

HDR Architecture Associates Inc.
300 Richmond Road, Suite 200, Ottawa, ON K1Z 6X6



Orleans Health Hub
(OHH)

2225 Mer-Bleue Road
Orleans, ON., K4A 3T8

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Project Designer	Jason Emery-Green, HDR
Project Architect	Jason Emery-Green, HDR
Landscaping Architect	Vertechs Design
Civil Architect	exp.
Structural Engineer	Cleland Jardine Engineering
Mechanical Engineer	Smith + Andersen
Electrical Engineer	Smith + Andersen
Interior Designer	Kerry Clifford, HDR
Equipment Planner	Colliers
Wayfinding	HDR
Drawn By	Chris Havers, HDR

MARK	DATE	DESCRIPTION
01.	Nov. 22/19	MOH.LTC Stages 3.2 Submission
02.	Apr. 11/18	Site Plan Control
03.	Nov. 02/18	Revised Site Plan Control
04.	Mar. 07/19	Revised Site Plan Control Review
05.	Mar. 25/19	Revised Site Plan Control Review
06.	Mar. 29/19	Revised Site Plan Control Review

Project Number 10053760
Original Issue



Sheet Name
**OHH -
REFERENCE SITE
PLAN**

Scale
Sheet Number

A002a

Project Status

ZONING INFORMATION SUMMARY

PROJECT ADDRESS:	2225 Mer-Bleue Road, Orleans, ON, K4A 3T8
OFFICIAL PLAN DESIGNATION:	Schedule 1A, Area C - Suburban Schedule B: Mixed Use Centre
ZONING CLASSIFICATION:	MC - Mixed-Use Centre Zone
ZONING:	MC[1812]
ZONING PROVISIONS:	Refer to Chart "A" Below
LOT FRONTAGE:	186.98m/613.46ft
LOT DEPTH:	428.96m/1,407.36ft
LOT SIZE (as per City of Ottawa data):	Total Site Area - 80,208.69m ² /19,820ac
NEW BUILDING GROSS FLOOR AREA:	3,785m ² /40,740ft ²
NEW BUILDING NET FLOOR AREA:	7,931m ² /85,370ft ²
PROPOSED LOT COVERAGE:	7,931m ² /80,208.69m ² = 9.89%
EXISTING LANDSCAPE COVERAGE:	N/A
PROPOSED LANDSCAPE COVERAGE:	21,667.07m ² (Building + Parking + Roadways) / 80,208.69m ² = 72.99%
REQUIRED PARKING:	As per City of Ottawa Zoning By-law 2008-250, Part 4 - Parking, Queuing and Loading Provisions, Section 101, Table 101, Item (N51) - 4 Stalls per 100m ² of Gross Floor Area New Building: 3,785m ² /40,740ft ² = 152 Stalls
PROVIDED PARKING:	249 Stalls provided
REQUIRED PARKING LOT LANDSCAPING:	As per City of Ottawa Zoning By-law 2008-250, Part 4 - Parking, Queuing and Loading Provisions, Section 110, Table 110(1) - Minimum 15% of Parking Lot Area Overall North Parking Area: 11,182.79m ² /120,371ft ² Interior Landscaped Area: 2,150.30m ² /23,146ft ² = 19.23% of Overall North Parking Area Minimum Required Landscape Buffer Width, as per Table 110, Column IV - 3.0m Minimum Provided Landscape Buffer Width - 7.96m (to drive aisle)
PROVIDED BICYCLE PARKING:	There is currently 1 set of bicycle racks for multiple bicycles located at the East, North and West entrances, the minimum requirements will be exceeded with these bicycle rack installations.
REQUIRED BICYCLE PARKING:	As per City of Ottawa Zoning By-law 2008-250, Part 4 - Parking, Queuing and Loading Provisions, Section 111, Table 111A, Item (i) - 1 Stall per 1,500m ² of Gross Floor Area New Building: 3,785m ² /40,740ft ² = 3 Stalls
PROVIDED BICYCLE PARKING:	There is currently 1 set of bicycle racks for multiple bicycles located at the East, North and West entrances, the minimum requirements will be exceeded with these bicycle rack installations.
REQUIRED LOADING SPACES:	As per City of Ottawa Zoning By-law 2008-250, Part 4 - Parking, Queuing and Loading Provisions, Section 113, Table 113A, Item (d)(v) - 1 Stall per 2,000m ² - 4,999m ² of Gross Floor Area New Building: 3,785m ² /40,740ft ² = 1 Stall
PROVIDED LOADING SPACES:	There are currently 2 Oversized Spaces provided for the shipping and receiving of materials that measure 4.3m(W) x 15.0m(L) and have a vertical clearance greater than 4.2m. All of these dimensions either meet or exceed the requirements as outlined in Table 113B - Regulations for Vehicle Loading Spaces.

CHART "A"

ZONING PROVISIONS

(As per City of Ottawa Zoning By-Law 2008 - 250, Part 10 - Mixed Use/Commercial Zones for Property Designation "MC[1812]")

ZONING MECHANISMS (As per Table 191)	ZONE PROVISIONS (As per Table 191)	PROVIDED
(a) Minimum Lot Width (m)	No Minimum	Mer-Bleue Road - 139.23m Brian Coburn Boulevard - 147.50m
(b) Minimum Lot Area (m ²)	No Minimum	80,208.69m ²
(c) Minimum Front Yard and Corner Side Yard Setback (m)	(i) 3.0m (ii) 2.0m (iii) No Minimum	(i) 34.35m (Front Yard - Mer-Bleue Rd.) (ii) N/A (iii) 9.79m (Corner Side Yard - Brian Coburn Blvd.)
(d) Minimum Interior Side Yard Setback (m)	(i) 3.0m (ii) 2.0m (iii) No Minimum	(i) N/A (ii) 132.69m (iii) N/A
(e) Minimum Rear Yard Setback (m)	(i) 6.0m (ii) 2.0m (iii) No Minimum	(i) 55.00m/198.79m (ii) N/A (iii) N/A
(f) Maximum Floor Space Index	No maximum, unless otherwise shown on the zoning map	Current GFA: 3,785m ² FSI: 0.047
(g) Minimum Building Height (m)	(i) For all uses within 400m of a Rapid Transit Station, other than a gas bar where it is permitted as an exception (ii) Other Cases	(i) 12.65m (ii) No Minimum
(h) Maximum Building Heights (m)	(i) In any area up to and including 20m from a property line abutting a R1, R2, R3 or R4 Zone (By-law 2011-124) (ii) In any area over 20m and up to and including 30m from a property line abutting a R1, R2, R3 or R4 Zone (By-law 2011-124) (iii) In all other cases	(i) 11m (ii) 20m (iii) No maximum, or as shown by the suffix "H", on a zoning map, or specified in a subzone or exception where applicable
(i) Minimum Width of Landscaped Area (m)	No minimum, except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces or outdoor commercial patio, the whole yard must be landscaped	(i) 12.65m

EXCEPTION 1812 - Applicable Provisions

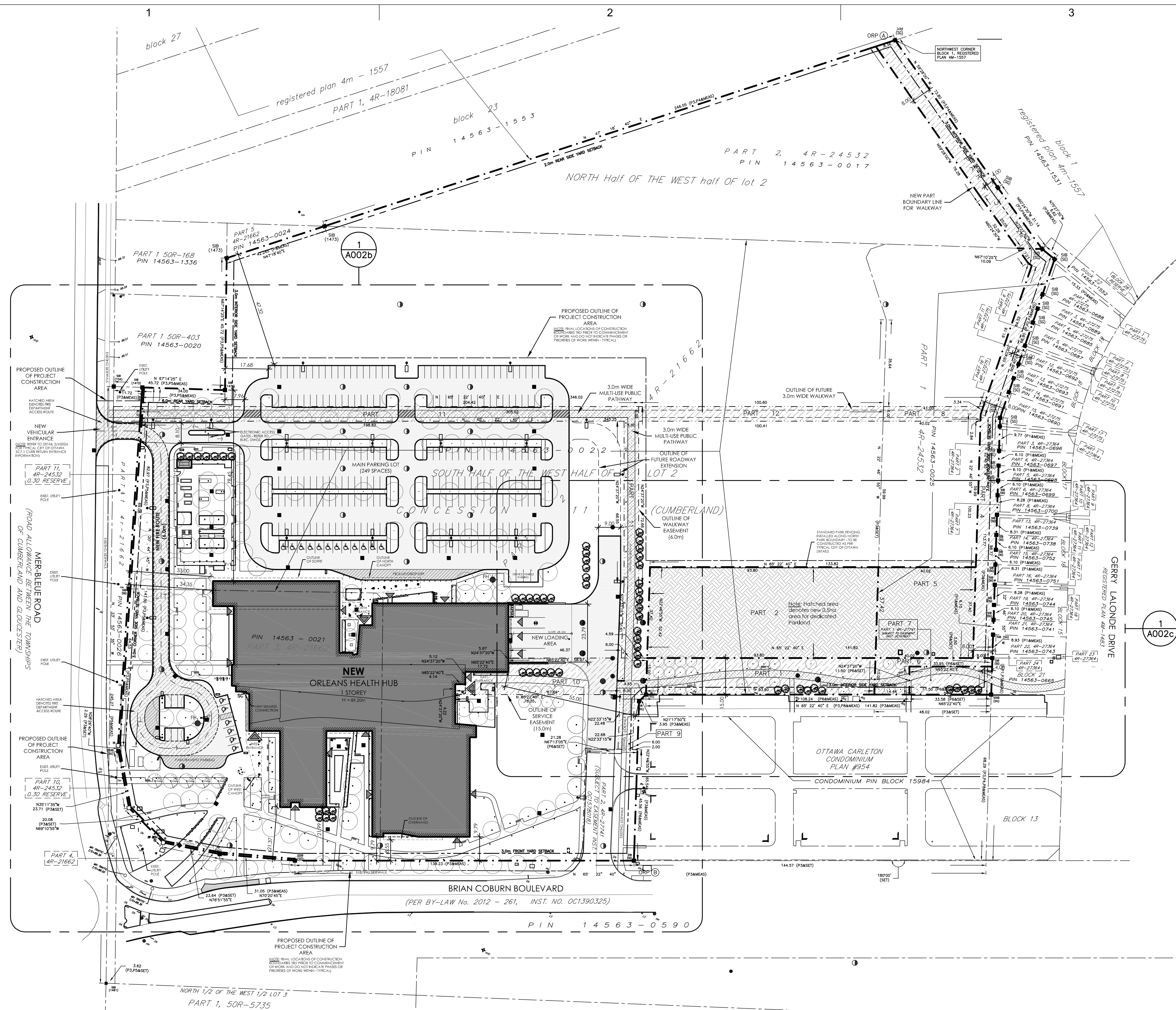
ZONING MECHANISMS	ZONE PROVISIONS	PROVIDED
(a) Maximum Building Height	10 Storeys	1 Storey + Mechanical (12.65m)
(b) Required landscaped buffer adjacent to a Residential Zone	4.0m	7.46m is closest dimension
(c) Required landscaped buffer between surface parking and Transit Corridor	3.0m	47.32m is closest dimension
(d) All garbage, service, and loading areas must be screened by a 2.4 meter high wall or enclosure which is in keeping with the architectural treatment of the main building		Refer to Detail 2/A002C
(e) Storage must be completely enclosed within a Building		Confirmed
(f) In a parking area, a maximum of 20 spaces positioned side by side without a landscaped island are permitted		The 20 space maximum has been observed
(g) The minimum required width of a landscaped island is 2 meters	2.0m	The 2.0m minimum width has been observed
(h) The required parking rate may be reduced by 25%		Not applied to this project

ASPHALT TABLE - ACCESS ROADS & PARKING AREAS

Pavement Layer	Table X: Recommended Pavement Structure Thicknesses		
	Compaction Requirements	Light Duty Parking Areas	Heavy Duty Parking Areas and Access Roads
Asphaltic Concrete (PG 58-34)	92 to 97 % MRD	65 mm - SP12.5 Cat B or HL3	40 mm - 12.5 Cat B/HL3 50 mm - 19 Cat B/HL3
Granular A Base (OPSS1010) (Landscape Intention)	100% SPMD0	150 mm	150 mm
Granular B Sub-base, Type II (OPSS1010)	100% SPMD0	450 mm	600 mm

SPMD0 denotes Standard Proctor Maximum Dry Density, ASTM-D698-12e2
MRD denotes Maximum Relative Density, ASTM D2041

REFER TO DETAILED GEOTECHNICAL INVESTIGATION REPORT PERFORMED BY EXP SERVICES INC. PROJECT #017-00004904-AD DATED MARCH 14, 2018



1 REFERENCE SITE PLAN
A002a Scale - 1:1000

SITE NOTE
REFER TO CIVIL DOCUMENTS FROM EXP FOR INFORMATION RELATED TO SITE GRADING AND DRAINAGE.

TOPOGRAPHIC PLAN OF SURVEY of PART OF LOT 2 CONCESSION 11 (GEOGRAPHIC TOWNSHIP OF CUMBERLAND) CITY OF OTTAWA

Scale 1:1000
0 10 20 30 METRES

ORIGINAL SURVEY

Stantec Geomatics Ltd.
400 - 1331 Clyde Avenue
Ottawa ON
Tel. 613.722.4420
www.stantec.com
PROJECT NO. 161613659-111, SURVEY DATED APRIL 9, 2018

METRIC CONVERSION

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

HORIZONTAL DATUM NOTE

PROJECTION: MODIFIED TRANSVERSE MERCATOR (MTM, ZONE 9, CM76°30'W)
DATUM: NAD 83 (ORIGINAL)

DISTANCES ON THIS PLAN MAY BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.99967.

VERTICAL DATUM NOTE

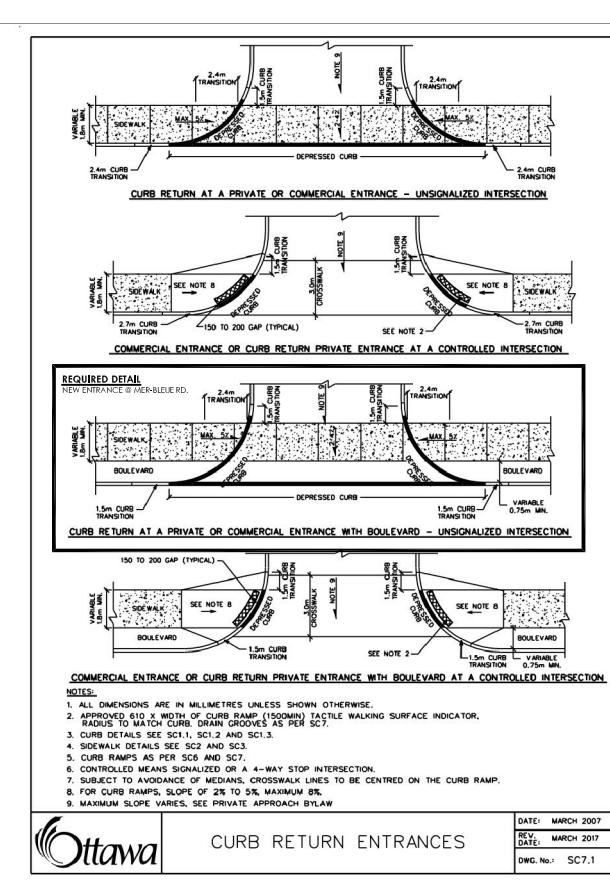
ELEVATIONS SHOWN HEREON ARE GEODETIC (CGVD-1928/1978) AND ARE DERIVED FROM THE CAN-NET VRS NETWORK MONUMENT; OTTAWA ELEVATION=95.230.

BEARING NOTE

BEARINGS HEREON ARE GRID BEARINGS DERIVED FROM HORIZONTAL CONTROL MONUMENTS 19680217 (N 5033507.11 E 379109.89) AND 19680191 (N 5033564.26 E 388064.94) AND ARE REFERRED TO THE CENTRAL MERIDIAN 76° 30' WEST LONGITUDE OF THE 37TH MTM ONTARIO COORDINATE SYSTEM, NAD83 (ORIGINAL) ZONE 9.

UTILITY NOTE

LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE AND ARE PER THE CITY OF OTTAWA. PLAN & PROFILE DRAWINGS 16634 SHEET NO. 1, P. 2, P. 3, P. 4, P. 9, P. 10 AND 16052 SHEET NO. 106 AND CITY SHEETS H-32-20, H-32-26, H-32-42 AND H-32-63 AND MUST BE REFERRED PRIOR TO CONSTRUCTION.



2 TYPICAL CURB DETAILS
A002a Scale - N.T.S.

LEGEND	
---	PROPERTY LINES
---	SETBACK LINES
■	NEW BUILDING
■	NEW ASPHALT
■	NEW PUBLIC MULTIPLE USE PATHWAY
■	NEW DESIGNATED FIRE ACCESS ROUTE
■	NEW EASEMENT
■	NEW PARKLAND
---	EXISTING CURB
---	NEW CURB
→	TRAFFIC DIRECTION
→	PRIMARY ENTRANCE/EXIT
→	SECONDARY ENTRANCE/EXIT
→	NEW BENCH
---	NEW BUILDING ROOF OUTLINE
---	NEW BUILDING/CANOPY COLUMN
---	NEW ORNAMENTAL FENCE
---	NEW DECIDUOUS TREE
---	NEW CONIFEROUS TREE
---	NEW BIKE RACK
■	NEW CATCHBASIN
○	NEW STORM CATCHBASIN MANHOLE
○	NEW SANITARY MANHOLE
○	NEW TRENCH DRAIN
○	NEW ROOF SCUPPER
○	NEW FIRE HYDRANT
○	NEW SIAMSE CONNECTION
○	NEW BOLLARD LIGHT
○	NEW DOWN LIGHT
○	NEW UP LIGHT
○	NEW LIGHT COLUMN
○	NEW LIGHT STANDARD
○	NEW ELECTRICAL OUTLET
○	NEW FLAG POLE
○	NEW BOLLARD