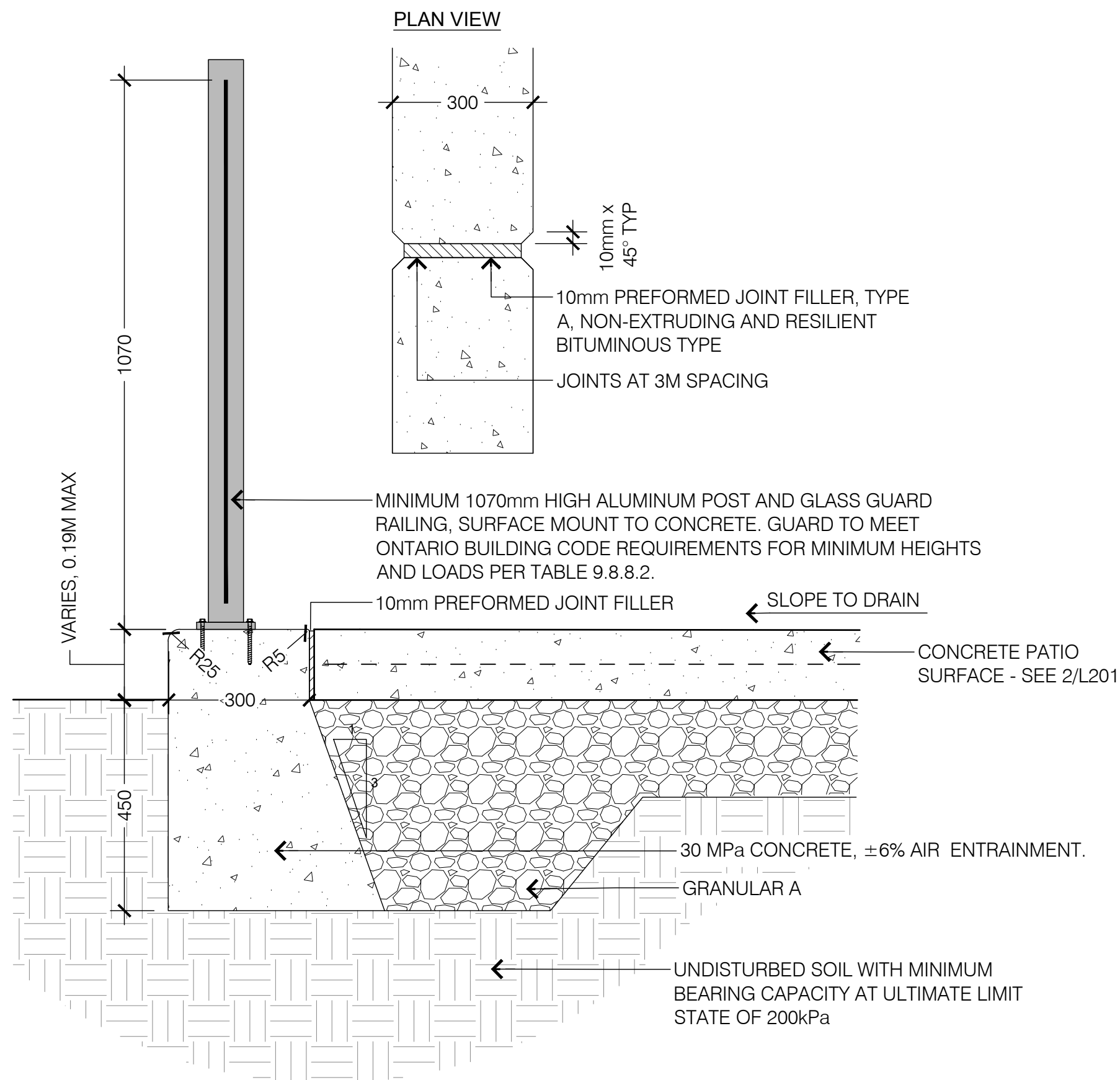
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OTTAWA, ON

CAPITAL COMMERCIAL
1805 CARLING AVENUE
OTTAWA, ON K1Z 7L9

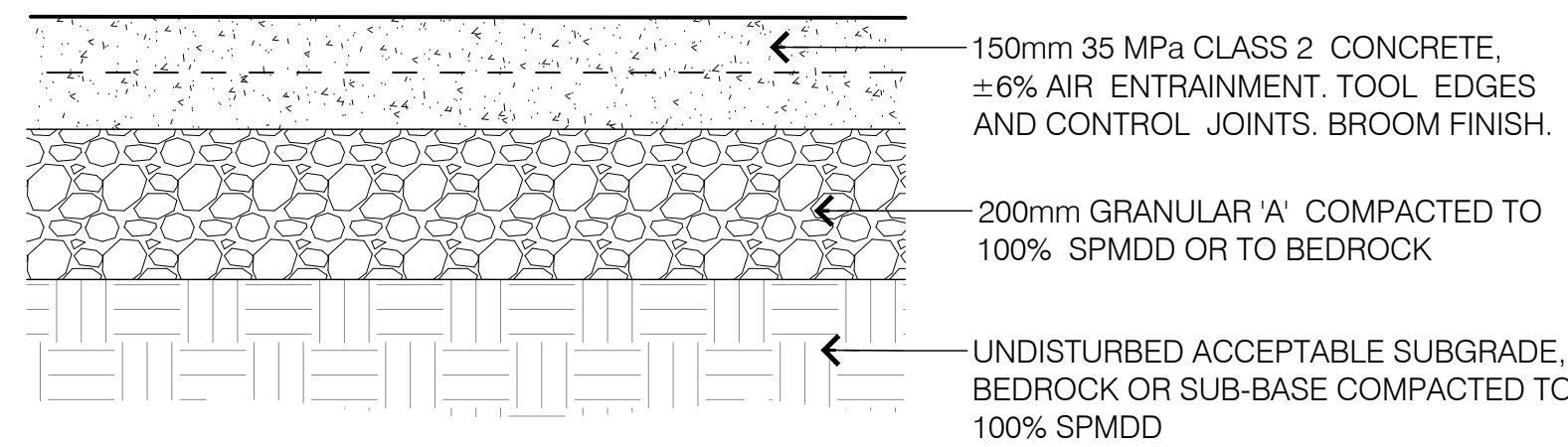
DRAWING TITLE:
LANDSCAPE SITE PLAN

DATE: 2018/05/22	DRAWING NO.:
SCALE: 1:250	L-101
DRAWN BY: S.G.	
LA PROJECT NO. 18705-1	

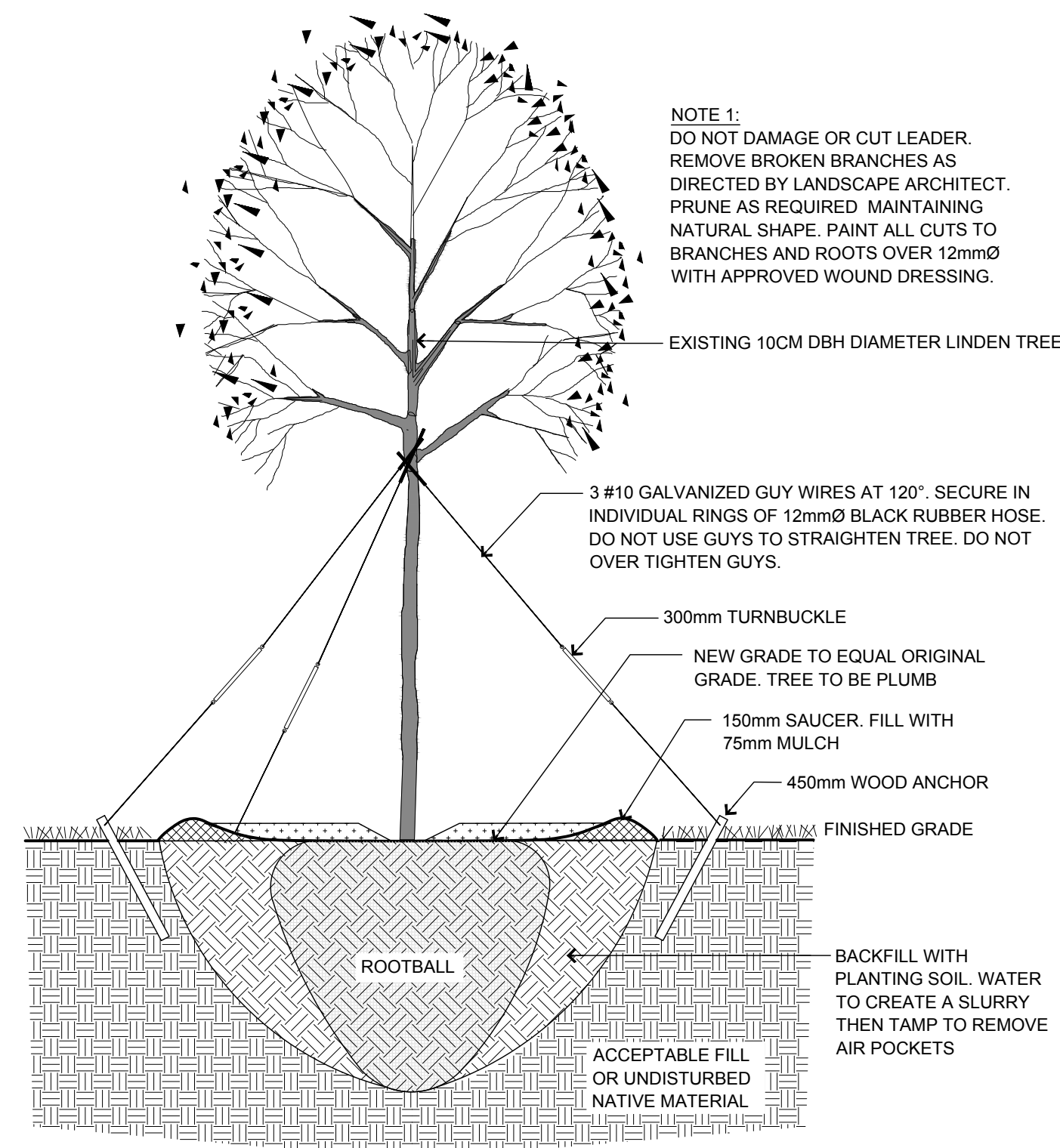




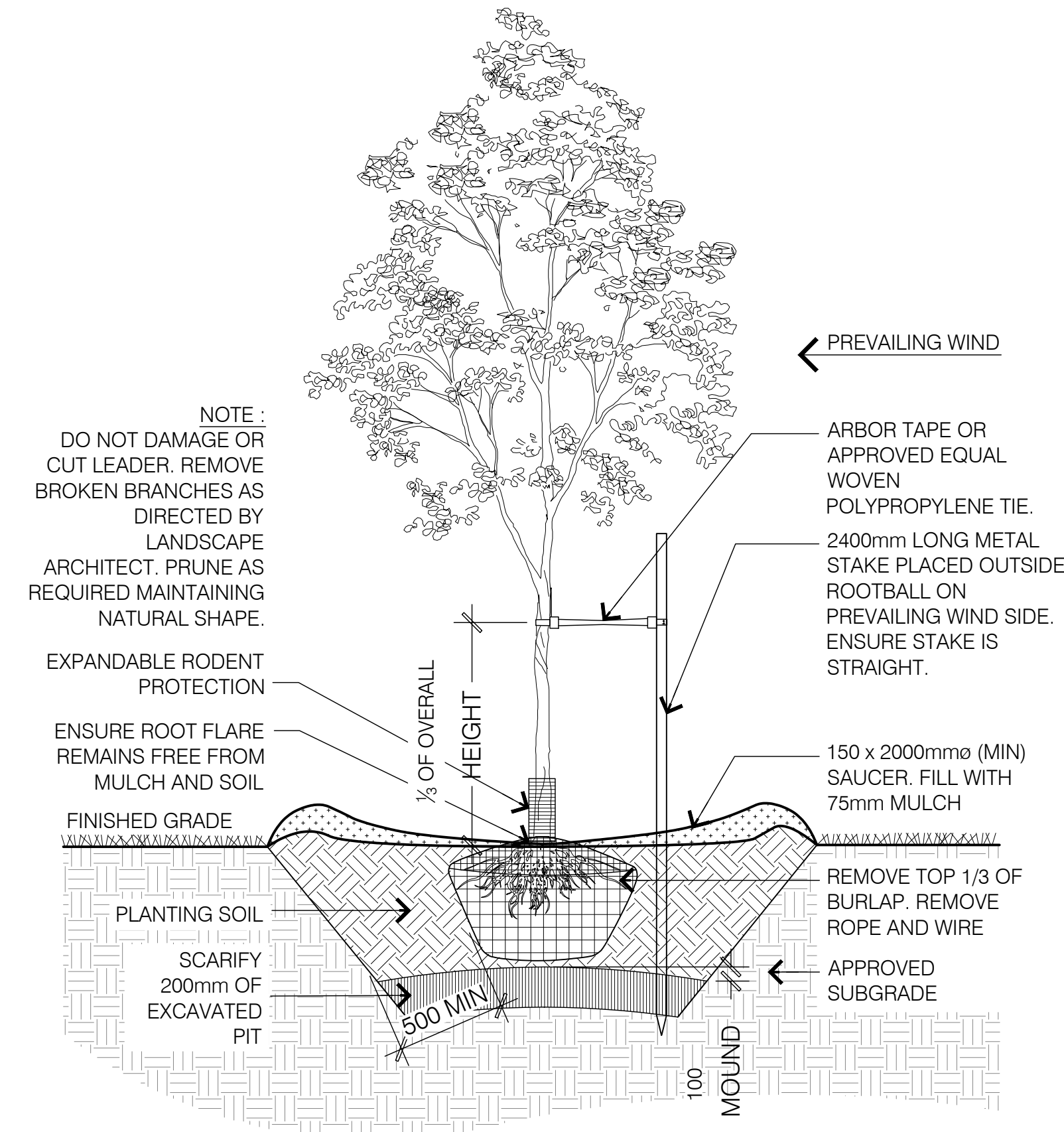
1 CONCRETE RETAINING WALL AND GUARD 1:10



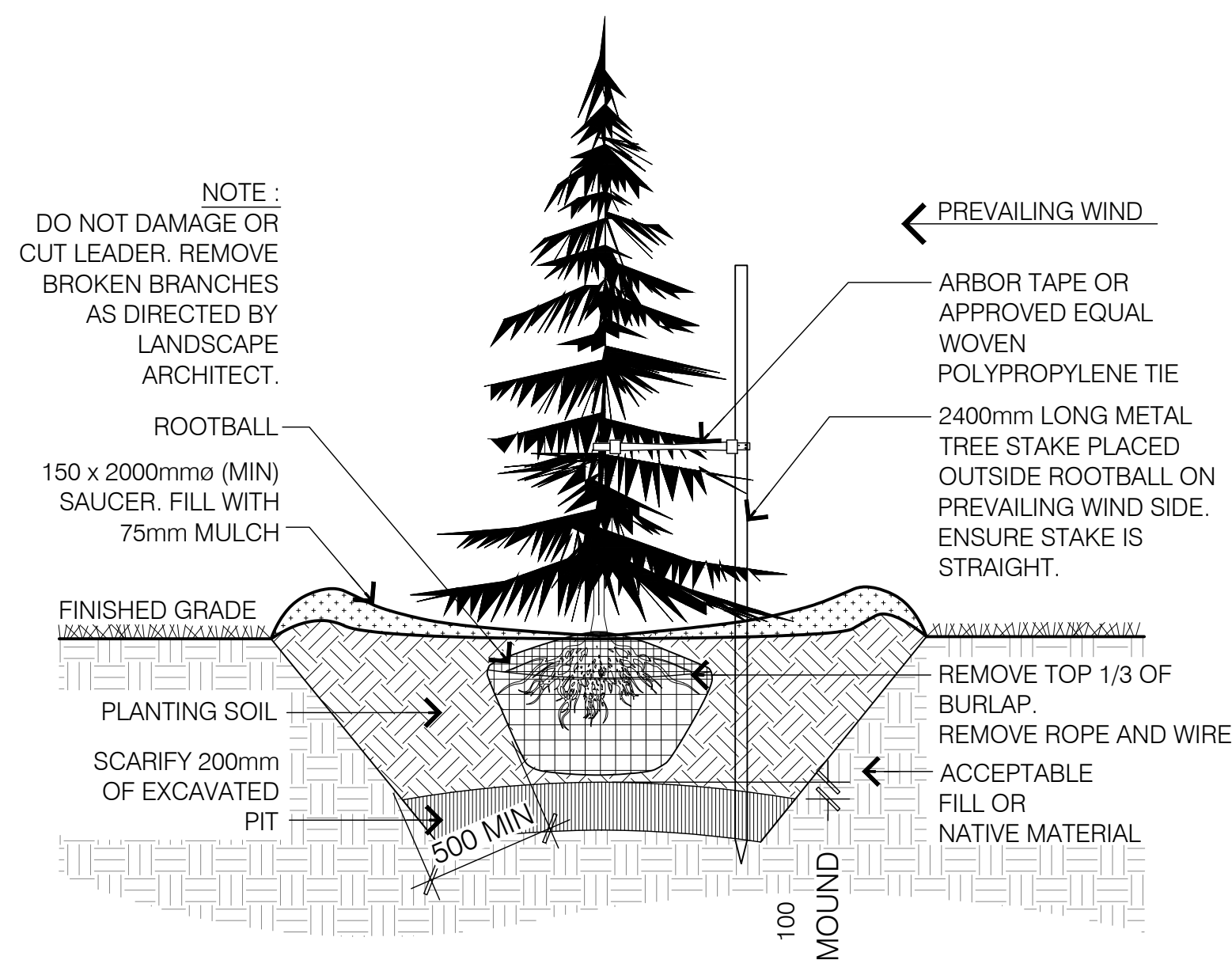
2 CONCRETE PATIO SURFACING 1:10



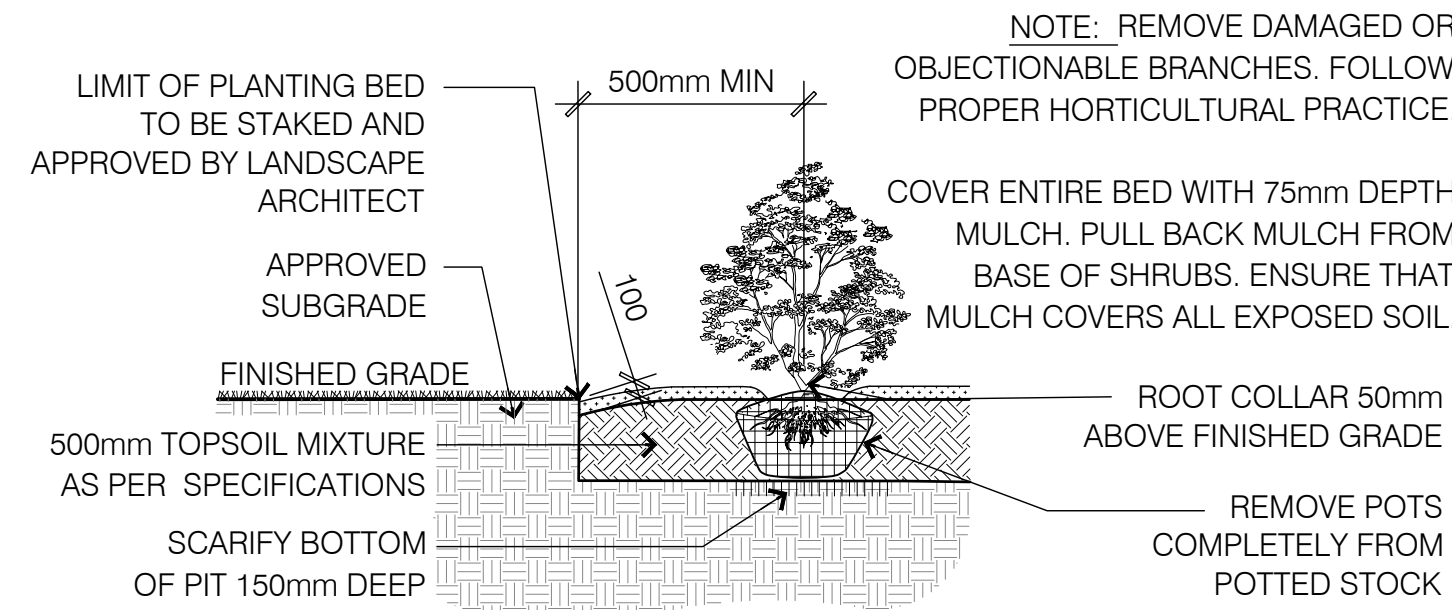
3 TREE TRANSPLANT 1:40



4 DECIDUOUS TREE PLANTING NTS



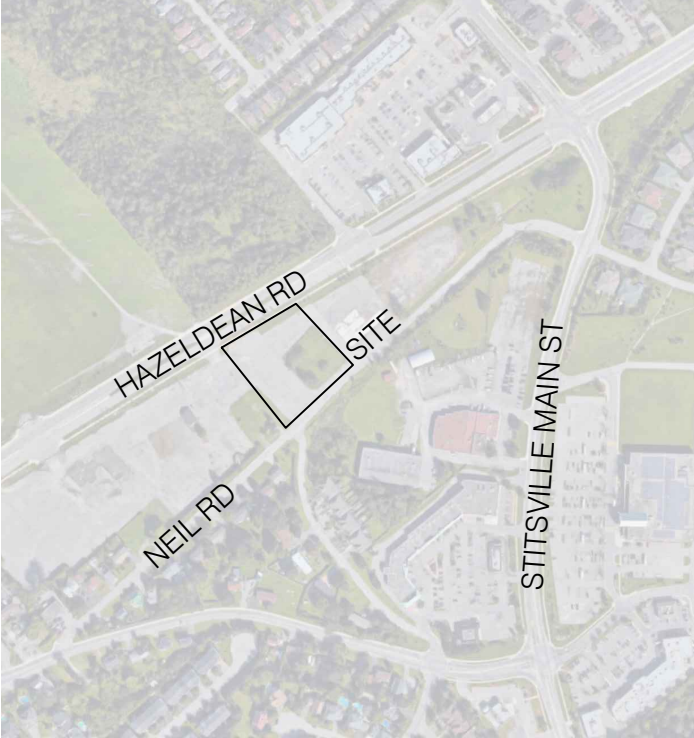
5 CONIFEROUS TREE PLANTING NTS



6 CONTINUOUS SHRUB BED PLANTING NTS

APPROVED
By Derrick Moodie at 12:43 pm, Apr 26, 2019

DERRICK MOODIE
MANAGER
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



KEY MAP, NTS

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PROJECT:
HAZELDEAN PLAZA
6150 HAZELDEAN ROAD
OTTAWA, ON
CAPITAL COMMERCIAL
1505 CARLING AVENUE
OTTAWA, ON K1Z 7L9

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 2018/05/22
SCALE: 1:250
DRAWN BY: S.G.
LA PROJECT NO. 18705-1
DRAWING NO.:
L-201