

SITE PLAN APPLICATION REVISION No.: D-01-12-11-0041

SURVEY INFORMATION TAKEN FROM:
 TOPOGRAHICAL PLAN OF SURVEY PART OF LOTS 16, 18 & 20 SOUTH OF SPARKS STREET (NUMBERING RESTRICTIONS AND PART OF LOTS 14 & 20 NORTH OF GREEN STREET (NUMBERING RESTRICTIONS), REGISTERED PLAN 3922

CITY OF OTTAWA
 STANTEC GEOMATICS LTD

CIVIL ADDRESS: 412 SPARKS STREET, OTTAWA, ONTARIO
ZONING: GENERAL HOUSING USE, GH2F 5006
SITE AREA: 1,963.03m²
PROPOSED USE: RETIREMENT HOME + 2 LEVELS OF UNDERGROUND PARKING GARAGE
BUILDING FOOTPRINT (ABOVE GRADE): 1,070.00m²

ZONING SUMMARY:

	REQUIRED	PROVIDED
MIN. LOT AREA	NO MINIMUM	1,963.03m ²
MIN. LOT WIDTH	NO MINIMUM	41.904m
BUILDING HEIGHT	35m MAX. (PER SCHEDULE 206 TO ZONING BY-LAW No. 2005-250)	63.50m (incl. penthouse)

YARDS: AS PER SCHEDULE 206 TO ZONING BY-LAW No. 2005-250

	REQUIRED	PROVIDED
SPARKS STREET YARD AT GRADE	6.5m	4.7m
YARD AT 90° CORNER	12.2m	N/A
YARD ABOVE 9m	3.25m	N/A
QUEEN STREET YARD AT GRADE	8.4m	15.8m (FROM 0-13.8m)
YARD ABOVE 9m	22.375m	19.8m (ABOVE 19.8m)
EAST SIDE YARD YARD ABOVE GRADE TO 6m	1.9m	1.5m
YARD ABOVE 6m	0.6m	0.6m
WEST SIDE YARD FROM CATHEDRAL'S BUTTRESSES	5.2m	3.3m
FROM CATHEDRAL'S TRANSEPT	4.3m	4.3m
FROM PROPERTY LINE	N/A	3.6m
BACK YARD BEHIND 401 & 411 QUEEN ST.	3.0m	3.0m
BEHIND 407 QUEEN ST.	0.9m	1.5m

AMENITY

	REQUIRED	PROVIDED
RETIREMENT HOME (141 ROOMING UNITS + 11 APARTMENTS)		
TOTAL AMENITY AREA	1,001m ²	1,609m ²
6m ² PER DWELLING UNIT + 10% OF G.F.A. (6m ² x 22 APART + 10% x 1,070)		
COMMUNAL AMENITY AREA	50m ²	50m ²
50% OF REG'D TOTAL AMENITY AREA		
TOTAL AMOUNTS OF AMENITY AREA	1,502m ²	2,140m ²

VEHICULAR PARKING:

	REQUIRED	PROVIDED
RETIREMENT HOME (52 DWELLING UNITS) AS PER SECTION 10(2) AREA SHOWN AS AREA 2 ON SCHEDULE 1, IN OFF-STREET MOTOR VEHICLE PARKING IS REQUIRED TO BE PROVIDED	0	4-42
VISITOR PARKING (40 DWELLING UNITS) AS PER SECTION 10(2) WITHIN AREA 2, NO VISITOR PARKING SPACES ARE REQUIRED FOR THE FIRST 12 DWELLING UNITS	14	14
ADDITIONAL PARKING REQ'D FOR CATHEDRAL USE SPACES RESERVED FULL TIME FOR USE BY THE CATHEDRAL	0	10
SPACES RESERVED AS 'TRUCK' FOR USE BY CATHEDRAL FOR MAJOR EVENTS	0	15
TOTAL VEHICULAR PARKING	14	47-66

BICYCLE PARKING

	REQUIRED	PROVIDED
RETIREMENT HOME (52 ROOMING UNITS) 0.25 PER DWELLING UNIT OR ROOMING	36	18
TOTAL BICYCLE PARKING	36	18

BUILDING SUMMARY:

	GROSS FLOOR AREA (ZONING BY-LAW)	UNIT COUNT
BASEMENT LEVEL (w/ parking)	0m ²	0
LEVEL P1 PARKING	0m ²	0
LEVEL P2 PARKING	0m ²	0
GROUND FLOOR (Amenities)	0m ²	0
LEVEL 2 (Admin + Amenities)	103m ²	11
LEVEL 3 (Assisted Living)	450m ²	11
LEVEL 4-12 (Independent Living)	6,132m ²	44
G.F.A. 14th FLOOR x 4 FLOORS	1,500m ²	20
LEVEL 15-16 (Independent Living)	1,500m ²	10
LEVEL 17-18 (Independent Living Apartments)	3,600m ²	4
LEVEL 19 (Independent Living Apartments + Amenities)	0m ²	0
LEVEL 19 (Amenities)	10,129m ²	152

Owner / Developer
 Cathedral Hills GP Inc.
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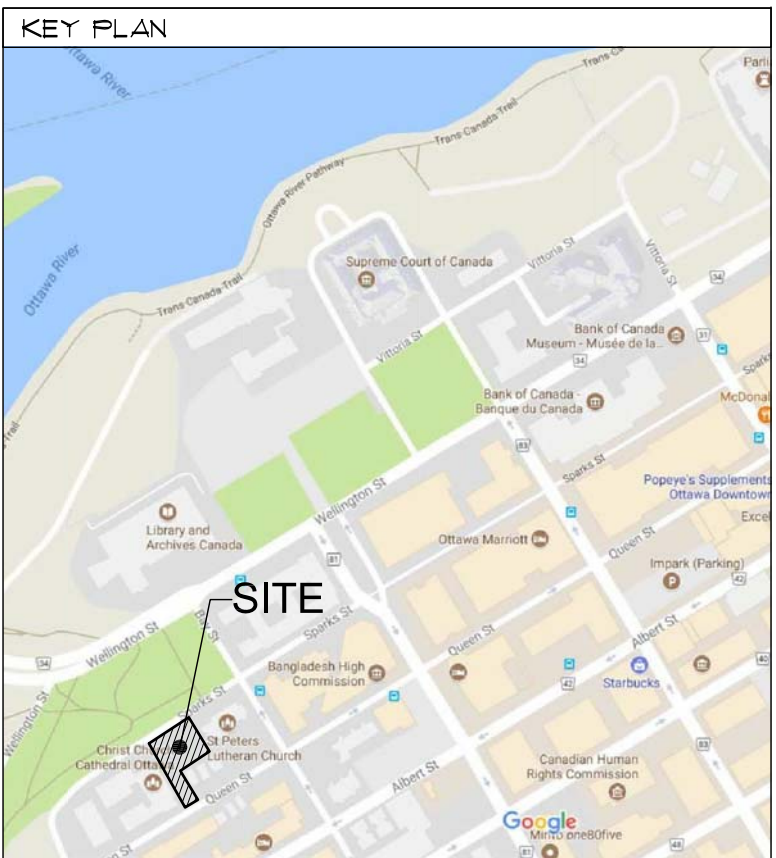
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Signature RETIREMENT LIVING

REICHMANN SENIORS HOUSING DEVELOPMENT CORP.

SITE PLAN LEGEND:

- INDICATES TREE PLANTING; SEE LANDSCAPE DINGS.
- INDICATES SHRUB-PERENNIAL PLANTING; SEE LANDSCAPE DINGS.
- INDICATES RAISED PLANTER; SEE LANDSCAPE DINGS.
- INDICATES LANDSCAPE WALL; SEE LANDSCAPE DINGS.
- INDICATES UNIT PAVING TYPE 1; SEE LANDSCAPE DINGS.
- INDICATES UNIT PAVING TYPE 2; SEE LANDSCAPE DINGS.
- INDICATES UNIT PAVING TYPE 3 (PAVING BAND); SEE LANDSCAPE DINGS.
- INDICATES CONCRETE PAVING; SEE LANDSCAPE DINGS.
- INDICATES BENCH/SEAT; SEE LANDSCAPE DINGS.
- INDICATES CAFE STYLE SEATING; SEE LANDSCAPE DINGS.
- INDICATES BIKE PARKING; SEE LANDSCAPE DINGS.
- INDICATES LIGHTING BOLLARDS; SEE LANDSCAPE DINGS.
- INDICATES PROPERTY LINE.
- INDICATES EXTENT OF EXCAVATION LINE FOR TUNNEL.

no.	date	revision
2	MAR. 11/19	ISSUED FOR SITE PLAN CONTROL APPLICATION
1	FEB. 20/18	ISSUED FOR ZONING BY-LAW AMENDMENT APPLICATION

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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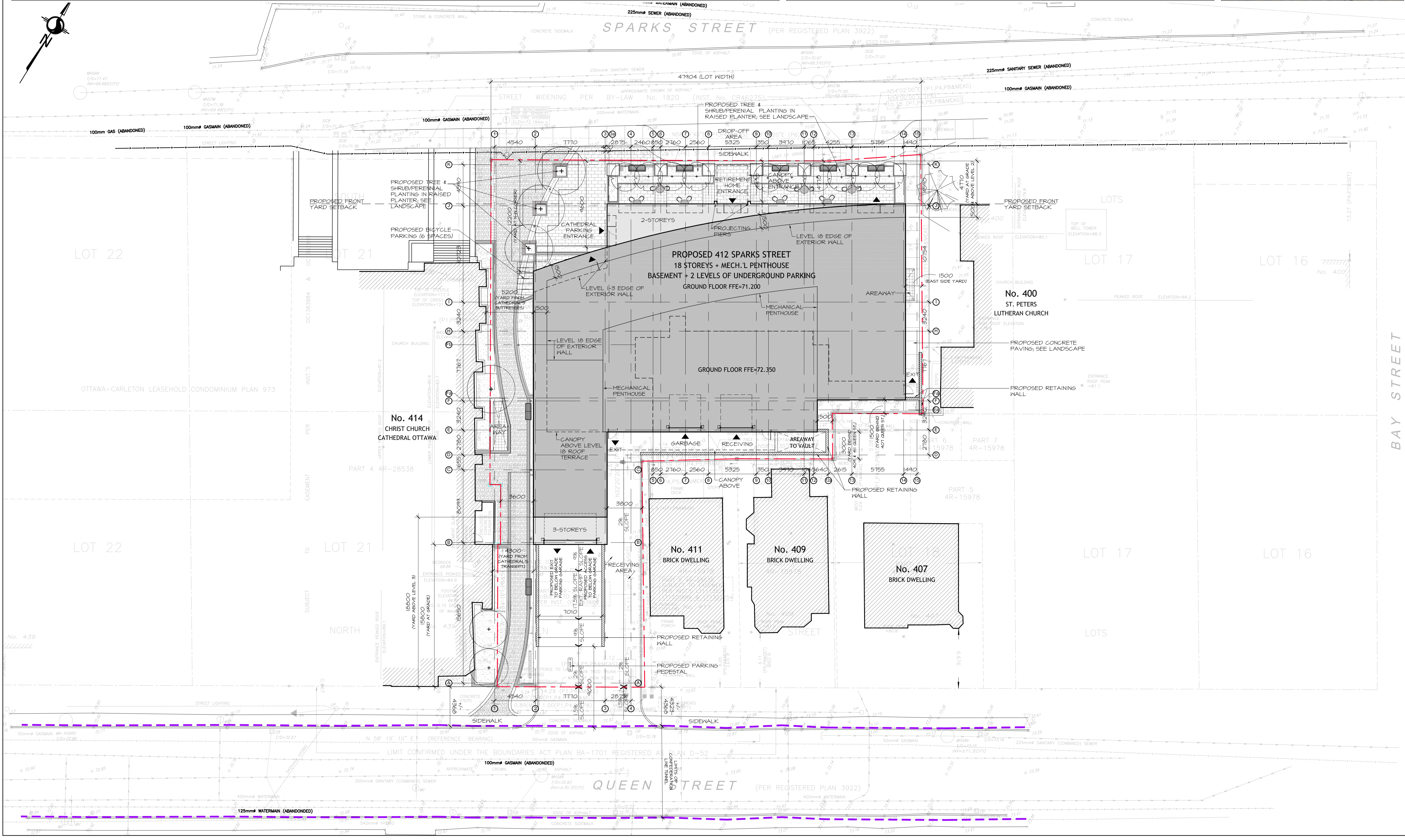


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PROJECT/LOCATION:
 OTTAWA RETIREMENT RESIDENCE BY SIGNATURE
 412 Sparks Street, Ottawa ON

DRAWING TITLE:
 SITE PLAN

DRAWN BY: ML	DATE: DEC 2018	SCALE: 1:200
PROJECT: 1742	DRAWING NO.: A1.01	REVISION NO.:



None