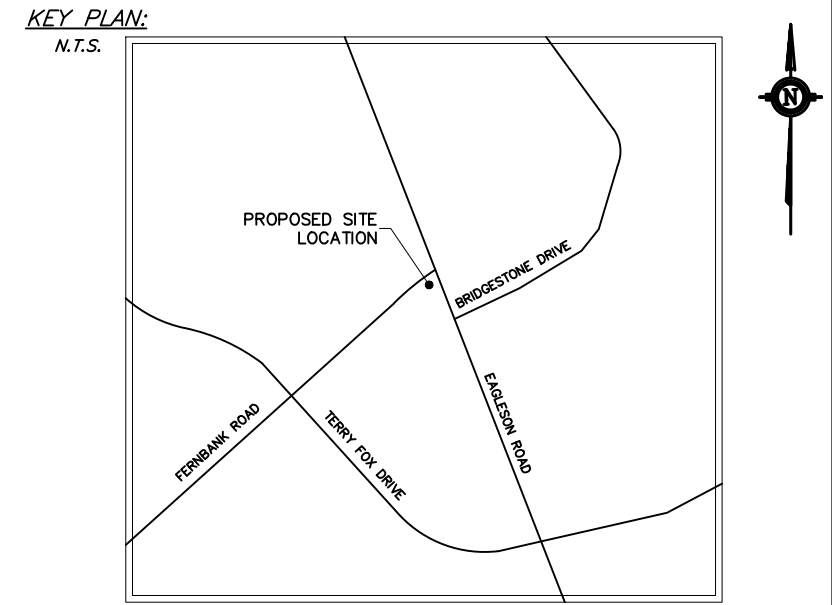


GRADING & DRAINAGE PLAN



- GENERAL PROJECT NOTES:
- All dimensions are in metres.
 - Do not scale drawings.
 - All elevations are in metres and are geodetic. Geodetic information was obtained from the "Plan of Survey of part of Lot 31, Concession 9 (Geographic township of Goulbourn) City of Ottawa" completed by Starlec Geomatics Ltd. on March 7, 2018. Project # 161613024-111.
 - Temporary Benchmark (TBM) = the top of the spindle for the fire hydrant on Fernbank Road, located about 14.5m northeast of the proposed site entrance. Elevation= 95.95m.
 - This drawing does not represent a legal survey.
 - All dimensions to be verified on site by contractor prior to construction.
 - Any changes made to this plan must be verified and approved by Kollaard Associates Inc.
 - All materials and construction to be in accordance with City of Ottawa standards and Ontario Provincial Standards and Specifications, including (but not limited to) sewer and watermain material types, dissection, provide minimum 2.4 metres of cover for water services, cathodic protection, City of Ottawa insulation specifications for watermain, pipe bedding, reinstatement of disturbed areas and leakage testing.
 - Reference Kollaard file #180084 Servicing and SWM Report for additional information relating to the site services design and the stormwater management design for this site.

Subject to City Approval

No.	REVISION	DATE	BY
8	ISSUED FOR CONSTRUCTION	2019/04/01	RR
7	ISSUED FOR CONSTRUCTION	2019/03/13	SD
6	SAN. SERVICE LOCATION / ACCESSIBLE GRADING	2019/03/11	SD
5	REVISED AS PER 2nd MUNICIPAL COMMENTS	2019/02/20	RR
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3	REVISED AS PER 2nd MUNICIPAL COMMENTS	2018/12/11	RR
2	REVISED FOR INCL. IN SSMR	2018/09/11	RR
1	REVISED FOR SITE PLAN CONTROL	2018/08/13	RR
0	ISSUED FOR SITE PLAN CONTROL	2018/06/18	RR

Kollaard Associates
Engineers

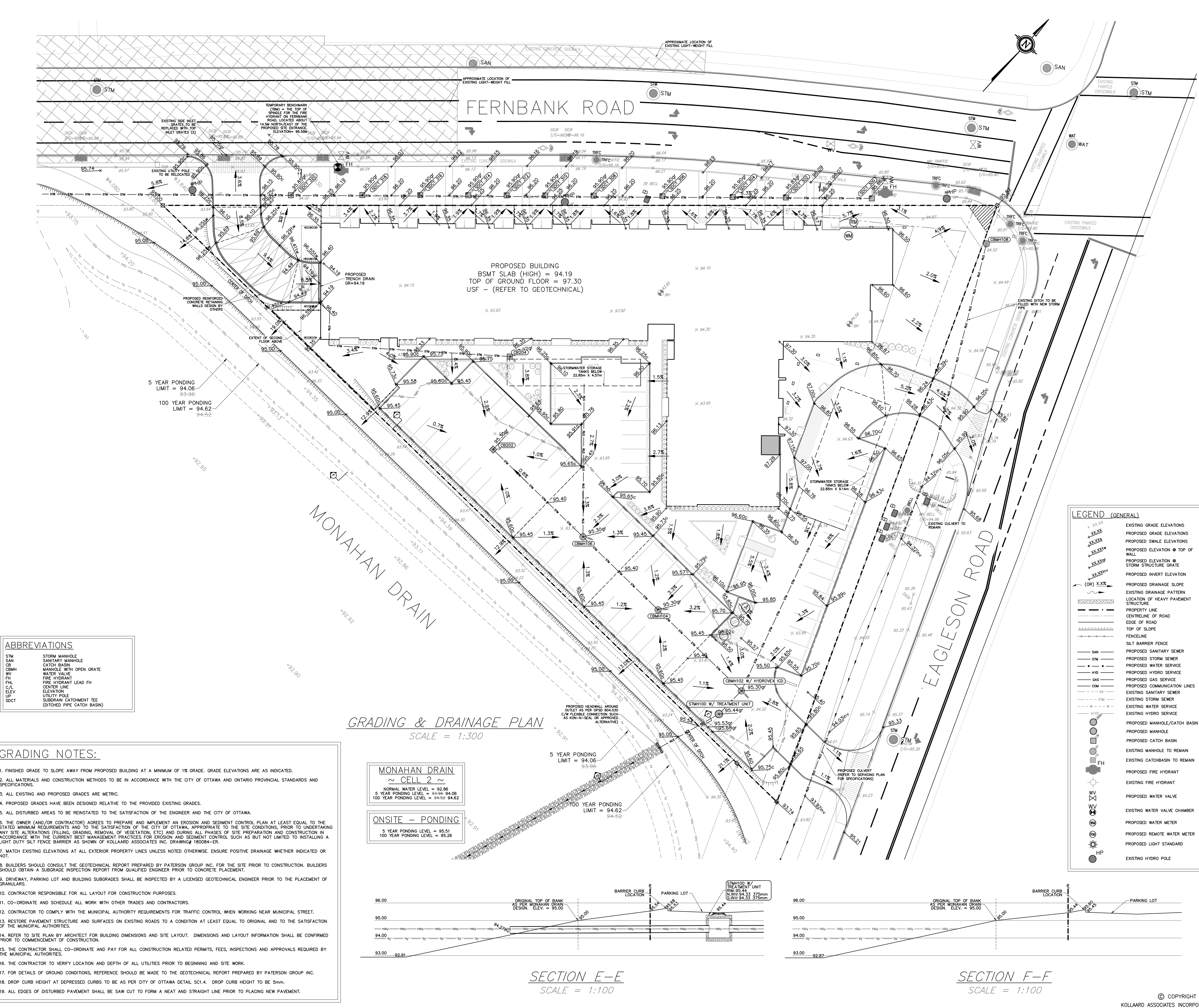
P.O. BOX 188, 210 PRESCOTT ST.(613) 860-0923
KEMPVILLE, ONTARIO info@kollaard.ca
KOG 130 FAX (613) 258-0475
http://www.kollaard.ca

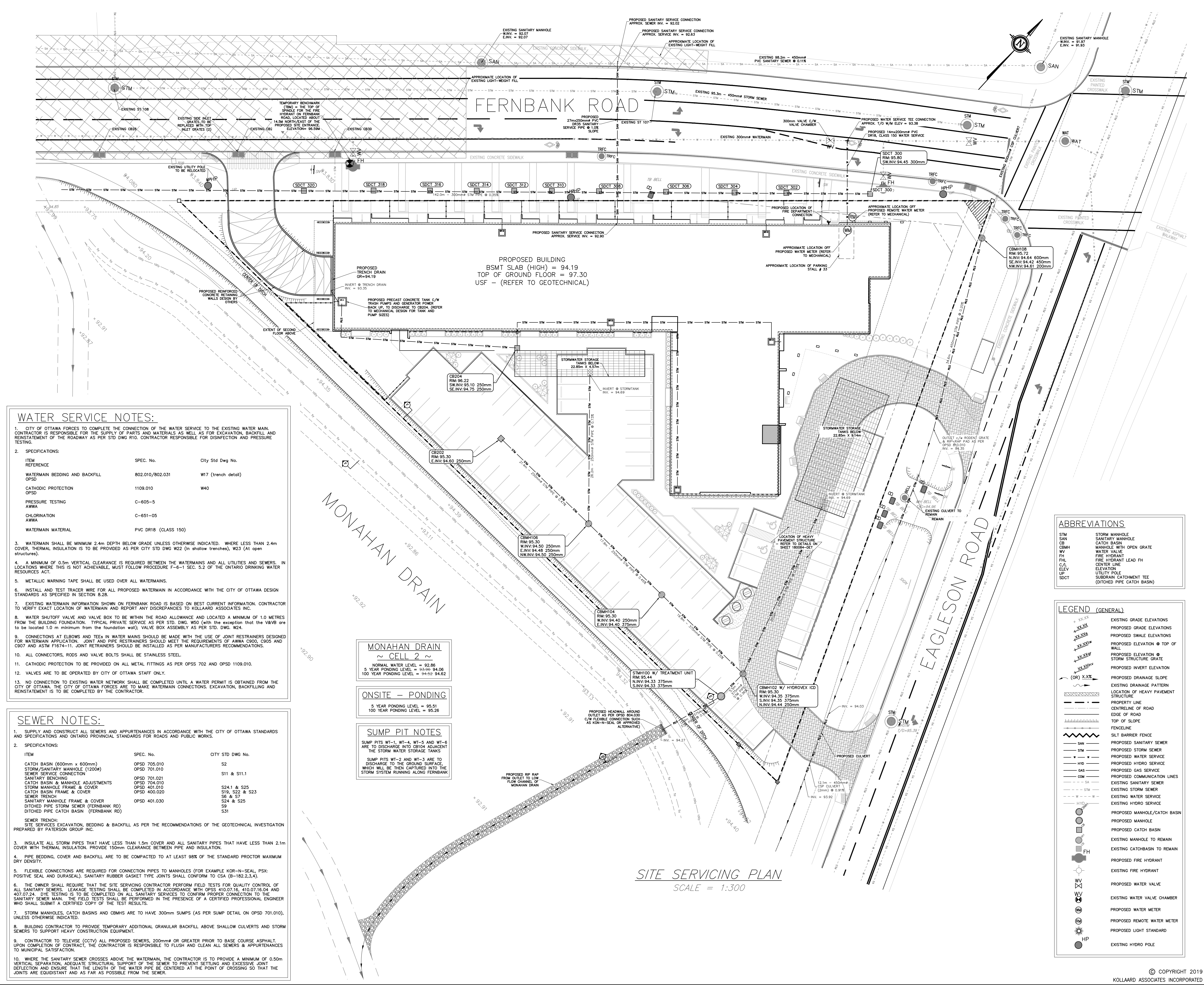
CLIENT NAME
IRONCLAD DEVELOPMENTS

PROJECT NAME
PROPOSED 6 STOREY APARTMENT DEVELOPMENT

PROJECT LOCATION
**800 EAGLESON RD
KANATA, ON
K2M 0A8**

DESIGNED BY SD	CHECKED BY SD
DRAWN BY RR	APPROVED BY SD
DATE 23.APR.2018	
SCALE 1:300	
PROJECT No. 180084	
SHEET SET 1 OF 8	





WATER SERVICE NOTES:

- CITY OF OTTAWA FORCES TO COMPLETE THE CONNECTION OF THE WATER SERVICE TO THE EXISTING WATER MAIN. CONTRACTOR IS RESPONSIBLE FOR THE SUPPLY OF PARTS AND MATERIALS AS WELL AS FOR EXCAVATION, BACKFILL AND REINSTATEMENT OF THE ROADWAY AS PER STD DWG R10. CONTRACTOR RESPONSIBLE FOR DISINFECTION AND PRESSURE TESTING.
- SPECIFICATIONS:

ITEM REFERENCE	SPEC. No.	City Std Dwg No.
WATERMAIN BEDDING AND BACKFILL OPSD	802.010/802.031	W17 (trench detail)
CATHODIC PROTECTION OPSD	1109.010	W40
PRESSURE TESTING AWWA	C-605-5	
CHLORINATION AWWA	C-651-05	
WATERMAIN MATERIAL	PVC DR18 (CLASS 150)	
- WATERMAIN SHALL BE MINIMUM 2.4m DEPTH BELOW GRADE UNLESS OTHERWISE INDICATED. WHERE LESS THAN 2.4m COVER, THERMAL INSULATION IS TO BE PROVIDED AS PER CITY STD DWG W22 (In shallow trenches), W23 (At open structures).
- A MINIMUM OF 0.5m VERTICAL CLEARANCE IS REQUIRED BETWEEN THE WATERMAINS AND ALL UTILITIES AND SEWERS. IN LOCATIONS WHERE THIS IS NOT ACHIEVABLE, MUST FOLLOW PROCEDURE F-6-1 SEC. 5.2 OF THE ONTARIO DRINKING WATER RESOURCES ACT.
- METALLIC WARNING TAPE SHALL BE USED OVER ALL WATERMAINS.
- INSTALL AND TEST TRACER WIRE FOR ALL PROPOSED WATERMAIN IN ACCORDANCE WITH THE CITY OF OTTAWA DESIGN STANDARDS AS SPECIFIED IN SECTION 8.28.
- EXISTING WATERMAIN INFORMATION SHOWN ON FERNBANK ROAD IS BASED ON BEST CURRENT INFORMATION. CONTRACTOR TO VERIFY EXACT LOCATION OF WATERMAIN AND REPORT ANY DISCREPANCIES TO KOLLAARD ASSOCIATES INC.
- WATER SHUTOFF VALVE AND VALVE BOX TO BE WITHIN THE ROAD ALLOWANCE AND LOCATED A MINIMUM OF 1.0 METRES FROM THE BUILDING FOUNDATION. TYPICAL PRIVATE SERVICE AS PER STD. DWG. W50 (with the exception that the V&VB are to be located 1.0 m minimum from the foundation wall). VALVE BOX ASSEMBLY AS PER STD. DWG. W24.
- CONNECTIONS AT ELBOWS AND TEES IN WATER MAINS SHOULD BE MADE WITH THE USE OF JOINT RESTRAINERS DESIGNED FOR WATERMAIN APPLICATION. JOINT AND PIPE RESTRAINERS SHOULD MEET THE REQUIREMENTS OF AWWA C900, C905 AND C907 AND ASTM F1674-11. JOINT RESTRAINERS SHOULD BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
- ALL CONNECTORS, RODS AND VALVE BOLTS SHALL BE STAINLESS STEEL.
- CATHODIC PROTECTION TO BE PROVIDED ON ALL METAL FITTINGS AS PER OPSD 702 AND OPSD 1109.010.
- VALVES ARE TO BE OPERATED BY CITY OF OTTAWA STAFF ONLY.
- NO CONNECTION TO EXISTING WATER NETWORK SHALL BE COMPLETED UNTIL A WATER PERMIT IS OBTAINED FROM THE CITY OF OTTAWA. THE CITY OF OTTAWA FORCES ARE TO MAKE WATERMAIN CONNECTIONS. EXCAVATION, BACKFILLING AND REINSTATEMENT IS TO BE COMPLETED BY THE CONTRACTOR.

SEWER NOTES:

- SUPPLY AND CONSTRUCT ALL SEWERS AND APPURTENANCES IN ACCORDANCE WITH THE CITY OF OTTAWA STANDARDS AND SPECIFICATIONS AND ONTARIO PROVINCIAL STANDARDS FOR ROADS AND PUBLIC WORKS.
- SPECIFICATIONS:

ITEM	SPEC. No.	CITY STD DWG No.
CATCH BASIN (600mm x 600mm)	OPSD 705.010	S2
STORM/SANITARY MANHOLE (1200mm)	OPSD 701.010	S11 & S11.1
SEWER SERVICE CONNECTION	OPSD 701.021	
SANITARY BENCHING	OPSD 704.010	
CATCH BASIN & MANHOLE ADJUSTMENTS	OPSD 401.010	S24.1 & S25
STORM MANHOLE FRAME & COVER	OPSD 401.020	S19, S22 & S23
CATCH BASIN FRAME & COVER	OPSD 400.020	S6 & S7
SEWER TRENCH	OPSD 401.030	S24 & S25
SANITARY MANHOLE FRAME & COVER	OPSD 401.030	S9
DITCHED PIPE STORM SEWER (FERNBANK RD)		S31
DITCHED PIPE CATCH BASIN (FERNBANK RD)		S3
- SEWER TRENCH: SITE SERVICES EXCAVATION, BEDDING & BACKFILL AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY PATERSON GROUP INC.
- INSULATE ALL STORM PIPES THAT HAVE LESS THAN 1.5m COVER AND ALL SANITARY PIPES THAT HAVE LESS THAN 2.1m COVER WITH THERMAL INSULATION. PROVIDE 150mm CLEARANCE BETWEEN PIPE AND INSULATION.
- PIPE BEDDING, COVER AND BACKFILL ARE TO BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
- FLEXIBLE CONNECTIONS ARE REQUIRED FOR CONNECTION PIPES TO MANHOLES (FOR EXAMPLE KOR-N-SEAL, PSX: POSITIVE SEAL AND DURASEAL). SANITARY RUBBER GASKET TYPE JOINTS SHALL CONFORM TO CSA (8-182.2,3,4).
- THE OWNER SHALL REQUIRE THAT THE SITE SERVICING CONTRACTOR PERFORM FIELD TESTS FOR QUALITY CONTROL OF ALL SANITARY SEWERS. LEAKAGE TESTING SHALL BE COMPLETED IN ACCORDANCE WITH OPSD 410.07.16, 410.07.16.04 AND 407.07.24. DYE TESTING IS TO BE COMPLETED ON ALL SANITARY SERVICES TO CONFIRM PROPER CONNECTION TO THE SANITARY SEWER MAIN. THE FIELD TESTS SHALL BE PERFORMED IN THE PRESENCE OF A CERTIFIED PROFESSIONAL ENGINEER WHO SHALL SUBMIT A CERTIFIED COPY OF THE TEST RESULTS.
- STORM MANHOLES, CATCH BASINS AND CBMHs ARE TO HAVE 300mm SLUMPS (AS PER SUMP DETAIL ON OPSD 701.010), UNLESS OTHERWISE INDICATED.
- BUILDING CONTRACTOR TO PROVIDE TEMPORARY ADDITIONAL GRANULAR BACKFILL ABOVE SHALLOW CULVERTS AND STORM SEWERS TO SUPPORT HEAVY CONSTRUCTION EQUIPMENT.
- CONTRACTOR TO TELEVIEW (CCTV) ALL PROPOSED SEWERS, 200mmØ OR GREATER PRIOR TO BASE COURSE ASPHALT. UPON COMPLETION OF CONTRACT, THE CONTRACTOR IS RESPONSIBLE TO FLUSH AND CLEAN ALL SEWERS & APPURTENANCES TO MUNICIPAL SATISFACTION.
- WHERE THE SANITARY SEWER CROSSES ABOVE THE WATERMAIN, THE CONTRACTOR IS TO PROVIDE A MINIMUM OF 0.50m VERTICAL SEPARATION, ADEQUATE STRUCTURAL SUPPORT OF THE SEWER TO PREVENT SETTLING AND EXCESSIVE JOINT DEFLECTION AND ENSURE THAT THE LENGTH OF THE WATER PIPE BE CENTERED AT THE POINT OF CROSSING SO THAT THE JOINTS ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER.

DRAWING No. 180084-SER

SITE SERVICING PLAN

KEY PLAN:
N.T.S.

GENERAL PROJECT NOTES:

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1	REVISED FOR SITE PLAN CONTROL	2018/08/13	RR
0	ISSUED FOR SITE PLAN CONTROL	2018/06/18	RR

Kollaard Associates Engineers
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KEMPTVILLE, ONTARIO info@kollaard.ca
KOG 1J0 FAX (613) 258-0475
http://www.kollaard.ca

CLIENT NAME
IRONCLAD DEVELOPMENTS

PROJECT NAME
PROPOSED 6 STOREY APARTMENT DEVELOPMENT

PROJECT LOCATION
800 EAGLESON RD
KANATA, ON
K2M 0A8

DESIGNED BY	CHECKED BY
SD	SD

DRAWN BY	APPROVED BY
RR	SD

DATE
23.APR.2018

SCALE
1:300

PROJECT No.
180084

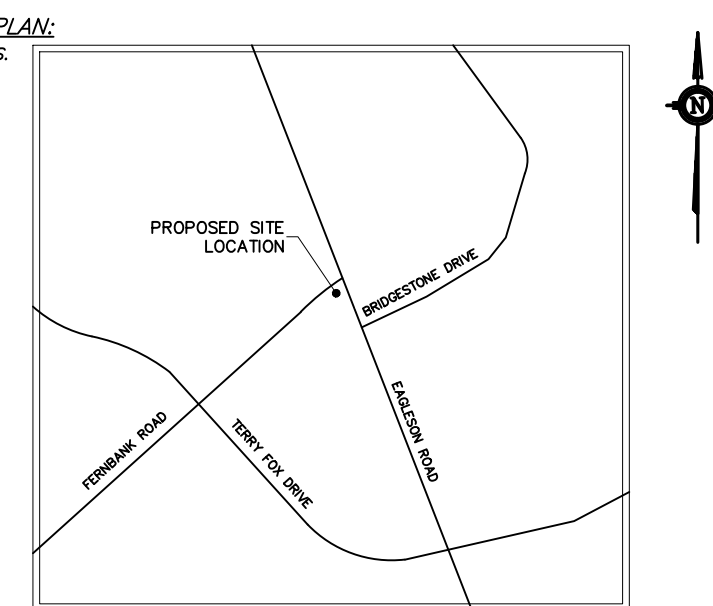
SHEET SET
2 of 8

LICENCED PROFESSIONAL ENGINEER
APRIL 1, 2019
S.E. deWit
100079612
PROVINCE OF ONTARIO

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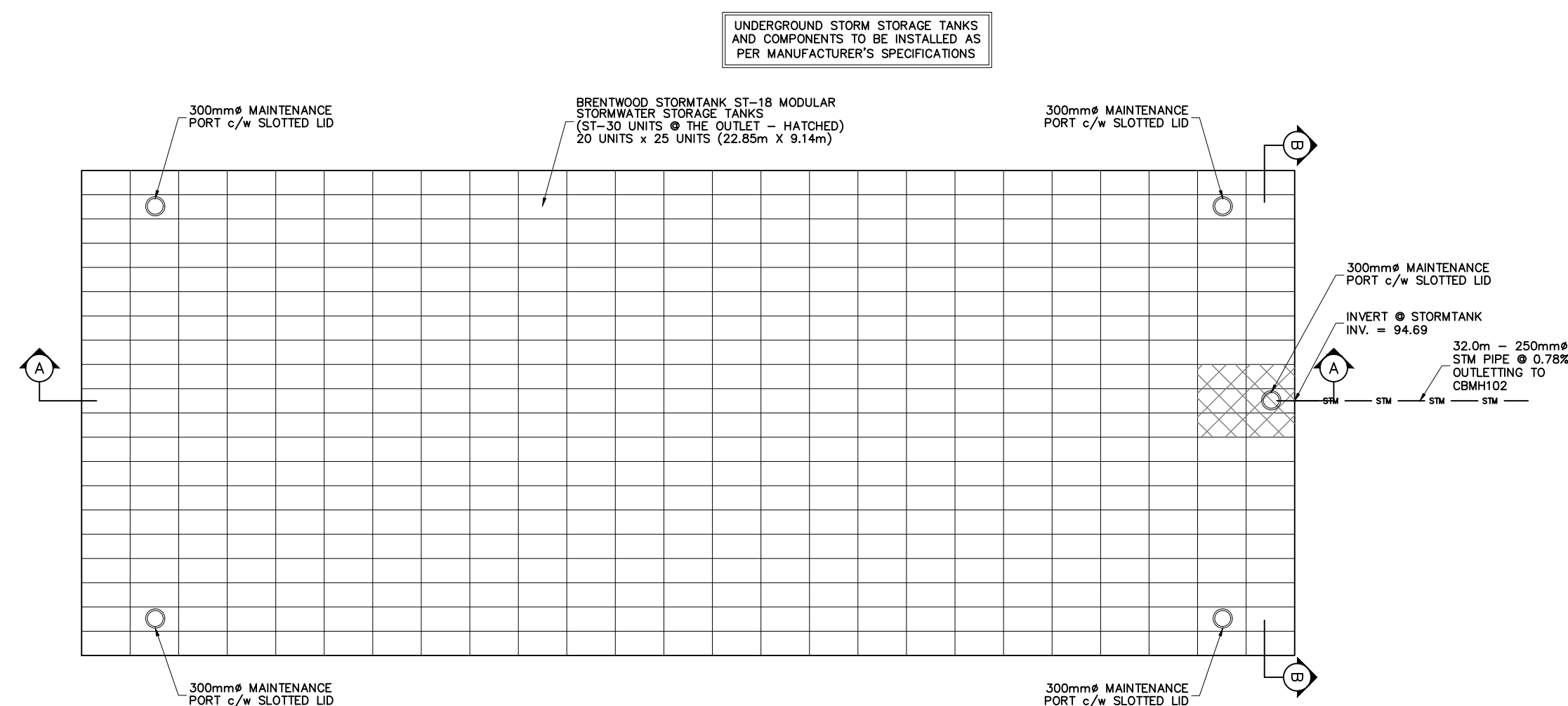
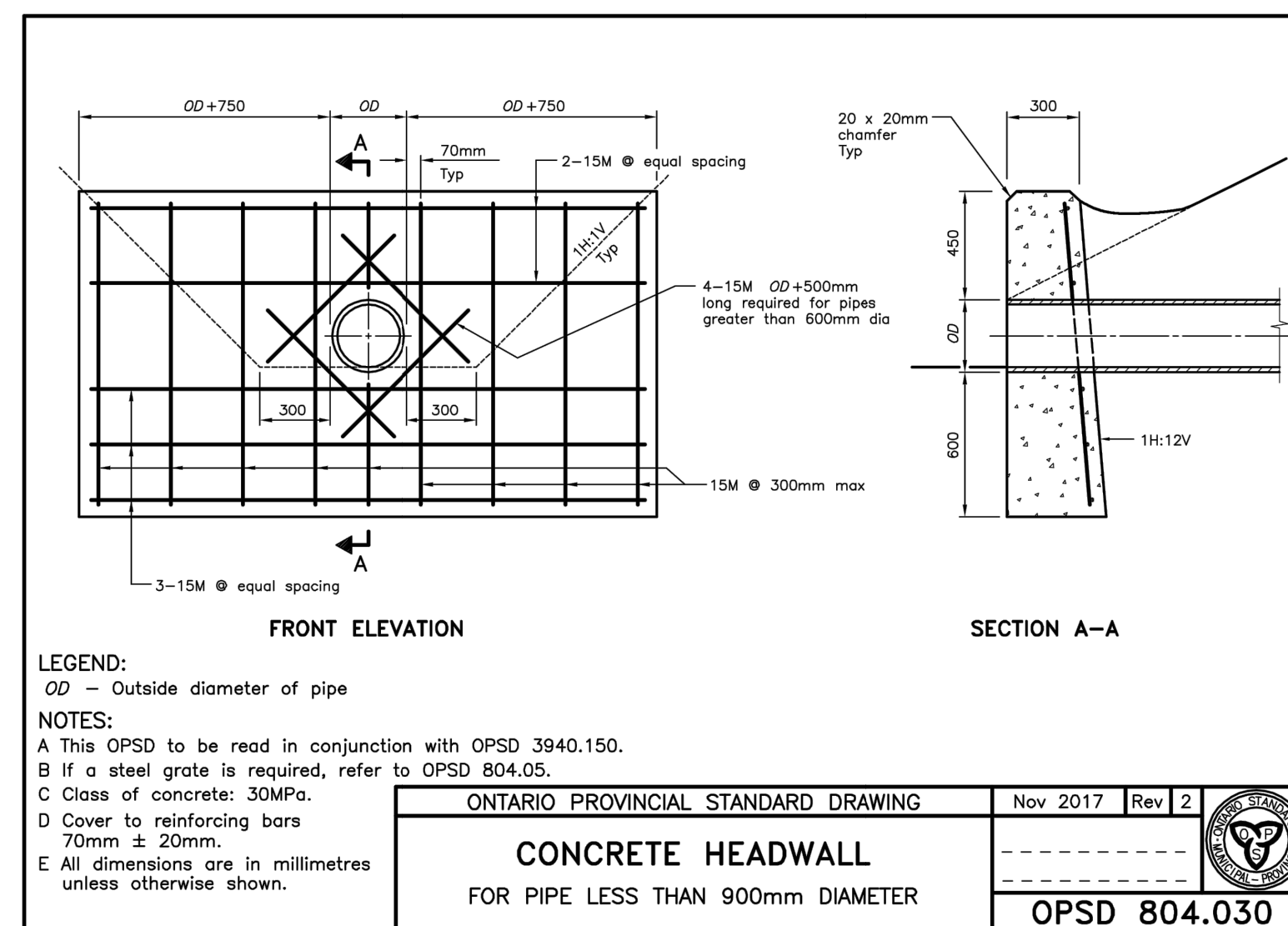
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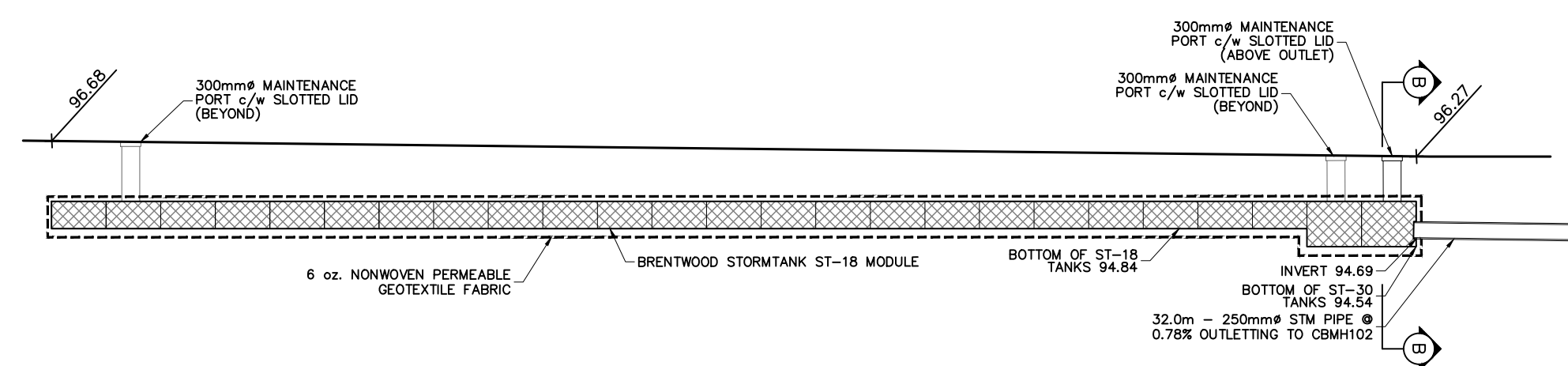


GENERAL PROJECT NOTES:

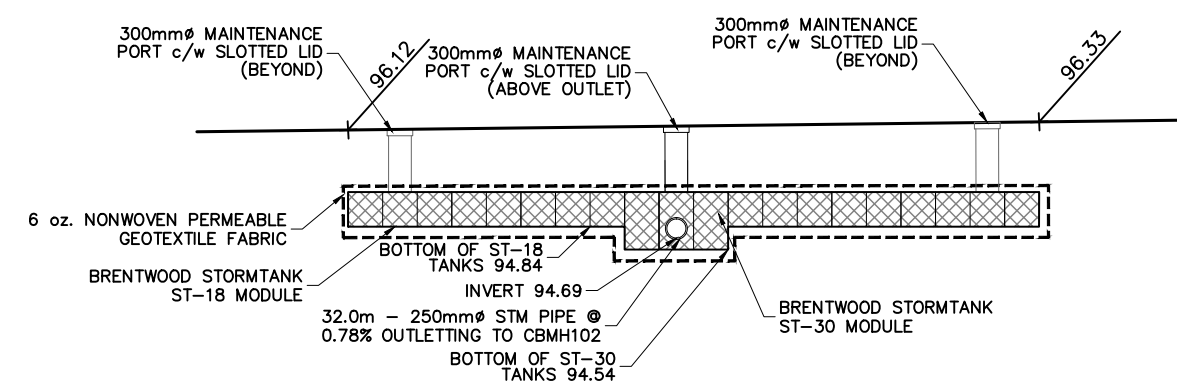
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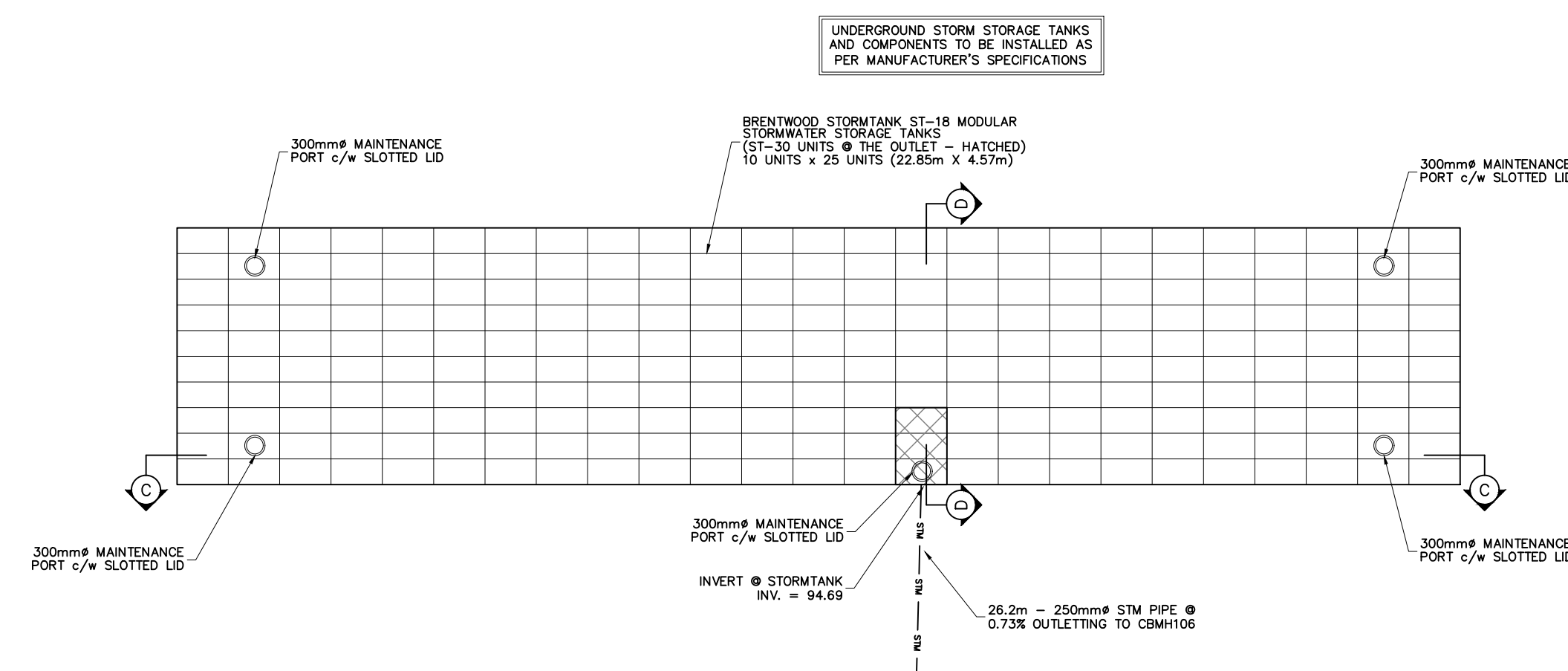
*EAST UNDERGROUND
STORAGE TANK LAYOUT*
SCALE = 1:100



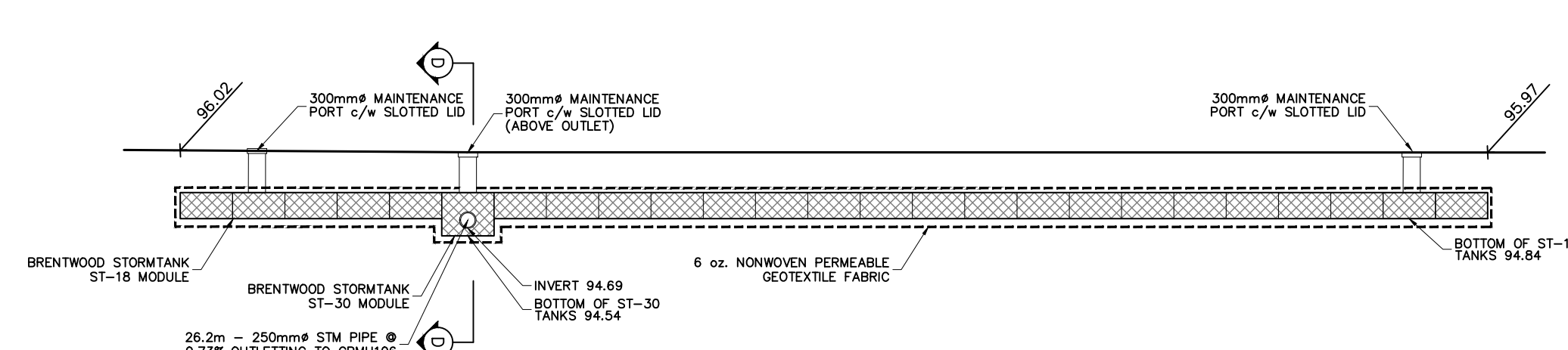
*SECTION A-A
EAST UNDERGROUND
STORAGE TANK SECTION 1*
SCALE = 1:100



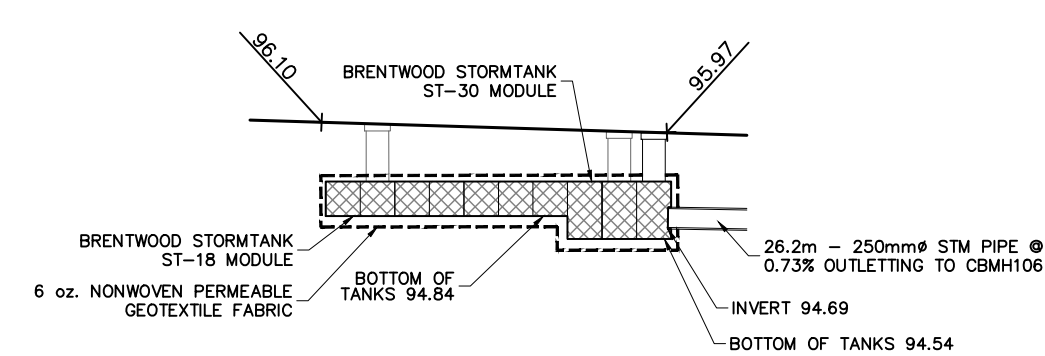
*SECTION B-B
EAST UNDERGROUND
STORAGE TANK SECTION 2*
SCALE = 1:100



*SOUTH/WEST UNDERGROUND
STORAGE TANK LAYOUT*
SCALE = 1:100



*SECTION C-C
SOUTH/WEST UNDERGROUND
STORAGE TANK SECTION 1*
SCALE = 1:100



*SECTION D-D
SOUTH/WEST UNDERGROUND
STORAGE TANK SECTION 2*
SCALE = 1:100



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KEMPTVILLE, ONTARIO info@kollaard.ca
KOG 1JO FAX (613) 258-0475
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CLIENT NAME

IRONCLAD DEVELOPMENTS

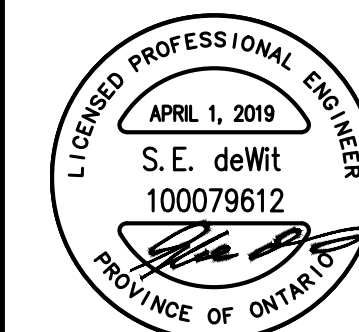
PROJECT NAME

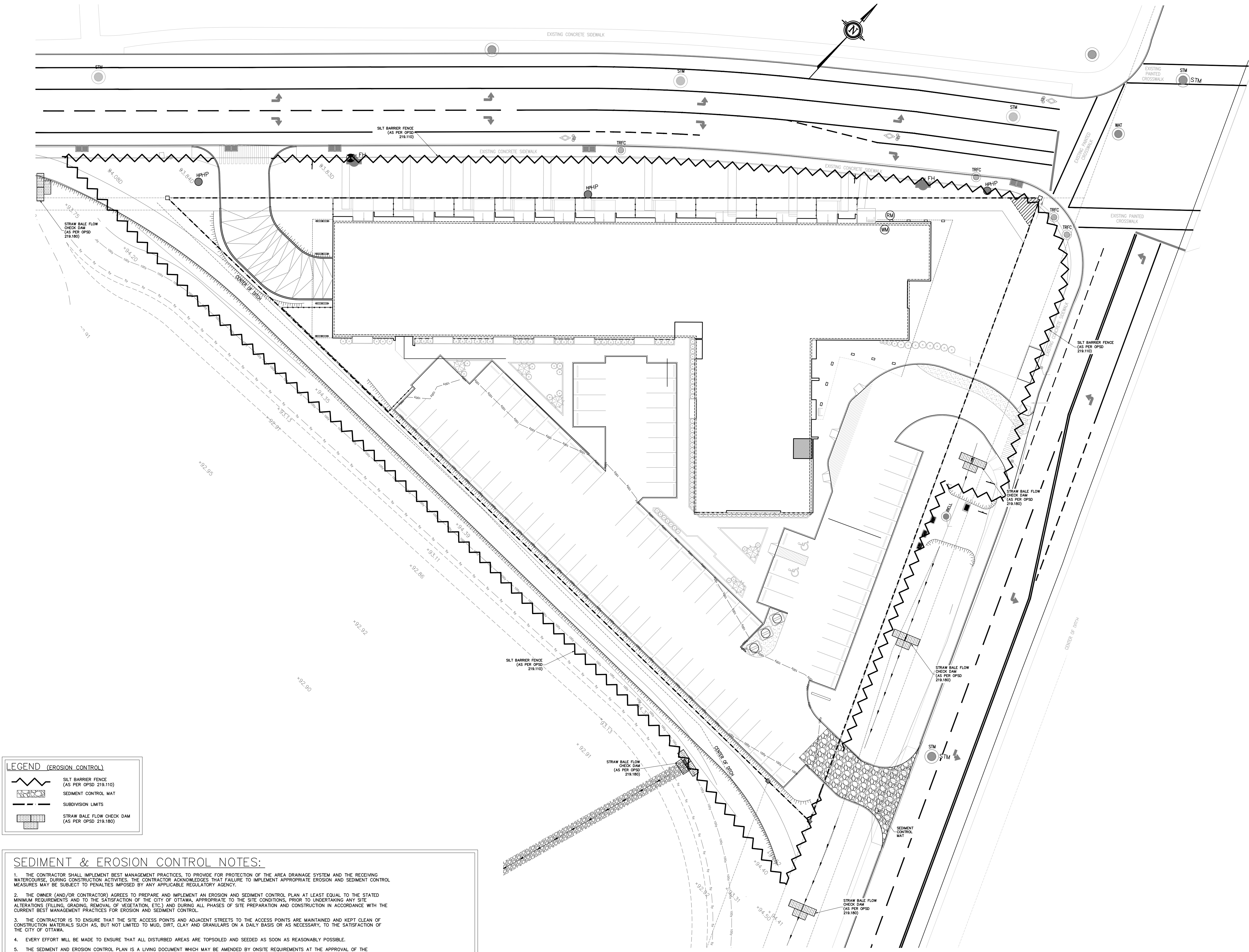
PROPOSED 6 STOREY
APARTMENT DEVELOPMENT

PROJECT LOCATION

800 EAGLESON RD
KANATA, ON
K2M 0A8

DESIGNED BY SD	CHECKED BY SD
DRAWN BY RR	APPROVED BY SD
DATE 23.APR.2018	
SCALE AS NOTED	
PROJECT No. 180084	
SHEET SET 3 OF 8	





LEGEND (EROSION CONTROL)

- SILT BARRIER FENCE (AS PER OPSD 219.110)
- SEDIMENT CONTROL MAT
- SUBDIVISION LIMITS
- STRAW BALE FLOW CHECK DAM (AS PER OPSD 219.180)

SEDIMENT & EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
- THE OWNER (AND/OR CONTRACTOR) AGREES TO PREPARE AND IMPLEMENT AN EROSION AND SEDIMENT CONTROL PLAN AT LEAST EQUAL TO THE STATED MINIMUM REQUIREMENTS AND TO THE SATISFACTION OF THE CITY OF OTTAWA, APPROPRIATE TO THE SITE CONDITIONS, PRIOR TO UNDERTAKING ANY SITE ALTERATIONS (FILLING, GRADING, REMOVAL OF VEGETATION, ETC.) AND DURING ALL PHASES OF SITE PREPARATION AND CONSTRUCTION IN ACCORDANCE WITH THE CURRENT BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL.
- THE CONTRACTOR IS TO ENSURE THAT THE SITE ACCESS POINTS AND ADJACENT STREETS TO THE ACCESS POINTS ARE MAINTAINED AND KEPT CLEAN OF CONSTRUCTION MATERIALS SUCH AS, BUT NOT LIMITED TO MUD, DIRT, CLAY AND GRANULARS ON A DAILY BASIS OR AS NECESSARY, TO THE SATISFACTION OF THE CITY OF OTTAWA.
- EVERY EFFORT WILL BE MADE TO ENSURE THAT ALL DISTURBED AREAS ARE TOPSOILED AND SEEDED AS SOON AS REASONABLY POSSIBLE.
- THE SEDIMENT AND EROSION CONTROL PLAN IS A LIVING DOCUMENT WHICH MAY BE AMENDED BY ONSITE REQUIREMENTS AT THE APPROVAL OF THE MUNICIPALITY AND THE CONSERVATION AUTHORITY.

SEDIMENT & EROSION CONTROL PLAN REQUIREMENTS:

- TIME THE DEMOLITION AND EXCAVATION ACTIVITIES SO THAT THEY OCCUR NO SOONER THAN IS NECESSARY FOR SUBSEQUENT CONSTRUCTION ACTIVITIES.
- LANDSCAPE THE SITE AS SOON AS PRACTICALLY POSSIBLE.
- USE SILT FENCES AROUND ANY STOCKPILES OF SOIL.
- PRIOR TO CONSTRUCTION, SILT FENCE BARRIERS (OPSD 219.110) WILL BE PLACED ALONG THE PROPERTY LINES AS ON THE DRAWING.
- THE SILT FENCE SHOULD BE REMOVED ONLY WHEN THE SITE IS STABILIZED.
- INSTALL FILTER CLOTH ACROSS ALL EXISTING CATCH BASINS AND CATCH BASIN MANHOLES PRIOR TO CONSTRUCTION.
- INSTALL FILTER CLOTH ACROSS ALL PROPOSED CATCH BASINS, MANHOLES AND CATCH BASIN MANHOLES AS THEY ARE PLACED.

SEDIMENT & EROSION CONTROL PLAN
SCALE = 1:300

DRAWING No. 180084-ER

DRAWING
SEDIMENT & EROSION CONTROL PLAN

KEY PLAN:
N.T.S.

GENERAL PROJECT NOTES:

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- Temporary Benchmark (TBM) = the top of spindle for the fire hydrant on Ferris Road, located about 14.5m northwest of the proposed site entrance. Elevation= 86.58m.
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- Any changes made to this plan must be verified and approved by Kollaard Associates Inc.
- All materials and construction to be in accordance with City of Ottawa standards and Ontario Provincial Standards and Specifications, including (but not limited to): sewer and watermain material types, dissection, provide minimum 2.4 metres of cover for water services, cathodic protection, City of Ottawa insulation specifications for watermain, pipe bedding, reinstatement of disturbed areas and leakage testing.
- Reference Kollaard file #180084 Servicing and SWM Report for additional information relating to the site services design and the stormwater management design for this site.

Subject to City Approval			
No.	REVISION	DATE	BY
8	ISSUED FOR CONSTRUCTION	2019/04/01	RR
7	ISSUED FOR CONSTRUCTION	2019/03/13	SD
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2	NO CHANGES TO THIS SHEET	2018/09/11	RR
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0	ISSUED FOR SITE PLAN CONTROL	2018/06/18	RR

Kollaard Associates Engineers

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CLIENT NAME
IRONCLAD DEVELOPMENTS

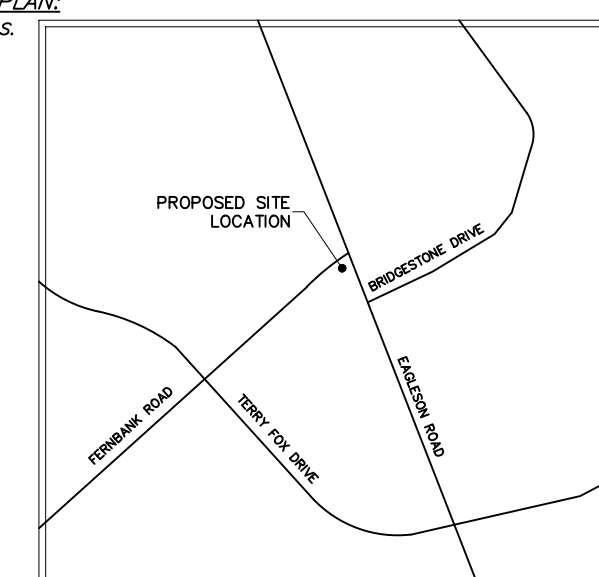
PROJECT NAME
PROPOSED 6 STOREY APARTMENT DEVELOPMENT

PROJECT LOCATION
**800 EAGLESON RD
KANATA, ON
K2M 0A8**

DESIGNED BY SD	CHECKED BY SD
DRAWN BY RR	APPROVED BY SD
DATE 23.APR.2018	
SCALE 1:300	
PROJECT No. 180084	
SHEET SET 4 OF 8	



KEY PLAN:
N.T.S.

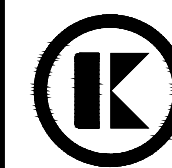


GENERAL PROJECT NOTES:

1. All dimensions are in metres.
2. Do not scale drawings.
3. All elevations are in metres and are geoidetic. Geographic township of Goudreau (1) is obtained from the "Plan of survey of part of S14 Concession 1 (Geographic township of Goudreau (1)) City of Ottawa" completed by Charles Goudreau on 27th July 2018, Project # 16101824-0113.
4. Temporary Benchmark (TBM) is the top of the spindle for the fire hydrant on Fernbank Road, located about 1.5 km northwards of the proposed site elevation. Elevation= 95.59m.
5. Dimensions not represented.
6. All dimensions to be verified on site by contractor prior to construction.
7. Any changes made to this plan must be verified and approved by Kollard Associates Inc.
8. Materials and construction to be in accordance with City of Ottawa standards and Ontario Provincial Standards and Specifications, including (but not limited to): sewer and watermain material types, diameters, provide minimum 2 metres of cover for sewer services, cathodic protection for Ottawa City of Ottawa watermain, and provide minimum 1 metre of maintenance of disturbed areas and leakage sealing.
9. The contractor shall file the Engineering and SHW Report for additional information relating to the site services design and the sewerage management design for this site.

Subject to City Approval

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3	REVISED AS PER MUNICIPAL COMMENTS	2018/12/10	RF
2	NO CHANGES TO THIS SHEET	2018/09/11	RF
1	REVISED FOR SITE PLAN CONTROL	2018/08/13	RF
0	ISSUED FOR SITE PLAN CONTROL	2018/06/15	RF
No.	REVISION	DATE	BY



Kollaard Associates
Engineers

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CLIENT NAME

IRONCLAD DEVELOPMENTS

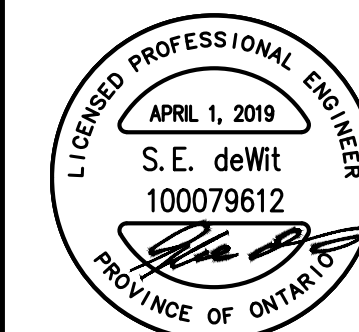
PROJECT NAME

PROJECT NAME
PROPOSED 6 STOREY
APARTMENT DEVELOPMENT

PROJECT LOCATION

800 EAGLESON RD
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K2M 0A8

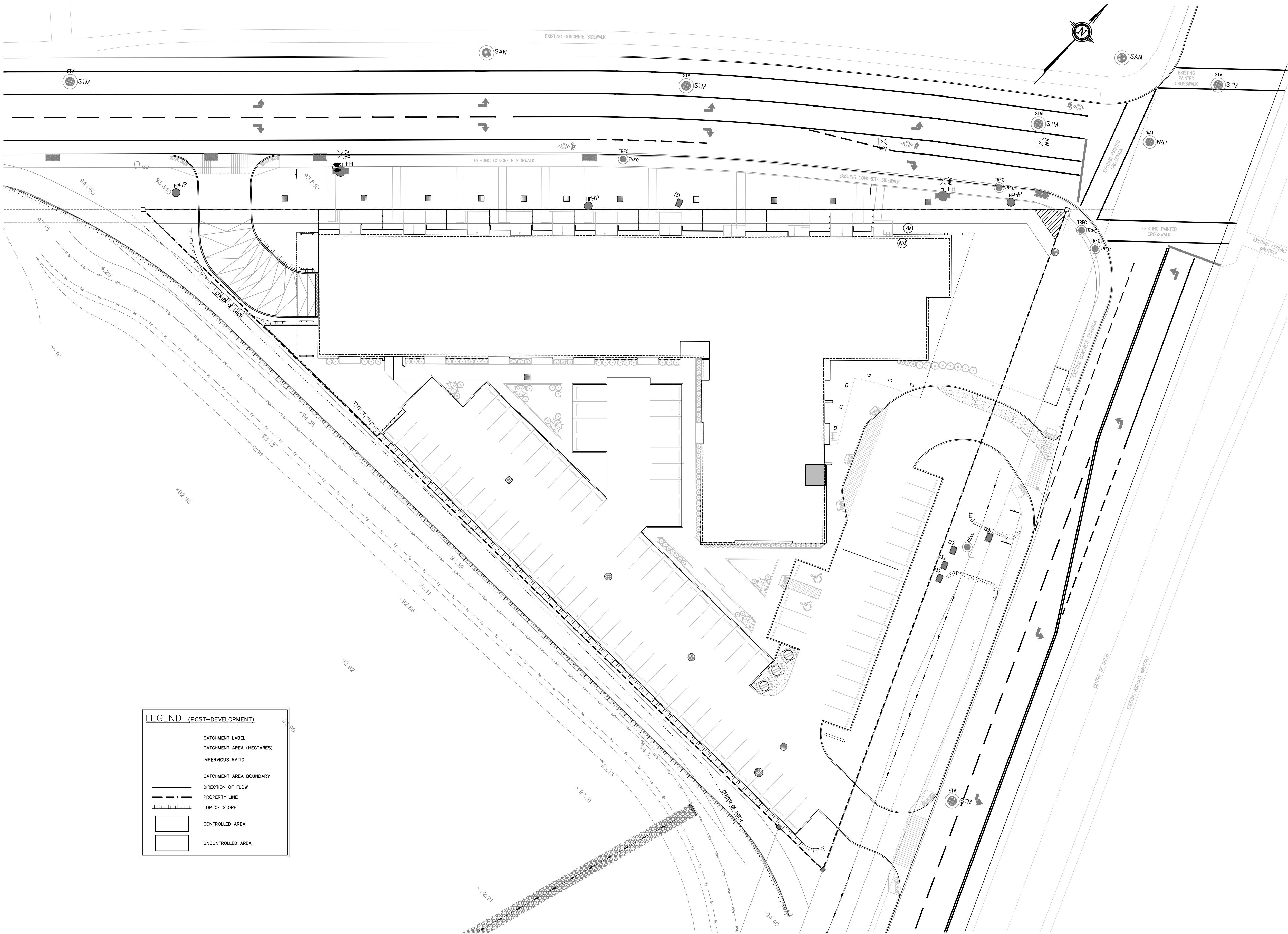
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SCALE 1:300	
PROJECT No. 180084	
SHEET SET 5 OF 8	



D07-12-18-0096

#17788

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LEGEND (POST-DEVELOPMENT)

CATCHMENT LABEL
CATCHMENT AREA (HECTARES)
IMPERVIOUS RATIO

CATCHMENT AREA BOUNDARY
DIRECTION OF FLOW
PROPERTY LINE
TOP OF SLOPE

CONTROLLED AREA
UNCONTROLLED AREA

POST-DEVELOPMENT CATCHMENT AREAS
SCALE = 1:300

DRAWING No. 180084-POSTCA

DRAWING
POST-DEVELOPMENT CATCHMENT AREAS

KEY PLAN:
N.T.S.

GENERAL PROJECT NOTES:

Subject to City Approval

8	ISSUED FOR CONSTRUCTION	2019/04/01	RR
7	ISSUED FOR CONSTRUCTION	2019/03/13	SD
6	NOT APPLICABLE TO THIS SHEET	2019/03/11	SD
5	REVISED AS PER 2nd MUNICIPAL COMMENTS	2019/02/20	RR
4	REVISED AS PER 2nd MUNICIPAL COMMENTS	2019/01/08	RR
3	REVISED AS PER MUNICIPAL COMMENTS	2018/12/11	RR
2	REVISED FOR INCL. IN SSMR	2018/09/11	RR
1	REVISED FOR SITE PLAN CONTROL	2018/08/13	RR
0	ISSUED FOR SITE PLAN CONTROL	2018/06/18	RR
No.	REVISION	DATE	BY

K Kollaard Associates
Engineers

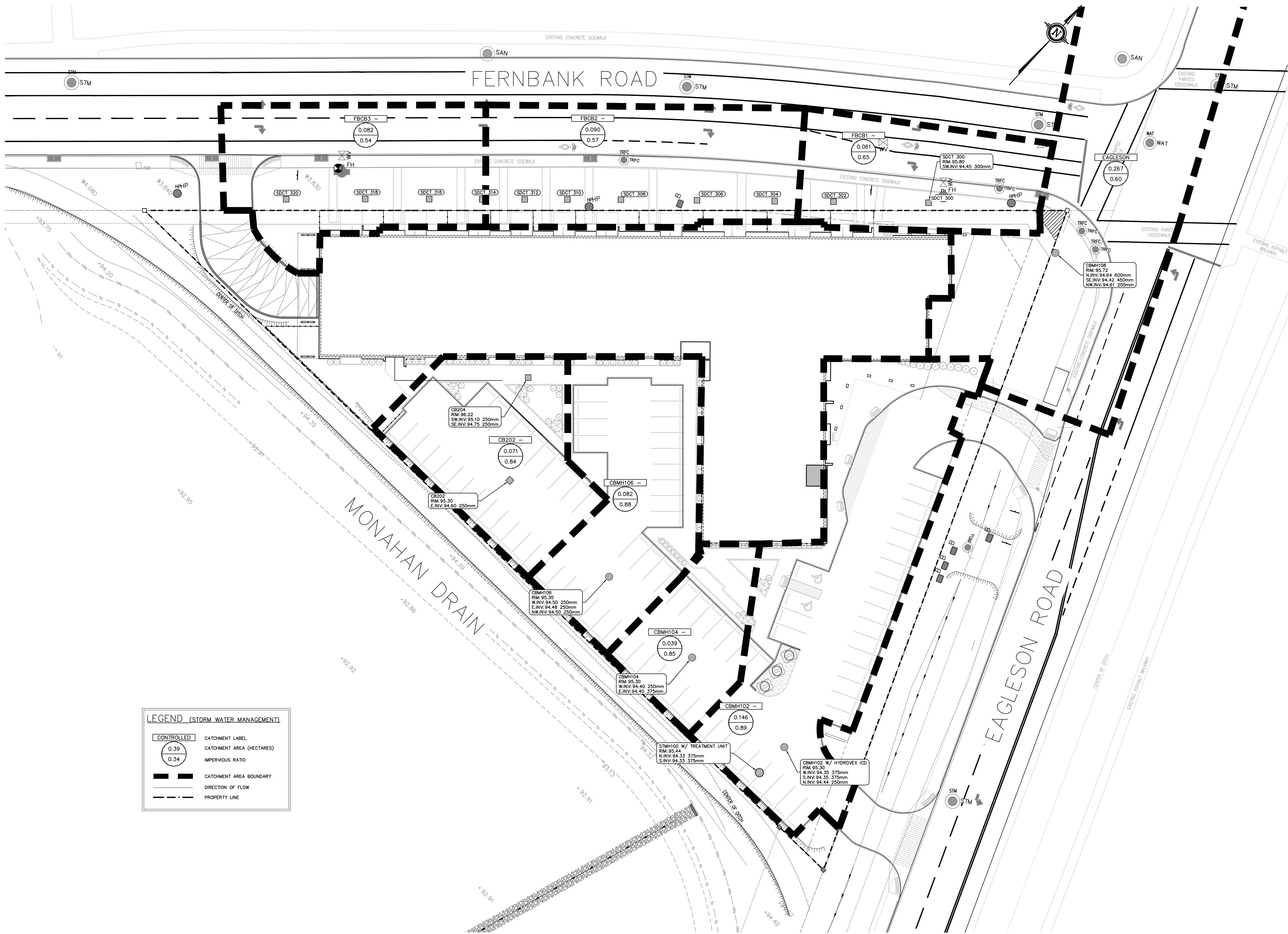
P.O. BOX 189, 210 PRESCOTT ST.(613) 860-0923
KEMPTVILLE, ONTARIO info@kollaard.ca
K0G 1J0 FAX (613) 258-0475
http://www.kollaard.ca

CLIENT NAME
IRONCLAD DEVELOPMENTS

PROJECT NAME
PROPOSED 6 STOREY
APARTMENT DEVELOPMENT

PROJECT LOCATION
800 EAGLESON RD
KANATA, ON
K2M 0A8

	DESIGNED BY SD	CHECKED BY SD
	DRAWN BY RR	APPROVED BY SD
	DATE 23.APR.2018	
	SCALE 1:300	
	PROJECT No. 180084	
SHEET SET 6 OF 8		



LEGEND (STORM WATER MANAGEMENT)

CONTROLLED	CATCHMENT LABEL
0.39	CATCHMENT AREA (HECTARES)
0.34	IMPERVIOUS RATIO
---	CATCHMENT AREA BOUNDARY
---	DIRECTION OF FLOW
---	PROPERTY LINE

STORM SEWER CATCHMENT AREAS
SCALE = 1:300

DRAWING No. 180084-SSCA

DRAWING
STORM SEWER CATCHMENT AREAS

KEY PLAN:
N.T.S.

GENERAL PROJECT NOTES:

Subject to City Approval

No.	REVISION	DATE	BY
5	REVISED AS PER 2nd MUNICIPAL COMMENTS	2019/02/20	RR
4	REVISED AS PER 2nd MUNICIPAL COMMENTS	2019/01/08	RR
3	REVISED AS PER MUNICIPAL COMMENTS	2018/12/11	RR
2	REVISED FOR INCL. IN SSMR	2018/09/11	RR
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Kollaard Associates
Engineers

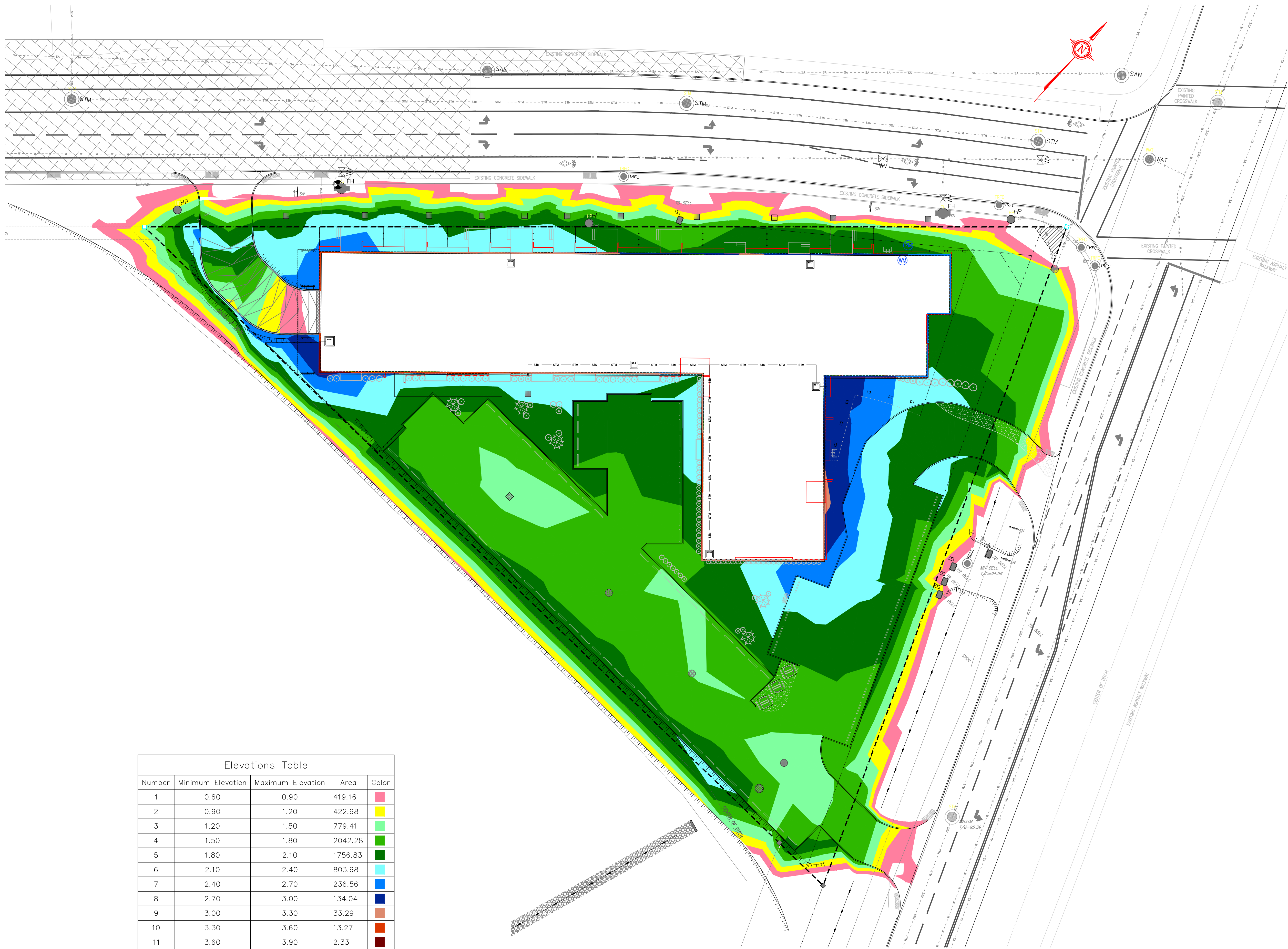
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CLIENT NAME
IRONCLAD DEVELOPMENTS

PROJECT NAME
PROPOSED 6 STOREY
APARTMENT DEVELOPMENT

PROJECT LOCATION
800 EAGLESON RD
KANATA, ON
K2M 0A8

	DESIGNED BY SD	CHECKED BY SD
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	DATE 23.APR.2018	
	SCALE 1:300	
	PROJECT No. 180084	
SHEET SET 7 OF 8		



Elevations Table				
Number	Minimum Elevation	Maximum Elevation	Area	Color
1	0.60	0.90	419.16	Pink
2	0.90	1.20	422.68	Yellow
3	1.20	1.50	779.41	Light Green
4	1.50	1.80	2042.28	Green
5	1.80	2.10	1756.83	Dark Green
6	2.10	2.40	803.68	Cyan
7	2.40	2.70	236.56	Blue
8	2.70	3.00	134.04	Dark Blue
9	3.00	3.30	33.29	Brown
10	3.30	3.60	13.27	Orange
11	3.60	3.90	2.33	Dark Red

GRADE RAISE PLAN
SCALE = 1:300

DRAWING No.
180084—GRRR

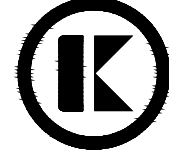
DRAWING
GRADE RAISE PLAN

KEY PLAN:
N.T.S.

GENERAL PROJECT NOTES:

Subject to City Approval

8	ISSUED FOR CONSTRUCTION	2019/04/01	RR
1-7	NOT APPLICABLE TO THIS SHEET	--/--/--	RR
No.	REVISION	DATE	BY



Kollaard Associates
Engineers

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CLIENT NAME
IRONCLAD DEVELOPMENTS

PROJECT NAME
PROPOSED 6 STOREY
APARTMENT DEVELOPMENT

PROJECT LOCATION
800 EAGLESON RD
KANATA, ON
K2M 0A8



DESIGNED BY SD	CHECKED BY SD
DRAWN BY RR	APPROVED BY SD
DATE 23.APR.2018	
SCALE 1:300	
PROJECT No. 180084	
SHEET SET 8 OF 8	

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D07-12-18-0096