

FOTENN

412 SPARKS STREET





Prepared for:

Cathedral Hills GP Inc.
c/o: Reichmann Seniors Housing
Development Corp.
22 St. Clair Avenue East, Suite 1200
Toronto, ON M4T 2S3

Ottawa Retirement Residence by
Signature

Signature
RETIREMENT LIVING

www.signatureretirementliving.com

Prepared by:

FOTENN Planning + Design

Fotenn Planning + Design
223 McLeod Street
Ottawa, ON K2P 0Z8
fotenn.com

February 21, 2019

1.0 INTRODUCTION

3

Fotenn Consultants Inc., acting as agents for Cathedral Hills GP Inc. c/o: Reichmann Seniors Housing Development Corp. (RSH), is pleased to submit this Planning Rationale report in support of an application for Zoning By-law Amendment to permit a multi-storey retirement home on the lands municipally known as 412 Sparks Street in the Centretown community of the City of Ottawa. For clarity, RSH is a developer of retirement communities throughout Ontario and Signature Retirement Living is its sister company established to operate these communities. Each community has its own specific ownership company. For this project, RSH, is acting on behalf of Cathedral Hills GP Inc. In addition to the Zoning By-law Amendment application, RSH also intends to submit a Site Plan Control Application and an application for new construction in a Heritage Conservation District while the Zoning By-law Amendment application is being processed.

1.1 Application History

In 2011, a Zoning By-law Amendment application (File No. D02-02-10-0094) was filed by Windmill Developments and approved by City Council. The purpose of the amendment was to permit the development of a multi-building, mixed-use development at the Christ Church Cathedral site. The site includes the properties municipally known as 407, 439, 441, 443, 445 Queen Street and 412 Sparks Street which are often referred to as the “Ecclesiastical Block”. The Zoning By-law Amendment resulted in the removal of the Heritage Overlay for 412 Sparks Street and a site-specific zoning schedule, which specified permitted building heights and setbacks for a 21-storey residential apartment building, a 12-storey office building, and a new Cathedral Hall.

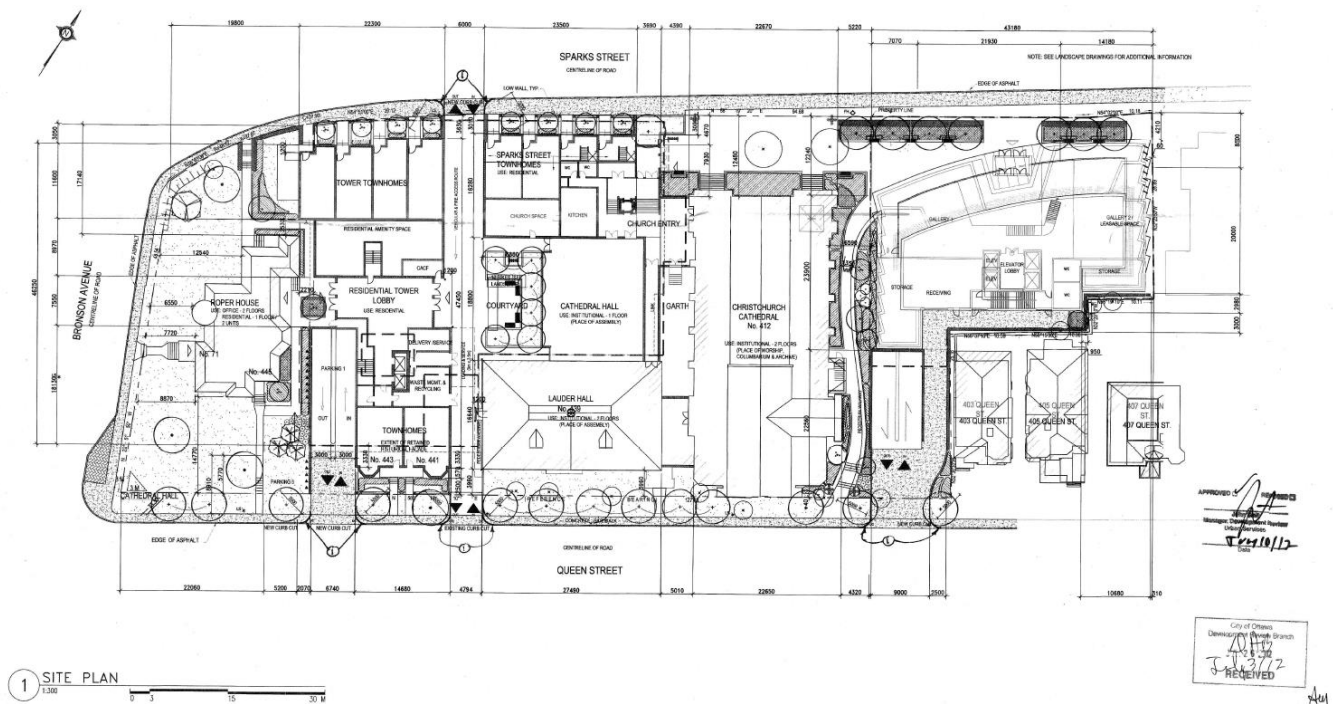


Figure 1: Originally Approved Site Plan (2012), HOK Architects Corporation

In accordance with the approved Zoning By-law Amendment, a Site Plan Control application (File No. D07-12-11-0047) was approved in 2012 for the Ecclesiastical Block to permit the construction of the 21-storey residential apartment building with a three (3) storey townhouse base fronting on both Sparks Street and Queen Street, an 11-storey office building with ground floor commercial uses, and a new Cathedral Hall. Through the approval, Christ Church Cathedral, Roper House, Lauder Hall and a portion of the semi-detached dwelling on Queen Street were retained and incorporated into the new development.

A Heritage Application was also submitted and approved in 2011 to permit new construction of the office building in a Heritage District and issue a Heritage permit for the construction of the office building with a three (3) year expiry date. The Heritage Permit has now lapsed, and a new heritage application is required for new construction to occur at 412 Sparks Street.

Prior to the approval of the proposed development, the applicant presented designs to the Urban Design Review Panel (UDRP) on multiple occasions, including informal pre-consultation reviews in December 2011, January 2011 and February 2011 as well as a formal review in April 2011.

Since the approval, all the buildings have been constructed with the exception of the office building. In 2017, RSH began investigating the possibility of replacing the office tower at 412 Sparks Street with a multi-storey retirement home. As part of their due diligence, RSH has met with city staff, members of the community association, the ward councillor, and submitted preliminary designs for an informal review by the UDRP. RSH is now moving forward with the development applications required for the retirement home, which will include a Zoning By-law Amendment application, Site Plan Control application, and a Heritage application.

2.0 SURROUNDING AREA AND SITE CONTEXT

2.1 Subject Site

The subject site is municipally known as 412 Sparks Street and is located mid-block between Bay Street and Bronson Avenue. The site is a through lot that has frontage on both Sparks Street (north) and Queen Street (south) and occupies approximately 1,963 square metres of the Ecclesiastical Block.

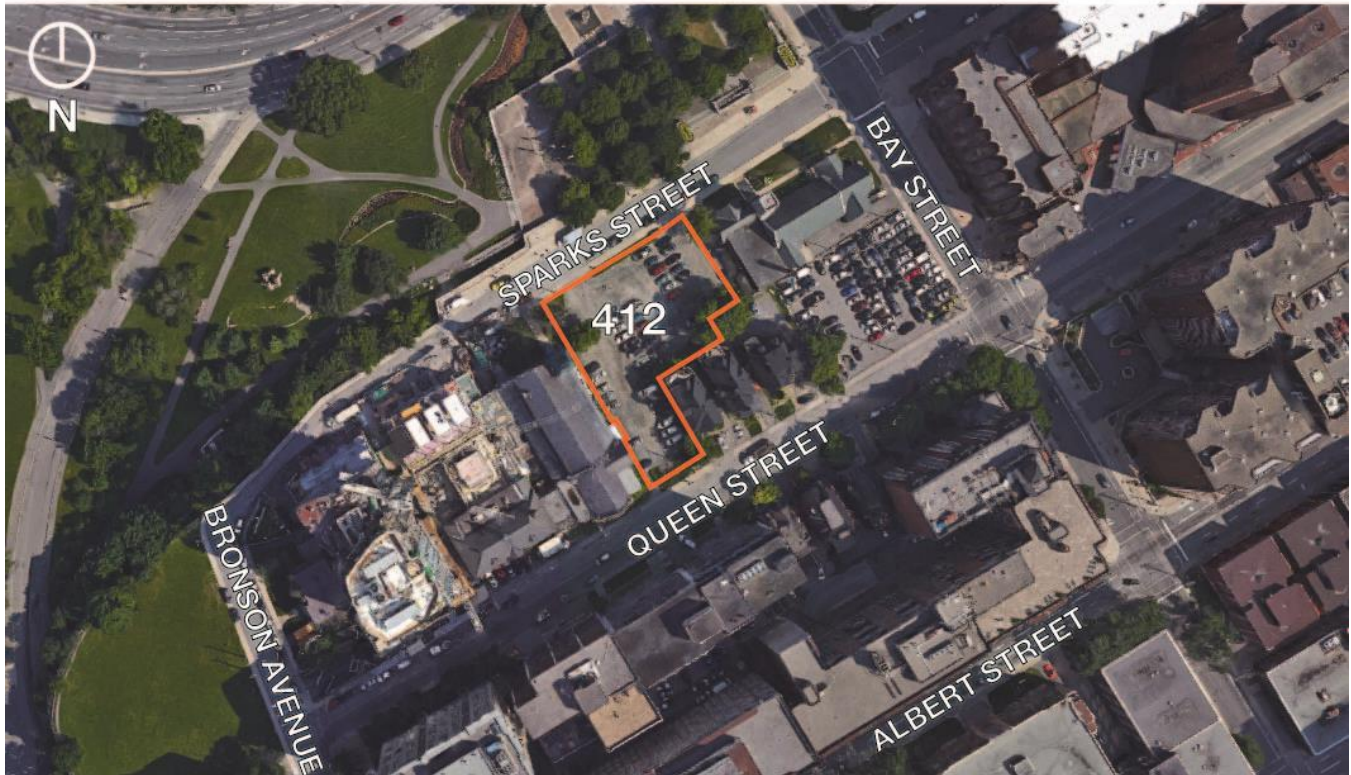


Figure 2: Aerial image of the subject site.

The property is currently occupied by surface parking spaces and owned by the Christ Church Cathedral. The name of the surrounding area and heritage conservation district, Cathedral Hill, reflects the importance of the Christ Church Cathedral in not only the community but in Ottawa's cultural identity. The subject site is currently owned by the Anglican Diocese of Ottawa, who will be leasing the land to the applicant (Cathedral Hills GP Inc. for RSH) for redevelopment of the site. As such, the Cathedral and RSH have worked together on a vision for the project that respects and enhances the important cultural heritage resources within the Cathedral Hill Ecclesiastical Block.



Figure 3: View of the subject site and the Christ Church Cathedral from Sparks Street, looking southwest.



Figure 4: View of the subject site from Queen Street, at the rear of the Christ Church Cathedral, looking north.

2.2 Surrounding Area

The following is a description of the surrounding land uses:

North: Across Sparks Street from the subject site is the Garden of the Provinces and Territories, a 1.6-hectare terraced garden celebrating the provinces and territories of Canada and acting as a western gateway along Confederation Boulevard (Wellington Street) to the Parliament buildings. Further north is the Library and Archives of Canada and the Ottawa River.



Figure 5: View looking south of the Garden of the Provinces and Territories from Wellington Street. Christ Church Cathedral and Sparks Street are visible in the background.

East: To the east of the subject site along Sparks Street is St. Peter's Lutheran Church and associated pay-lot surface parking lot. Further east across Bay Street is a 12-storey office building and the West Memorial Building.



Figure 6: View of St. Peter's Lutheran Church from Sparks Street, looking southwest.



Figure 7: View of the three (3) Queen Anne Revival houses located directly south along Queen Street.

South: Directly south and fronting on the north side of Queen Street are three (3) low-rise, multi-unit dwellings in converted single-detached heritage houses. These houses are designed in the Queen Anne Revival style, as is noted in the Cultural Heritage Impact Statement submitted for the original Windmill applications. Across Queen Street from the subject site is a block containing primarily high-rise residential, hotel and office buildings typical of the Centretown area, with some active uses at grade. A row of four (4) heritage single-detached houses are located on the south side of Queen Street. These buildings now appear to incorporate some non-residential uses.

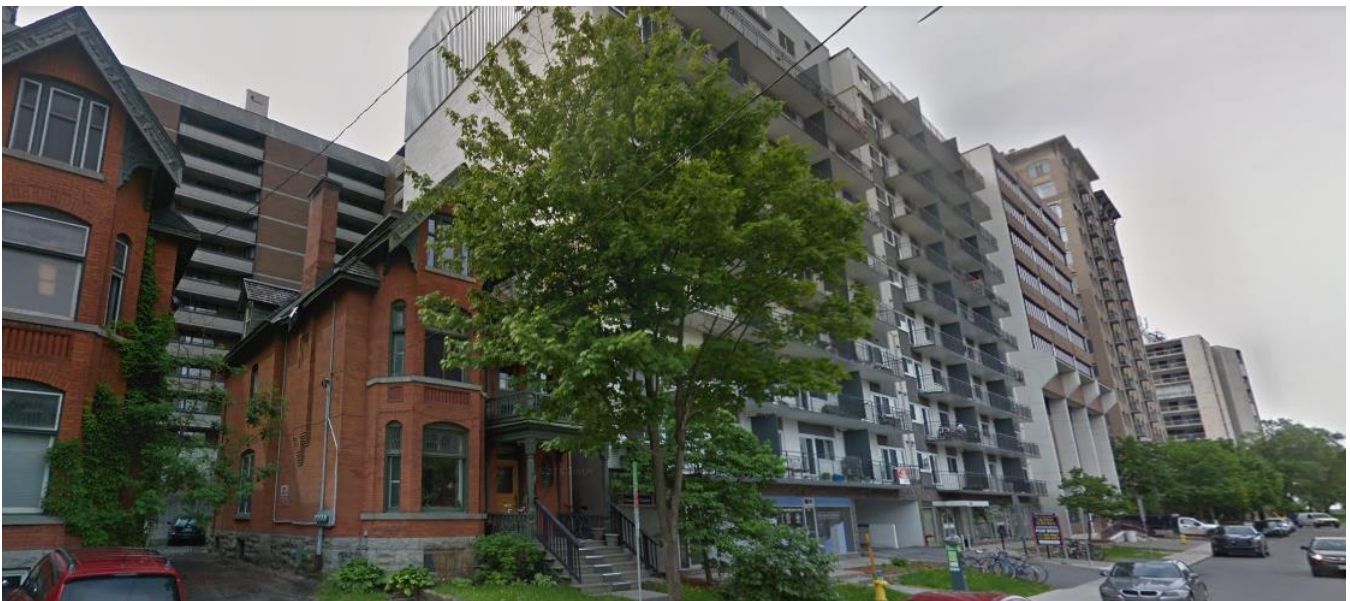


Figure 8: View from Queen Street of the high-rise apartment dwelling and low-rise converted dwelling south of the subject site, looking southwest.

West: Immediately adjacent to the west of the site is the Christ Church Cathedral, the namesake for the Cathedral Hill area and Heritage Conservation District. The 21-storey residential building and new Cathedral Hall proposed by Windmill Developments are fully constructed and integrated with the Cathedral. On the Sparks Street side, a row of townhouses separates the Cathedral from the residential tower. On the Queen Street side, a semi-detached heritage building has been incorporated into the building's podium. Vehicular access to the underground parking garage serving this building is provided from Queen Street.

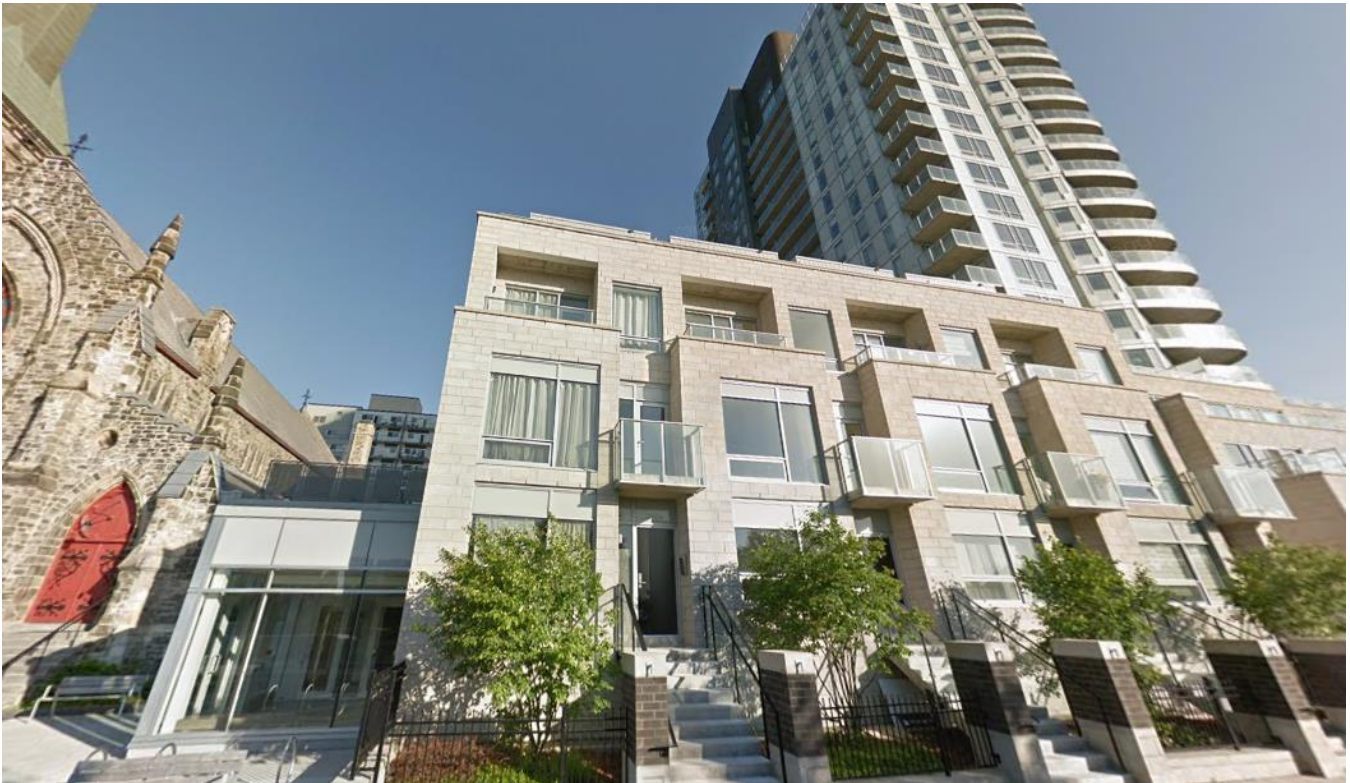


Figure 9: View looking south from Sparks Street of the townhouses and high-rise residential tower adjacent to and integrated with the Cathedral, partially visible on the left of this image.

2.3 Ecclesiastical Block's Heritage Resources

Christ Church Cathedral was founded in 1832 and is considered to be of the Victorian Gothic Revival architectural style. Other prominent buildings of this style in the City include the heritage buildings of Parliament Hill, all of which contribute to a visually unique and interesting heritage area in the downtown core. Victorian Gothic Revival architecture is defined by steeply pitched gable roofs, wall dormers, polygonal chimney orts, hood molds over windows, gingerbread trim along eaves, gabled edges and pointed arches. Over the years, the Church underwent significant changes. The original church was demolished in 1872 and was subsequently rebuilt with the current Christ Church Cathedral building.

In the 1970s, the three (3) Queen Anne Revival houses directly south of 412 Sparks Street were proposed for demolition. This proposal triggered a closer look at the Ecclesiastical Block and its heritage buildings. As a result of this study, the Cathedral Hill Heritage Conservation District was enacted in 1989 as By-law 286-89. The three (3) Queen Anne Revival houses were retained and now serve as multi-tenant residential buildings.

The Lutheran Church to the east of the subject property elected to remain outside of the Heritage Conservation District. The Garden of the Provinces and Territories is included within the district's boundaries.

As mentioned, other heritage resources were further considered and retained through the Windmill applications, including the Roper House, Lauder Hall, and the semi-detached dwelling now incorporated into the 21-storey building's podium on Queen Street.

2.4 Community Amenities

The site is located in an established area with a wide range of uses, listed below:

- / Retail, service commercial, and restaurant uses located in the Centretown core, including the Sparks Street Pedestrian Mall.
- / Major tourist destinations including the Parliament Buildings and the Canadian War Museum; and,
- / Parks and greenspaces including the Garden of the Provinces and Territories, Nanny Goat Hill, Bronson Park and the waterfront of the Ottawa River.

2.5 Transportation

The block on which the subject site is located is surrounded by local roads, as identified on Schedule F of the City of Ottawa Official Plan. Both Sparks Street and Queen Street provide access to the many Arterial Roads in the surrounding area such as Bronson Avenue, Lyon Street, Wellington Street and Albert Street.

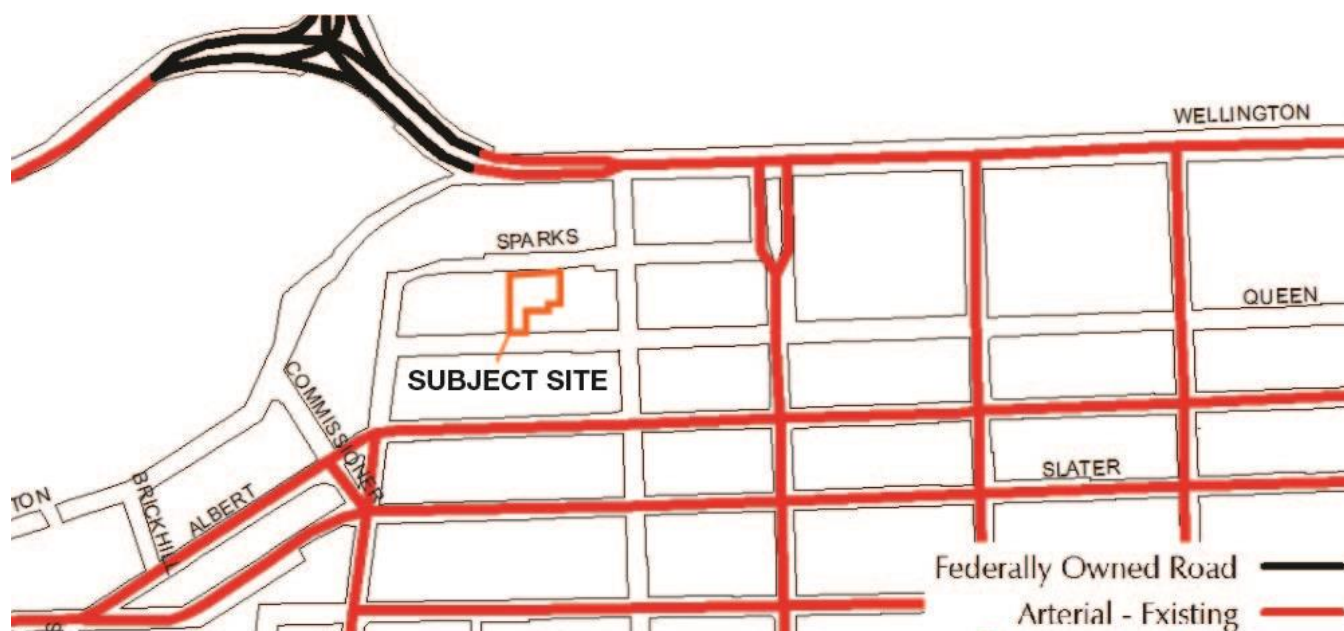


Figure 10: Schedule F – Central Area / Inner City Road Network, City of Ottawa Official Plan.

With regards to public transit, the site is located approximately 250 metres walking distance from the Lyon Station on the new Confederation Light Rail Transit (LRT) line, at the intersection of Queen Street and Lyon Street, which is expected to open in April 2019. The subject site is also well serviced by OC Transpo bus routes, including connections to the STO buses to Gatineau, along Queen Street, Albert Street, and Wellington Street.

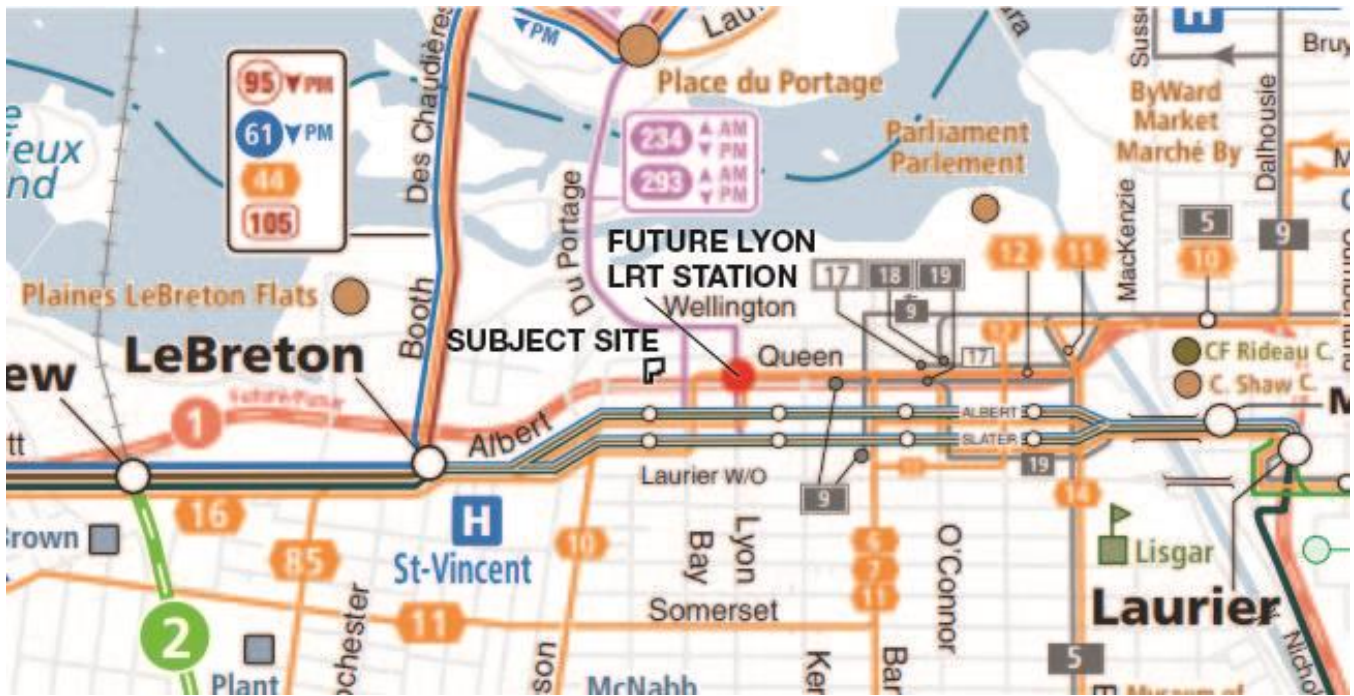


Figure 11: OC Transpo Route Map. The future Lyon LRT station is highlighted.

3.0 DEVELOPMENT PROPOSAL

3.1 Proposal and Project Statistics

The applicant is proposing to replace the existing surface parking lot with an 18-storey retirement residence with underground parking on the subject site. The building features a two (2) storey podium fronting onto Sparks Street with a 16-storey tower above. The parking garage has two (2) levels of parking accessed from Queen Street and is framed with a low-rise architectural design that echoes the existing building heights of the Queen Anne Revival houses along Queen Street. The Site Plan maintains the mid-block pedestrian connection called “Philosopher’s Walk” proposed through the original Site Plan approval. This landscaped connection is located along the western façade of the proposed building, alongside the Cathedral, providing additional space between the building and this important heritage building.

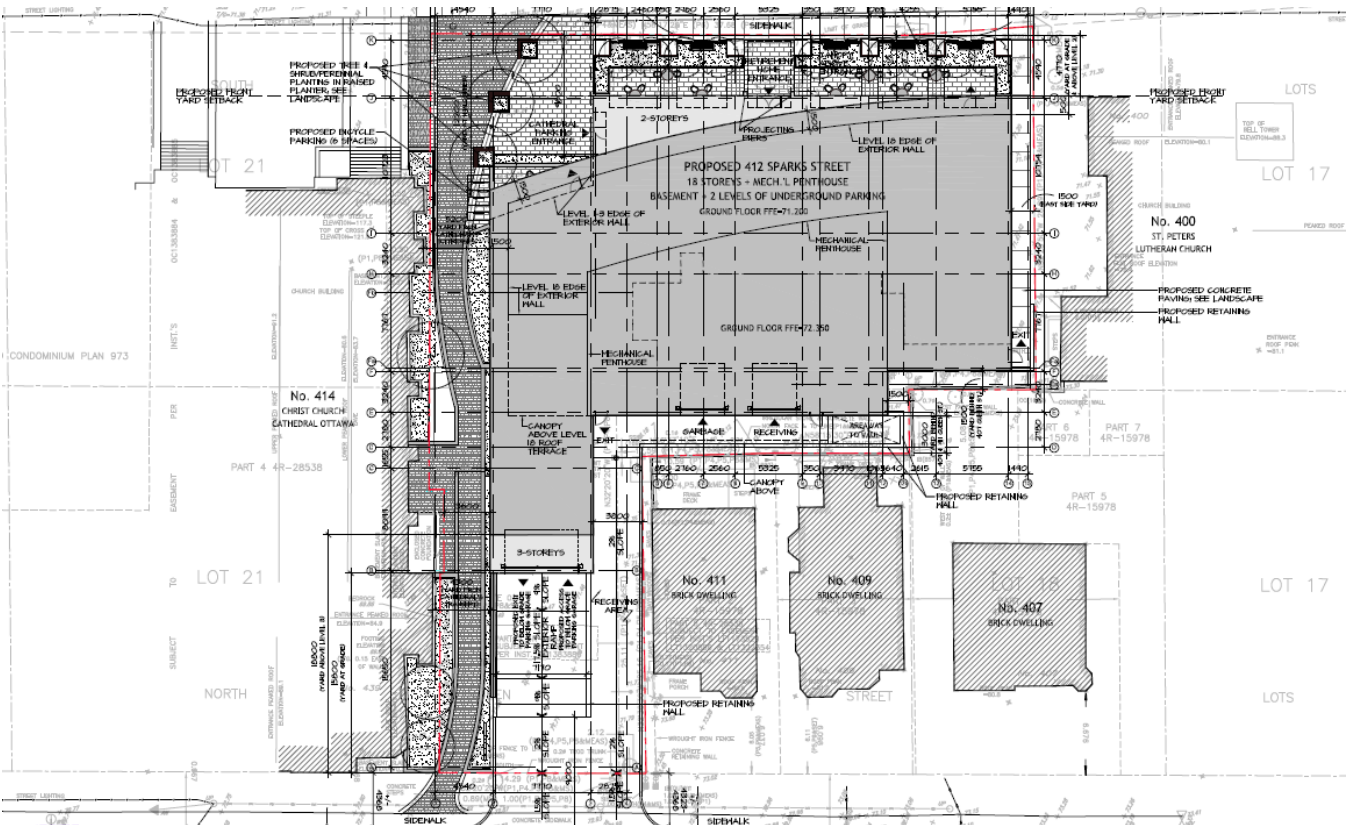


Figure 12: Proposed Site Plan.

Table 1 - Project Information

	Proposed
Site Area	1,963.03m ²
Building Height	63.5 metres / 18 storeys *NB: This does not include the mechanical penthouse, which is considered a permitted projection in the Zoning By-law.
Building Footprint	1,070 m ²
Total Area Above Grade (GFA)	10,729 m ²

Room/Unit Breakdown	152 total units
Assisted Living	11 units
Independent Living (kitchenettes only)	119 units
Independent Living Apartments	22 units
Parking	+/- 86 vehicle spaces / 18 bicycle spaces
Vehicles	+/- 86 spaces / 2 underground levels / +/- 42 resident parking spaces / 14 visitor parking spaces / 10 spaces reserved full time for use by the Cathedral / 15 spaces to be used by the Cathedral on evenings, weekends and holidays / 5 spaces for “flex” use by the Cathedral for major events.
Bicycles	18 spaces / 12 spaces in underground parking garage / 6 spaces on exterior bicycle rack



Figure 13: Rendering of the two-storey podium along Sparks Street and the Philosopher's Walk between the proposed building and the Cathedral.

The podium has been designed with solid materiality to provide a weighty expression to the building's base that is reminiscent of its heritage context and provides a fine-grained residential vocabulary along Sparks Street. The podium is located closer to Sparks Street to provide a similar urban street edge to that of the existing townhouses on the west side of the Cathedral that were recently constructed by Windmill Developments. The podium height maintains the horizontal datum line provided by the Windmill townhouses. The north-east corner

of the podium is set back and made up of combination of smooth and transparent materiality to increase the forecourt space near the entrance to the Cathedral, enhance the public walkway connection, and highlight the Cathedral.

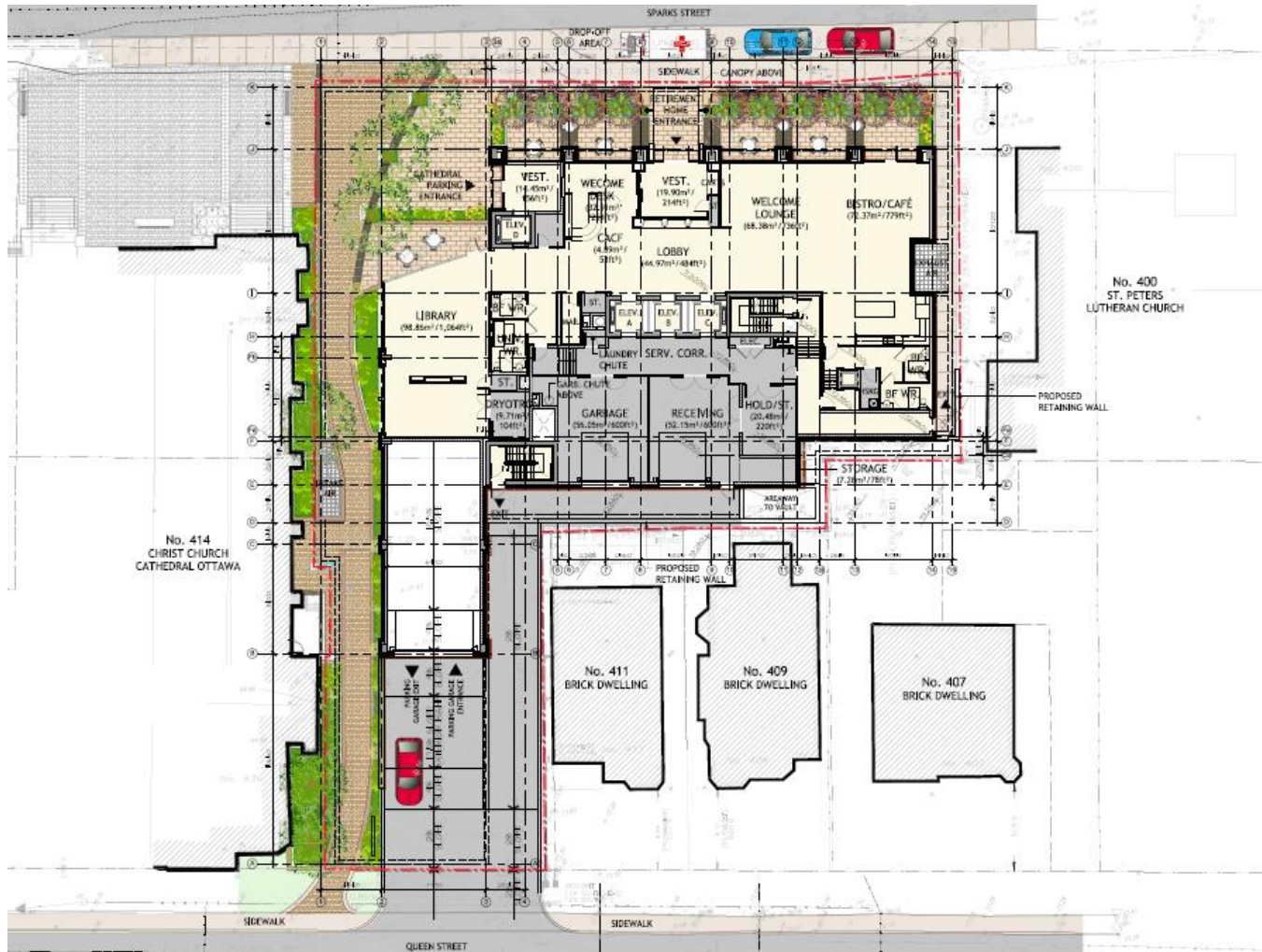


Figure 14: Ground Floor Plan and Landscaping

The podium of the proposed building includes several amenities for exclusive use by residents including a bistro/café, library, fitness suite, theatre, pool, and activity room. The ground floor has been organized to provide complementary interior amenity spaces on the western side of the building to animate Philosopher's Walk. The western elevation is highly transparent at the podium base so that light can spill out onto Philosopher's Walk to ensure a secure walking environment with passive surveillance. The low-rise residential character of the podium wraps around to the western façade to provide a human scale along this corridor.

The landscaping proposes street trees and landscaped seat walls along Sparks Street to provide shade and seating to residents and passers-by. Bistro seating is provided within the forecourt area for exclusive use by residents and their guests. Trees are proposed along Philosopher's Walk and this pathway connection between Queen and Sparks Streets has been designed to be barrier-free.

A small lay-by is proposed along a portion of the Sparks Street frontage in order to ensure safe pick up and drop off for retirement residents, particularly for those with accessibility concerns. The lay-by reduces the walking distance from the street to minimize the possibility for slipping hazards. It can also provide a safe place to pull over for ambulances. A canopy is provided from the building's entrance to the lay-by space to provide weather-protected access to and from the building. The provision of the lay-by is preferred to a drive-way which would significantly impact the available space in the public realm along Sparks Street. The sidewalk can be kept continuous to avoid any significant interruption to the pedestrian environment. The proposed lay-by is analysed in greater detail in the Transportation Impact Assessment prepared by Parsons.



Figure 15: Rendering of the vehicular entrance along Queen Street and Philosopher's Walk

Access to the underground parking garage is provided from Queen Street. A separate vehicular access for receiving is provided adjacent to the parking garage driveway for operational purposes. The portion of the building's base facing Queen Street is intended to blend in with the low-rise character of the Queen Street streetscape.

The current surface parking lot contains approximately 75 parking spaces. These spaces will be replaced by the underground +/- 86 underground parking spaces, which will be shared by both the Retirement Residence and Cathedral as per the following:

- / Ten (10) parking spaces are to be provided for the exclusive use of Christ Church Cathedral, at all times;
- / Fifteen (15) parking spaces are to be provided for exclusive use of Christ Church Cathedral, on evenings between the hours of 6:00 p.m. and 6:00 a.m. (Ottawa time) Monday to Friday and on a twenty-four (24) hour basis on weekends and statutory holidays in the City of Ottawa;
- / Upon a minimum of 24 hours written request in connection with a Major Event, five (5) parking spaces are to be provided for a maximum of four hours; and,
- / Remaining spaces (+/-56) are for the exclusive use of the retirement residence and shall be 'secured' from the parking requirements above.

This is a modest 11 space increase over the existing surface parking lot but serves both the existing Cathedral and the new 152-unit retirement home. This ensures that enough parking is provided to support the existing and

proposed uses, without excessive parking that would infringe on the transit-supportive nature of the project being in close proximity to the new Lyon LRT station.



Figure 16: Rendering of the full proposed building, with a view looking south-east.

The tower component of the building steps back from Sparks Street to provide a roof terrace above the second floor. The tower incorporates a segmented curve along the northern façade to draw the eye to the Cathedral's spire and retain its visual prominence. The tower exhibits a simple architectural expression to not compete with the architecture of the Cathedral.



Figure 17 Rendering of the full proposed building including St. Peter's Lutheran Church and Christ Church Cathedral, as well as the new residential tower and townhouses to the west of the site.



Figure 18: Rendering of the proposed building from the intersection of Queen Street and Bay Street, looking west along Queen Street.

The tower is divided into floors based on the level of care required for the residents, from assisted living studios to independent living apartments. A pub with a games room and golf simulator is provided on the 17th floor and a formal dining space opening up to a rooftop terrace is located on the 18th floor, providing views to the Ottawa River.

POLICY AND REGULATORY CONTEXT

4.1 Provincial Policy Statement

The Provincial Policy Statement (PPS) was issued under Section 3 of the Planning Act in April 2014. It provides direction on matters of provincial interest related to land use planning and development. The Planning Act requires that decisions affecting planning matters “shall be consistent with” policy statements issued under the Act.

The PPS emphasizes the intensification of built-up areas in order to promote the efficient use of land, existing infrastructure and public service facilities to avoid the need for unjustified and uneconomical expansion. To achieve this goal, planning authorities must identify and promote opportunities for intensification and redevelopment [Policy 1.1.3.3]. In addition, the proposed development meets the following Provincial Policy interests:

- / Promotes efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term [1.1.1 (a)];
- / Accommodates an appropriate range and mix of residential, employment, recreational and open space uses to meet long-term needs [1.1.1 (b)];
- / Promotes cost-effective development standards to minimize land consumption and servicing costs [1.1.1 (e)];
- / Improves accessibility for persons with disabilities and older persons by identifying, preventing and removing land use barriers which restrict their full participation in society [1.1.1 (f)];
- / Proposes a land use pattern within a settlement area that has densities and a mix of uses which efficiently use land and resources and that is appropriate for, and efficiently uses, the infrastructure and public service facilities which are planned or available [1.1.3.2 (a)]; and,
- / Identifies and promotes an opportunity for intensification and redevelopment [1.1.3.3].

The PPS directs planning authorities to provide for an appropriate range and mix of housing types and densities. This includes permitting and facilitating all forms of housing required to meet the social, health and wellbeing requirements of current and future residents, including those with special needs requirements.

The proposed development is consistent with the policies of the Provincial Policy Statement. It proposes an efficient, cost-effective pattern of development and capitalizes on an intensification opportunity within the City. This site possesses significant development potential in an area where infrastructure, including new transit initiatives, and public service facilities are available and abundant. Furthermore, the development helps contribute to a range and mix of housing choice in a central area, including for those with special needs requirements.

4.2 City of Ottawa Official Plan (2003, as amended)

The City of Ottawa Official Plan is composed of eight sections, each addressing a different aspect of the planned function of the City as a whole. Section 2 of the Official Plan provides Strategic Directions for growth and development within the City.

Ottawa’s population is projected to grow by up to 30 percent by 2031. The City plans to meet this growth challenge by managing it in ways that support liveable communities and healthy environments. In other words, the City is striving to create ‘complete’ communities in which residents do not need to drive for everyday activities and where jobs, shopping, recreation and social activities lie within walking or cycling distance.

More specifically, the Plan pursues strategic directions in four (4) key areas, two of which are relevant to the proposal:

1. Managing Growth
 - a) The City will manage growth by directing it to the urban area where services already exist or where they can be provided efficiently, including development on previously underutilized lots;
 - b) Growth in the urban area will be directed to areas where it can be accommodated in compact and mixed-use development, and served with quality transit, walking and cycling facilities.
2. Building Liveable Communities
 - a) Growth will be managed in ways that create complete communities with a good balance of facilities and services to meet people's everyday needs, including schools, community facilities, parks, a variety of housing and places to work and shop;
 - b) Attention to design will help create attractive communities where buildings, open space, and transportation work well together.

These strategic directions are developed further in the policies of Section 2.2 (Managing Growth) and 2.5 (Building Liveable Communities), as discussed below.

4.2.1 Managing Growth

Section 2.2.2 of the Official Plan deals specifically with the management of growth within the urban area and recognizes that intensification is generally the most cost-effective pattern of development for the provision of municipal services, transit, and other infrastructure.

Denser forms of development, generally meaning taller high-rise buildings, should be located in areas that support the Rapid Transit and Transit Priority networks. The Central Area is a major target area for intensification under the Official Plan to support the new Confederation LRT line. Building heights are generally established through Secondary Plans and the Zoning By-law.

The proposed development will transform a surface parking lot into a high-rise retirement residence, increasing the number of residential units in the Central Area near the Lyon LRT station. The proposal is consistent with the intensification policies in Section 2.2.2 as it consists of a major redevelopment opportunity at a strategic location in the Central Area, providing an increase in density, supporting transit services and redeveloping an underutilized, serviced site in the downtown core.

4.2.2 Building Liveable Communities

Section 2.5 of the Official Plan describes the basics of liveable communities – good housing, employment, ample greenspace, and a sense of history and culture – and proposes to create more liveable communities by focusing on community design and collaborative community building. Community design engages with the details of how buildings and landscapes relate. The design objectives and principles in Section 2.5.1 are found in the table below:

Table 2: Section 2.5.1. Design Objectives and Principles

Design Objective	Most Relevant Principles	Proposal
To enhance the sense of community by creating and maintaining places with their own distinct identity.	/ Support the overall image of Ottawa as the Nation's Capital. / Create distinctive places and appreciate local identity in patterns of	The subject site sits atop a ridge overlooking the Garden of the Provinces and Territories and is adjacent to Christ Church Cathedral. This unique location, known as the Cathedral Hill Ecclesiastical Block, features a unique mix of heritage buildings, landscaped areas

	<p>development, landscape and culture.</p> <p>/ Reflect a thorough and sensitive understanding of place, context and setting.</p>	<p>and contemporary building designs. The proposed building is sensitively designed to contrast with and accentuate the existing heritage context of the Cathedral while contributing to a diversity of housing types in the Central Area.</p>
<p>To define quality public and private spaces through development</p>	<p>/ Enhance and enliven the quality, character and spatial delineation of public spaces.</p> <p>/ Consider streets as public spaces.</p> <p>/ Encourage continuity of street frontages.</p> <p>/ Address the relationship between buildings and between buildings and the street.</p> <p>/ Meet the needs of pedestrians as a priority.</p> <p>/ Contribute to attractive public spaces and important vistas.</p>	<p>The proposed development provides quality public and private spaces.</p> <p>A mid-block pedestrian connection is proposed between Queen Street and Sparks Street. The “Philosopher’s Walk” is well-lit and landscaped and connects to an open space at the front of the proposed building adjacent to the Cathedral. It is anticipated that this “forecourt” space and the associated space in front of the building along Sparks Street will provide a pleasant streetscape with shading and seating for the public.</p> <p>Particular attention has been paid to the building’s interaction with Sparks Street. The development proposes to replace a surface parking lot with a building podium that frames the street and enhances the public realm. The Sparks Street façade will also frame the Garden of the Provinces and Territories and contribute to an attractive vista adjacent to the Escarpment Area District.</p>
<p>To create places that are safe, accessible and are easy to get to, and move through.</p>	<p>/ Connect buildings and spaces through a network of roads, sidewalks, and pathways in ways that are understandable.</p> <p>/ Create places and spaces that are visible and safe and can be confidently used at all hours of the day and at night where it is appropriate to do so.</p>	<p>The mid-block Philosopher’s Walk connection is located between the proposed building and the Cathedral to the west. The west façade of the building is designed to bring an active frontage to this path, including amenity spaces with large, open windows. The path will be well lit from exterior lights as well as spillover lighting from the proposed building. As the retirement home is staffed 24 hours a day, there are always “eyes on the street”.</p>
<p>To ensure that new development respects the character of existing areas.</p>	<p>/ Integrate new development to complement and enliven the surroundings.</p> <p>/ Allow the built form to evolve through architectural style and innovation.</p>	<p>The proposed building is influenced by the heritage context of the Cathedral Hill Ecclesiastical Block as well as Ottawa’s identity in general. The building proposes materiality that reflects that of the heritage resources of the Ecclesiastical Block, offers a low-rise character to fit within the Queen Street streetscape established by the Queen</p>

	<p>/ Complement the massing patterns, rhythm, character, and context.</p>	<p>Anne Revival homes on Queen Street and also includes a copper-like composite to frame portions of the building – a direct nod to the copper used on significant historical and federal buildings in Ottawa.</p> <p>While the building complements the nearby heritage buildings and the established massing patterns, rhythm, character and context, the building is contemporary and of its own time. The building does not overshadow the existing heritage elements and ensures a differentiation and appreciation of both old and new in the Cathedral Hill Area.</p> <p>The overall height and massing of the building is similar to the newly constructed 21-storey residential tower on the western side of the block. The two (2) buildings will frame the Cathedral, thereby further enhancing its importance.</p>
To consider adaptability and diversity by creating places that can adapt and evolve easily over time and that are characterized by variety and choice.	<p>/ Achieve a more compact urban form over time.</p> <p>/ Allow for varying stages of maturity in different areas of the city and recognize that buildings and site development will exhibit different characteristics as they evolve over time.</p> <p>/ Accommodate the needs of a range of people of different incomes and lifestyles at various stages in the life cycle.</p>	<p>The proposed development is an exemplary form of intensification. A surface parking lot is proposed to be redeveloped with a contemporary high-rise retirement residence with underground parking. While Cathedral Hill is a Heritage Conservation District and therefore more sensitive to changes, the proposed development contributes to the revitalization of this block in close proximity to retail, restaurants, and transit amenities. This development respects the existing heritage character while contributing to the diversity of housing options for seniors in Ottawa's Central Area.</p>
To understand and respect natural processes and features in development design.	<p>/ Protect, integrate and enhance the urban forest, vegetative cover, green spaces and corridors, environmental features and landscapes, and existing topography, where possible and appropriate.</p> <p>/ Demonstrate that all practical means of retaining stormwater on site have been considered.</p>	<p>The development proposes the planting of trees and gardens along Sparks Street and Philosopher's Walk. Philosopher's Walk will also include gardens that residents can use to plant flowers and vegetables as part of the programming for the retirement residence.</p> <p>An underground stormwater storage tank is proposed to better regulate stormwater recharge.</p>

To maximize energy-efficiency and promote sustainable design to reduce the resource consumption, energy use, and carbon footprint of the built environment.	/ Orient development to maximize opportunities for passive solar gain, natural ventilation, and use energy efficient development forms and building measures. / Maximize opportunities for sustainable transportation modes (walking, cycling, transit facilities and connections).	As the Centretown grid is oriented towards the Ottawa River instead of north/south, both principal building facades are expected to benefit from passive sunlight at different times during the day. With regards to transportation, the property is located in Centretown, which has sidewalks on every block and other pedestrian/cycling paths, such as the riverfront path along the Ottawa River. The site is also located in close proximity to the future Lyon LRT station.
---	--	---

The proposed development consists of quality urban design in accordance with the Official Plan's design objectives and principles. The development respects the existing heritage character of the area and seeks to redevelop an existing surface parking lot with a contemporary building that positively contributes to the diversity of housing types in Centretown in proximity to transit. The proposal includes a well-lit, landscaped mid-block connection to facilitate movement across the site for residents and other pedestrians. The design of the building frames the existing Cathedral to ensure it retains its prominence atop the ridge of Cathedral Hill and creates a streetscape along Sparks Street atop the ridge overlooking the Garden of the Provinces and Territories.

4.2.3 Land Use Designation

The site is designated Central Area on Schedule B – Urban Policy Area in the City of Ottawa Official Plan. The Central Area is the economic and cultural heart of the city and the symbolic heart of the nation, and features a unique mix of employment, government, retail, housing, entertainment and cultural activities. The policies of the Central Area promote its vital role in the City, its distinct identity and heritage character, as well as the primacy of the Parliament Buildings and other national symbols.

The policies also aim to enhance the diversity and attractiveness of the Central Area by encouraging a broad range of land uses and day/night, year-round activities. To support these uses, the Central Area is intended to accommodate an increase in the number of downtown area dwelling units. New buildings and spaces are to reflect a human scale of development and be guided by the design criteria of Section 2.5.1, 4.11 and the applicable City of Ottawa Urban Design Guidelines.

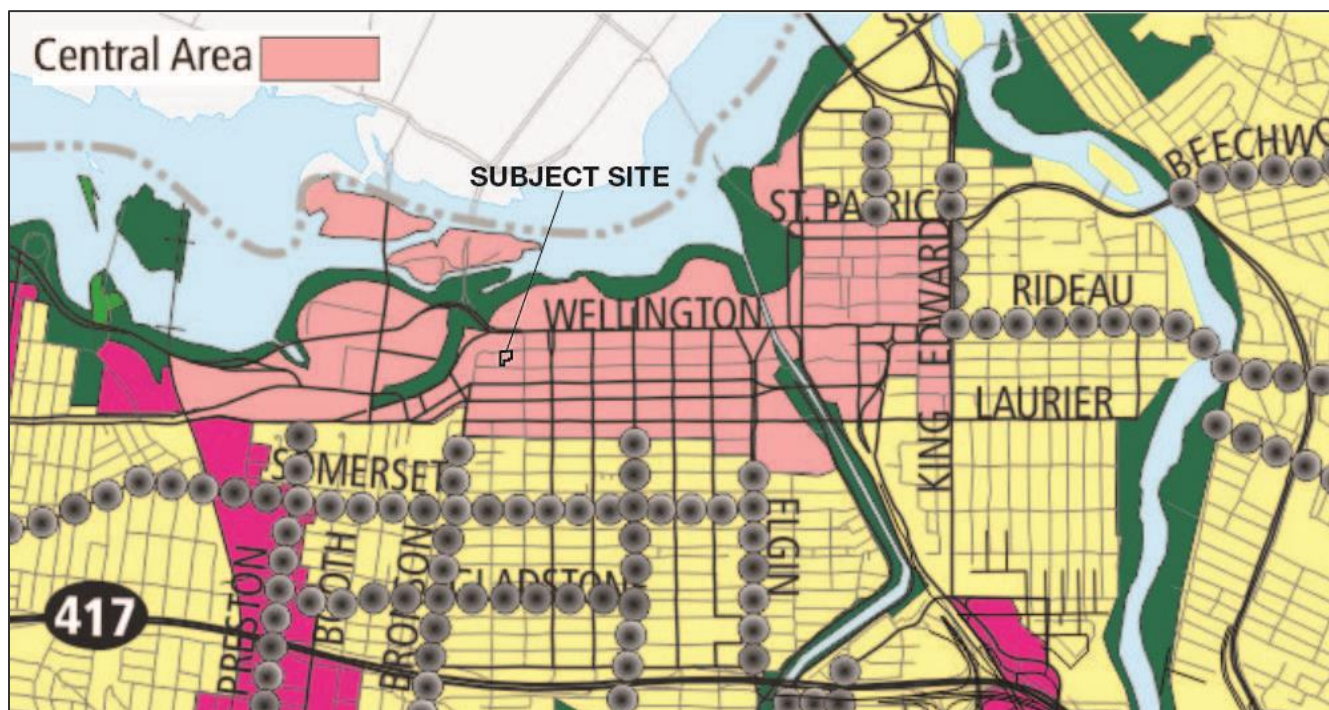


Figure 19: Schedule B – Urban Area, Official Plan.

The policies of the Central Area generally promote a range of uses including day/night and year-round activities and support the Central Area's role as a centre of economic and tourism activity. In addition to tourism, the Central Area is supported by the residents living downtown that also frequent the retail stores, bars/clubs, restaurants and other commercial uses found in the Central Area. Further, the Central Area shall include improved and enhanced pedestrian environments including at-grade active uses, accessible transit services and hard/soft landscaping and amenity areas.

The proposed use of a retirement residence is permitted in the Central Area. The proposal will positively contribute to the diversity of residential unit types near LRT stations in the Central Area while also supporting the retail stores, restaurants, and other commercial uses in the heart of Centretown. The design and programming for the building, as well as its proposed contributions to enhancing the public realm, are consistent with the objective of promoting the Central Area as a vital and active place.

4.2.4 Central Area Key Views

The Official Plan policies seek to protect the visual integrity and symbolic primacy of the Parliament Buildings as seen from key views depicted on Annex 8A. The subject site is not located in a key viewpoint as shown on Annex 8A, but is located in both the Areas of Background Height Control and Foreground Height Control. The subject property is not located within the areas subject to Annex 8B which specifies maximum building heights and angular planes for the Central Area.

As per subsections (i) and (ii) of Policy 2e, Section 3.6.6, the City will ensure that:

- (i) *Buildings constructed in the areas of height control as set out on Annex 8A do not rise above the ridgeline of the roof of the Centre Block, and thus do not visually mar the silhouette of the Parliament Buildings and do not visually dominate the Parliament Buildings and other national symbols.; and*

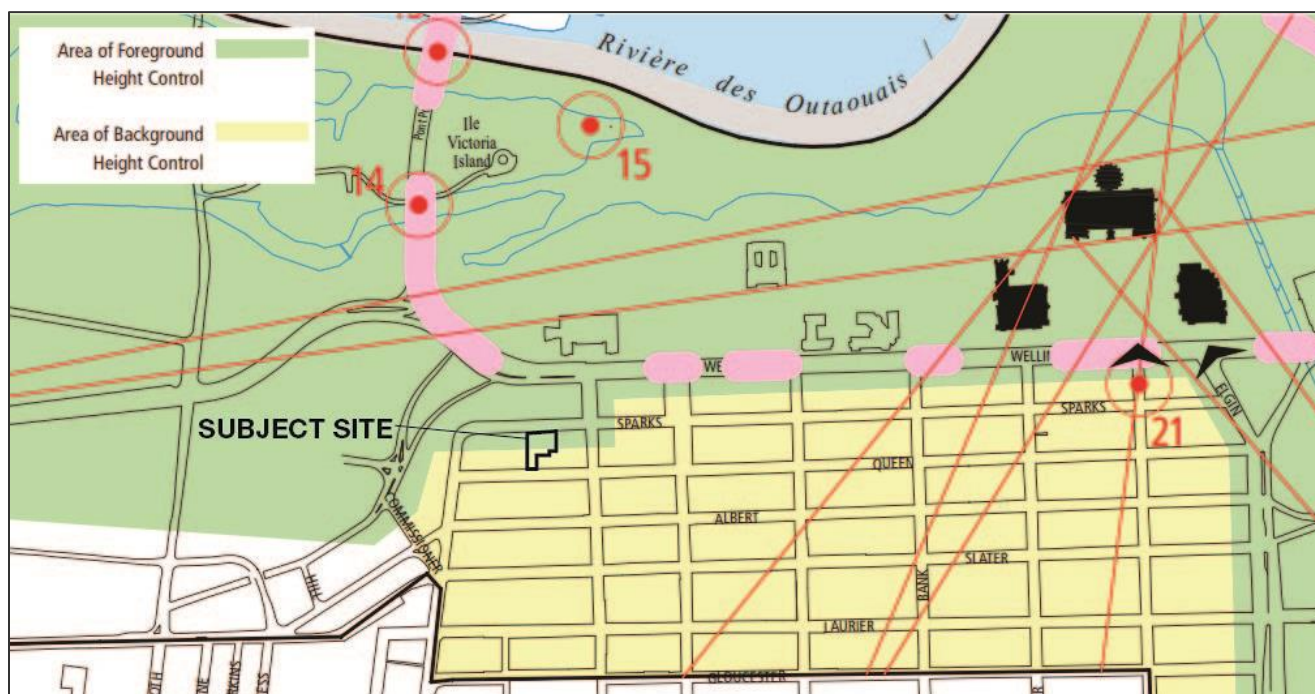


Figure 20: Annex 8A, Central Area Key Views.

- (ii) Buildings constructed in those areas designated on Annex 8A as areas of foreground height control, do not visually obstruct the foreground of views of the Parliament Buildings and other national symbols, as seen from the key viewpoints and view sequences indicated on Annex 8A.

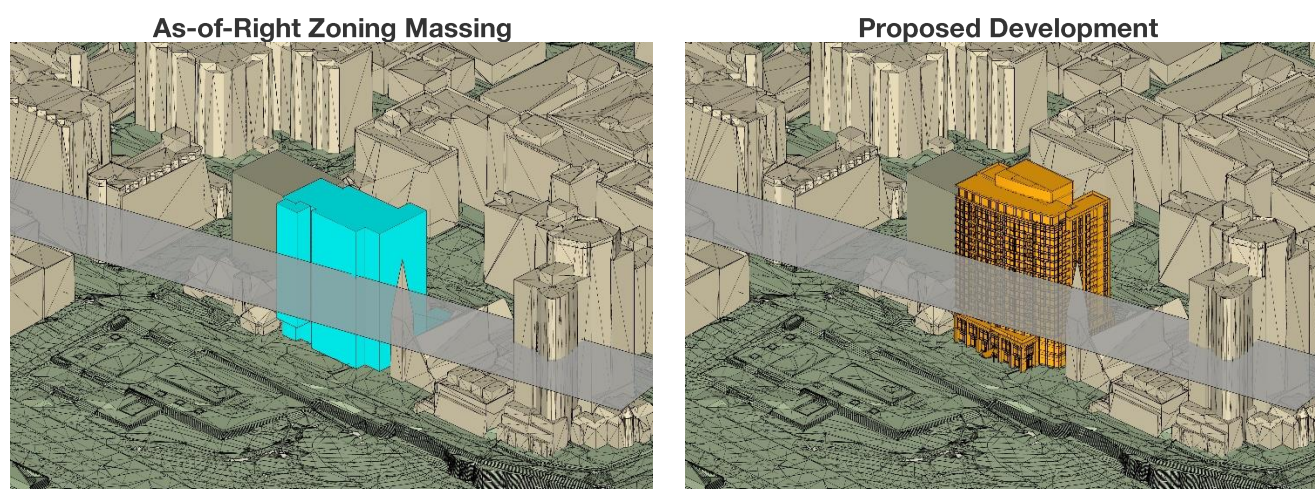


Figure 21: Comparative Viewshed Analysis per Annex 12 of the Official Plan

Although the property is not located within any of the key views shown on Annex 8A, a view analysis was undertaken in support of the original applications submitted by Windmill Developments to ensure that there were no impacts to the view of the Parliament Buildings from several viewpoints. The analysis indicated that from the

majority of the key view points, the Parliament Buildings and the subject property cannot be viewed in the same place. At that time, it was determined that the proposed development did not visually mar the views of the Parliament Buildings.

Annex 12 of the Official Plan requires that the City protect views of the Parliament Buildings from Beechwood Cemetery. Because the site is contained within the background, an analysis was undertaken to ensure that the developments do not visually mar the background silhouette of the Parliament Buildings. While the approved and constructed 21-storey residential building does project into this view plane, as shown in Figure 21, both the as-of-right zoning massing and the proposed retirement home building do not project into this view plane.

The proposed building will not visually obstruct the background or foreground views of the Parliament Buildings or other national symbols and is not located in any of view corridors identified on Annex 8A. While the proposal includes an increase in building height over the maximum height permitted in the existing zoning schedule, the increase in height provides no impacts to key views.

4.2.5 Compatibility

Section 4.11 of the Official Plan sets out criteria which are used to evaluate the compatibility of proposed developments. These criteria include: traffic, vehicular access, parking requirements, outdoor amenity areas, loading areas, service areas and outdoor storage, lighting, noise and air quality, sunlight, microclimate, supporting neighbourhood services.

The most applicable compatibility criteria are discussed in the following table:

Table 3. Compliance with Section 4.11 of the Official Plan

COMPATIBILITY CRITERIA	PROPOSED DEVELOPMENT
TRAFFIC:	A Transportation Impact Assessment is required as part of the proposed development and has been prepared by Parsons. The Scoping Report dated January 05, 2018 notes two (2) key site plan considerations: The Sparks Street lay-by and the Queen Street driveway and receiving area. Both elements will be included in the discussions with City Staff moving forward towards the Forecasting Report.
VEHICULAR ACCESS:	Vehicular access is located along Queen Street to preserve the pedestrian environment on Sparks Street. This access was approved through the original application for the 11-storey office building and is maintained in this application. Other surrounding lots have existing entrances to surface parking lots, parking garages and loading bays along Queen Street, including an entrance to the underground parking garage for the Radisson hotel.
PARKING REQUIREMENTS:	<p>The proposal includes the development of a two (2) storey underground parking garage containing approximately 86 parking spaces. As the subject site is located in Area Z, no off-street parking is required for the residents, but is provided due to the nature of the building as a retirement residence.</p> <p>14 parking spaces are reserved for visitors, which is the minimum required under the Zoning by-law. Of the remaining 72 spaces, 10 are reserved for full time and exclusive use of the cathedral, 15 spaces are provided for the cathedral's exclusive use on evenings and weekends, and 5 additional spaces are available with written notice for major events. The remaining +/- 42 spaces are for exclusive use of the residents, for a</p>

	<p>total of +/- 56 parking spaces for the retirement residence, including the 14 visitor parking spaces.</p> <p>The development also includes 18 bicycle parking spaces, 12 of which are located in the underground parking garage and the other 6 are located on an outdoor bicycle rack. The Zoning By-law requires 38 bicycle parking spaces but given the average age and activity levels of the future residents, the developer does not anticipate these spaces would be used to their full potential based on an analysis of other similar retirement residences in their ownership.</p>
OUTDOOR AMENITY AREAS:	The proposed development is not anticipated to create any undue adverse impacts on adjacent outdoor amenity space areas. The three (3) multi-unit buildings to the south of the subject site have parking areas located in the rear yard and have north-facing balconies. Other than the proposed private balconies (which do not start until the fourth-floor level), the two (2) outdoor amenity areas provided are located on the 18th floor rooftop overlooking the Cathedral (west/south-west side) and the third-floor rooftop (north side). As such, the amenity spaces do not create any overlook issues to adjacent properties.
LOADING AREAS, SERVICE AREAS, AND OUTDOOR STORAGE:	Similar to the previously approved office tower scheme, the proposed loading/service/receiving area for the retirement residence is accessed from Queen Street adjacent to the ingress/egress to the underground parking garage. This is located at the rear of the building and is well-buffered from the public street. No outdoor storage is proposed on this plan.
LIGHTING:	As the building will be staffed 24 hours a day, the site has ample lighting including exterior fixtures and spillover lighting from the large windows on the ground floor. The mid-block pedestrian connection benefits from this lighting to ensure a safe, accessible pathway at all times for pedestrians.
SUNLIGHT:	The proposal is generally located on the north side of the block and all shadow impacts are generally located on the Sparks Street right-of-way and the Garden of the Provinces and Territories. The shadow impacts are largely the same as what would be generated by the as-of-right zoning.
NOISE AND AIR QUALITY	The Noise and Vibration Assessment by Gradient Wind Engineering concluded that the development will require forced air heating with provision for central air conditioning to allow residents to keep windows closed and maintain a comfortable living environment. A Stationary Noise Study will be completed when mechanical plans for the proposed rooftop become available and will recommend noise control measures to protect the surrounding noise-sensitive buildings.
MICROCLIMATE:	The proposal is not anticipated to generate any adverse microclimate impacts. A Pedestrian Level Wind Study completed by Gradient Wind Engineering has concluded that all grade-level areas within and surrounding the development site will be acceptable for the intended pedestrian uses throughout the year, including surrounding sidewalks, walkways, and building access points. Overall, pedestrians will continue to experience wind conditions similar to those that presently exist without the proposed development in place. The northwest corner of St. Peter's Lutheran Church is the only exception to the above, where extreme winds events are predicted to occur for approximately 24 hours on an annual basis, exceeding the City of Ottawa's safety

	criterion of nine (9) hours. The report recommends some mitigation strategies that include additional landscaping or limiting access to the east side yard.
SUPPORTING NEIGHBOURHOOD SERVICES:	The proposal includes a small plaza in front of the building at the north-east corner which can be used by the Cathedral for spillover after services. Further, the residential nature of the building naturally supports local transit services, as well as commercial uses such as retail stores and restaurants in the downtown core.

The proposal is sensitively designed with regards to its surrounding context. Overall, the project meets the compatibility criteria of Section 4.11.

4.2.6 Heritage Buildings and Areas

Heritage buildings and areas are identified in the Official Plan as having cultural, architectural, historical, contextual and/or natural interest, and may be designated under either Part IV or Part V of the Ontario Heritage Act (OHA). The policies of Section 4.6 of the Official Plan favour the retention and protection of existing heritage resources.

As the site is located with an area designated under Part V of the OHA, Cathedral Hill Heritage Conservation District, Policy 2 notes that any construction in an area designated under Part V may require a Cultural Heritage Impact Statement to:

- / Describe the positive and adverse impacts on the heritage conservation district that may reasonably be expected to result from the proposed development;
- / Describe the actions that may reasonably be required to prevent, minimize or mitigate the adverse impacts
- / Demonstrate that the proposal will not adversely impact the cultural heritage value of the Heritage Conservation District,
- / When evaluating an alteration or addition to a building located in Heritage Conservation District, the impact statement will address the Heritage Conservation District study or the Council-approved “Heritage District Plan” of that district for design guidance. If no such plan exists, the impact statement will address the heritage study of the area for design guidance.

It is intended that a Cultural Heritage Impact Statement will be provided with the submission of the application for Site Plan Control.

Policy 9 states that when reviewing development applications as noted above, the City will ensure the proposal is compatible by:

Table 4. Review of Development Applications within a Heritage Conservation District

Policy	Proposed Development
Respecting the massing, profile and character adjacent to or across the street from heritage buildings;	<p>The proposed development is situated immediately adjacent to the Christ Church Cathedral, the prominent heritage asset in Cathedral Hill. The proposed building is sensitively designed, including a segmented curved front façade along the tower, to frame the cathedral when looking west down Sparks Street.</p> <p>The high-rise built form proposed will serve to frame the Cathedral spite, much like the recent development adjacent to the other side of the Cathedral, a 21-storey residential building</p>

	<p>with street townhouses by Windmill Developments. The applicant has worked with the owners of the Cathedral to achieve a cohesive and functional design that brings intensification to the underutilized areas of the Ecclesiastical Block, while allowing the Cathedral to continue to feature prominently as the namesake of the area.</p>
<p>Approximating the width of nearby heritage buildings when constructing new buildings facing the street;</p>	<p>Opposite from the subject site is the Garden of the Provinces and Territories where no buildings are present. Instead, development of the Ecclesiastical Block should frame this public space and provide a complementary public realm, as is proposed through the development.</p> <p>Although the building's podium is wider than the Cathedral, the podium is well articulated to reduce its massing to echo the built form and architectural expression of the townhouses on the west side of the Cathedral.</p> <p>The narrow, low-rise character of the Queen Anne Revival houses on Queen is also echoed in the form of the building's podium facing Queen Street to provide a context-sensitive streetscape.</p> <p>Overall, the width of the proposed development does not detract from the Cathedral as the segmented curvature of the tower respects the verticality of the spire, the main architectural feature of the Cathedral.</p>
<p>Approximating the established setback pattern on the street;</p>	<p>The proposed two-storey podium is set back at a distance of 4.3 metres from Sparks Street. This will provide a stronger and more continuous urban edge on an important stretch of Sparks Street adjacent to the Garden of the Provinces and Territories as compared to the original 7.75 metre front yard setback imposed through the current Zoning Schedule 206. To compare, the Lutheran Church is setback approximately 3.8 metres from Sparks Street and the Windmill townhouses are setback approximately 3.4 metres from Sparks Street.</p> <p>The north-west side of the podium steps back to provide additional space at-grade adjacent to the Cathedral such that this portion of the podium essentially lines up with the Cathedral's setback. This also serves the purpose of opening up pedestrian level views to the Cathedral.</p> <p>The segmented curvature of the proposed building and the step back at the upper floors ensures the Cathedral is visible from all angles along Sparks Street.</p>
<p>Being physically oriented to the street in a similar fashion to existing heritage buildings;</p>	<p>The proposed building is oriented towards Sparks Street in a similar fashion to the Cathedral, the Windmill building and the Lutheran Church. The podium's architectural expression is also</p>

	similar to that of the existing heritage buildings, while being of its own time.
Minimizing shadowing on adjacent heritage properties, particularly on landscaped open spaces and outdoor amenity areas;	<p>As shown in the Shadow Study, the as-of-right zoning massing is compared to that of the proposed building. The impacts are essentially equivalent to that of the as-of-right zoning massing, such that the additional height proposed above the permitted 55 metres is negligible in terms of shadowing impacts to adjacent properties.</p> <p>In the summer months, shadows from the building will rotate quickly around it so that shadow impacts to Sparks Street and the Garden of the Provinces and Territories are minimized to the earlier hours of the day. The Cathedral Spire will also experience some shadow impacts in the early hours of the summer months, but the impacts will dissipate after 10:00 am.</p>
Having minimal impact on the heritage qualities of the street as a public place in heritage areas;	The streetscape improvements and landscaping are intended to highlight the heritage qualities of the street and provide an area of respite in the form of walkways, seating and shade for the public to enjoy.
Minimizing the loss of landscaped open space;	As the subject site is currently a surface parking lot, the proposed hard and soft landscaping is an improvement over the existing conditions on the subject site.
Ensuring that parking facilities (surface lots, residential garages, stand-alone parking and parking components as part of larger developments) are compatibly integrated into heritage areas;	<p>All parking is located underground and is for use of the retirement residence and the Cathedral. A full breakdown of the parking is available in Section 2 of this report under "Project Information."</p> <p>The access to the parking garage is in the same location as the access to the approved office building. The parking garage entrance slopes downward underground underneath a context-sensitive two (2) storey podium that fits well with the Queen Street streetscape.</p>
Requiring local utility companies to place metering equipment, transformer boxes, power lines, conduit equipment boxes, and other utility equipment and devices in locations that do not detract from the visual character or architectural integrity of the heritage resource.	These elements will be investigated through the Site Plan Control and Heritage Approvals processes.

Overall, the proposed development meets the policies under Section 4.6 for development within a Heritage Conservation District under the City of Ottawa Official Plan. The applicant has worked with the owners of the Cathedral to ensure its prominence and function are preserved and enhanced, including a segmented curved façade on the tower and integrated underground parking on site. The two-storey podium and the small plaza along Sparks Street create an active and animated streetscape that will enhance the Cathedral forecourt space and frame the Garden of the Provinces and Territories.

4.3 Central Area Secondary Plan

The Central Area Secondary Plan breaks down the Central Area into several Character Areas and Theme Streets. The subject site is located in the Upper Town Character Area as identified on the applicable schedule in the Secondary Plan but is not located on the Sparks Street Theme Street, which ends at Bay Street.

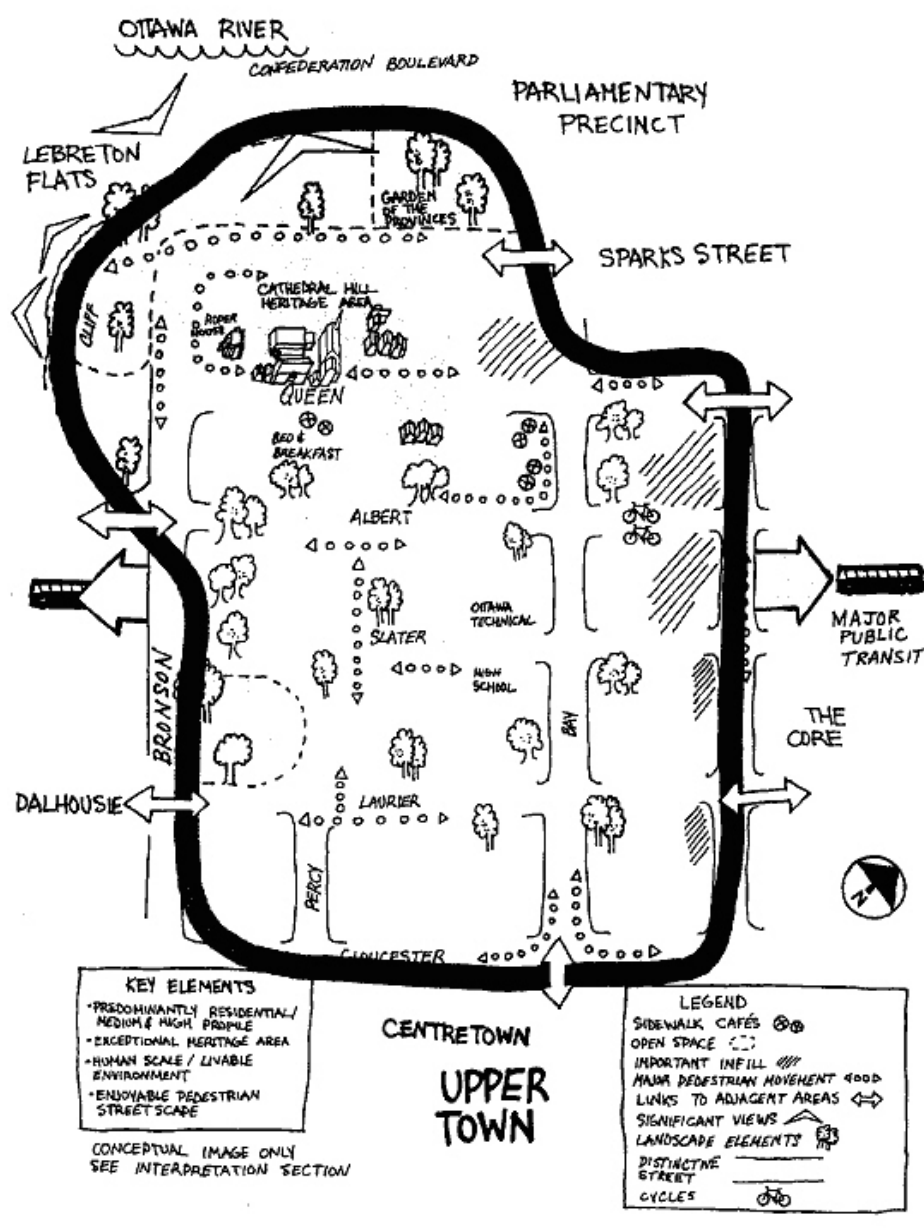


Figure 22: Upper Town, Central Area Secondary Plan.

Upper Town is anticipated to contribute to the vitality of the Central Area as an attractive, liveable urban residential neighbourhood incorporating a unique Heritage Conservation District and an enjoyable pedestrian environment. Housing is to be the predominant use, including ground-oriented housing at the base of high-rise

buildings, while a limited number of pedestrian-oriented uses will co-exist at-grade to cater mainly to local residents. New development in the Upper Town Character Area will consist predominantly of mid- and high-rise buildings that foster a human scale and are respectful of heritage buildings. The Plan notes that the Cathedral Hill Heritage Conservation District is a unique transitional entry to Upper Town and the downtown core, featuring panoramic views of LeBreton Flats, the Ottawa River and Hull, with a scenic backdrop of the Christ Church Cathedral. Because of its heritage importance, development within the Cathedral Hill Heritage Conservation District must protect and enhance the heritage buildings.

Upper Town is anticipated to accommodate predominantly medium and high-rise development and new residential buildings are to be sensitively designed to contribute to an enjoyable pedestrian streetscape and liveable environment. While the subject site is not located within the Study Area or the Area of Influence under the Escarpment Area District Plan Community Design Plan, the proposal respects the policies of the Plan by improving the pedestrian streetscape, proposing a strong podium base, and ensuring the design incorporates key heritage buildings. The podium is set closer to the street for a more urban streetscape, while the plaza and mid-block pedestrian connection support to goal of the Plan for a pedestrian-friendly neighbourhood.

The most relevant policies to the subject development from Section 1.10.3 of the Secondary Plan are discussed below:

Table 4. Central Area Secondary Plan, Upper Town Policies

Policy	Proposed Development
<p>Predominantly Residential Neighbourhood City Council shall permit predominantly residential uses, including bed and breakfast establishments, within Upper Town in order to contribute to the vitality of the Central Area, and especially the adjacent Core. City Council may also permit:</p> <ul style="list-style-type: none"> i. limited commercial uses at grade within the area, such as confectioneries, restaurants, personal services, provided that such uses primarily serve the needs of local residents and that they do not: <ul style="list-style-type: none"> / attract large volumes of automobile traffic, / generate excessive noise and/or fumes, / require large areas for on-site outdoor storage of goods or vehicles; ii. a limited number of other uses within the area which are complementary to, and compatible with the residential character of the area consistent with the criteria in I) above, such as leisure and public uses, and limited offices, provided that residential uses remain dominant in the area. 	<p>The proposed development consists of a retirement residence with different levels care, from independent living apartments to assisted living. The bistro/café located on the ground floor and other ground-oriented amenities are for exclusive use of the residents to ensure a secure facility. The retirement home use proposed through the Zoning By-law Amendment is more in keeping with the residential predominance planned for the area.</p>

<p>Heritage Conservation</p> <p>City Council shall ensure the protection, conservation and enhancement of the heritage resources and features of Upper Town. In realizing this aim, City Council shall have regard for the design criteria in Official Plan Sections 2.5.1 and 3.6.6 to ensure that new infill development, alterations to existing heritage buildings, and/or public improvements within this area are sensitive to and complement its special heritage character.</p>	<p>The proposal meets the compatibility criteria of Section 2.5.1 and the policies of Section 3.6.6 (Central Area) of the Official Plan. The proposed building has been designed to enhance and protect the streetscape along Sparks Street, important views and the heritage context of the Cathedral. The building design, including the segmented curved tower, ensures the spire of the Cathedral retains its prominence atop the limestone cliff.</p>
<p>Height of Development</p> <p>City Council shall permit predominantly medium and high-rise development within Upper Town, provided that development:</p> <ul style="list-style-type: none"> i. creates a transition to the existing residential neighbourhoods to the south. ii. where appropriate, creates an effective transition between lower and higher profile forms; and iii. regardless of height, contributes to a sense of human scale; iv. achieves a transition from the historic limestone cliff and the Cathedral Hill heritage conservation district to the predominantly medium and high-rise forms in the remainder of Upper Town. This transition shall create a unique transitional entrance to the Central Area which respects the heritage character of the Cathedral Hill area and the prominence of the historic limestone cliff; v. within the Cathedral Hill heritage conservation district retains the prominence of the historic limestone cliff as provided below and is sensitive to the heritage character of the district. 	<p>The previous Zoning By-law Amendment for the Cathedral Hill block recognized the properties at 412 Sparks Street and 436 Sparks Street as appropriate for a high-rise building. The reshaped form of the building creates an effective transition between lower and higher profile forms and the building's podium contributes to a sense of human scale.</p> <p>The two (2) buildings frame the Cathedral Spire, providing a unique entrance to the Upper Town Character Area and a positive expression of the historic limestone cliff. The design of the building contributes to the transitional entrance to the Central Area with a contemporary design that allows the heritage attributes of the Cathedral to shine.</p>
<p>Residential Liveability</p> <p>City Council shall undertake to ensure and improve the livability of Upper Town and shall accordingly take into account the design criteria in Ottawa Official Plan, Section 2.5.1 and 3.6.6 when reviewing proposals for</p>	<p>The proposal meets the compatibility criteria of Section 2.5.1 and the policies of Section 3.6.6 (Central Area) of the Official Plan. The proposal includes new tree plantings along Sparks Street and the mid-block pedestrian connection. Further, the angular orientation and segmented curved design of the building ensures adequate sunlight for residential units. The plaza between the podium and Cathedral provides a flexible</p>

<p>residential development within the area, in particular:</p> <ul style="list-style-type: none"> i. the provision of a tree planting corridor/area. ii. the provision of adequate privacy and sunlight for residential units; and iii. the provision of usable private and common outdoor landscaped amenity areas; iv. minimizing sun shadowing and undesirable wind conditions at-grade; v. the creation of an identifiable entrance and a strong transition from the public right-of-way; vi. where appropriate, providing a transition from low-rise to high-rise buildings, and vice versa; vii. setting back the upper storeys of high to medium rise buildings, including the use of podiums, to create a human scale and minimize overpowering and overshadowing effects; viii. treatment of the lower floors of high-to-medium rise buildings to create visual interest; 	<p>space for common use between buildings and is landscaped in conjunction with the mid-block pedestrian connection. The proposed building also includes private balconies and common terraces on the 3rd and 18th storeys. As the building is located on the north side of the block overlooking the escarpment, the building is not anticipated to generate any negative sun shadowing effects on neighbouring properties or microclimate impacts such as wind corridors. The building design includes a two-storey podium to relate to the existing low-rise buildings in the area and to create a pedestrian-friendly streetscape and human scale along Sparks Street. The podium is designed with heavy materials to draw attention to it and reinforce the ground-oriented massing while the tower sits above and curves away from the podium to ensure eyes are drawn to the Christ Church Cathedral.</p>
<p>Pedestrian Environment and Open Spaces City Council shall ensure the improvement and enhancement of the pedestrian and open space environment in Upper Town through such measures as:</p> <ul style="list-style-type: none"> i. Streetscape Improvements - the provision of streetscape and pedestrian/cyclist crossing improvements at key intersections, as well as street tree planting as per the Escarpment Area District Plan; iv. Open Space Enhancement - in conjunction with the National Capital Commission, the investigation of the potential enhancement of the open space overlooking LeBreton Flats, atop the historic limestone cliff at the western end of Sparks Street, known as Bronson Park, and the creation of a destination park, through such measures as the provision of suitable soft and hard landscape elements which are sensitive to the character 	<p>The proposed development will improve the streetscape with a front yard setback framed with a two (2) storey podium as well as street trees, seat walls and landscaping. The pedestrian environment will be enhanced with a mid-block pedestrian connection that will be landscaped and well-lit.</p>

<p>of the Cathedral Hill heritage conservation district, the preservation of panoramic views from this site, provision of a staircase or other movement system from the top of the cliff to the base of the escarpment and the lower levels of an escarpment park and the provision of suitable interpretive elements relating to Ottawa's geologic and architectural history, together with other levels of government.</p> <p>vi. the designation and enhancement of pedestrian corridors, and in particular, the provision of an identifiable, enjoyable pedestrian network within the area which provides abundant landscape elements and links with local and nearby open spaces, Theme Streets and Character Areas, in particular, the Cathedral Hill heritage conservation district, Sparks Street, the Core, LeBreton Flats, the Parliamentary Precinct and the Ottawa River, and Centretown;</p>	
<p>Views</p> <p>City Council shall ensure the protection and enhancement of significant views from public open spaces and along public rights-of-way in Upper Town. In particular, the panoramic views of LeBreton Flats, the Ottawa River and the Islands from the Sparks Street right-of-way in accordance with Policy g) above, as well as significant views to adjacent Character Areas, such as Sparks Street, the Core, and the Parliamentary Precinct, shall be protected and enhanced. City council shall protect the views of the Parliament Buildings from two locations at Beechwood Cemetery, as identified in Annex 12 in Volume 1 of this plan.</p>	<p>The proposed development will not infringe upon the existing views from the top of the escarpment to LeBreton Flats, the Ottawa River, or other identified elements, and will not impact views of Parliament as identified in Annex 8A of the Official Plan.</p>

Overall, the proposal meets the policies of the Central Area Secondary Plan. The proposed redevelopment of a surface parking lot to create new residential units is consistent with the above policies. Further, the design of the building, including a podium and tower, create a more appealing streetscape along Sparks Street at the top of the escarpment. The tower is curved to draw attention towards the Christ Church Cathedral, preserving and enhancing the namesake of the Cathedral Hill area.

4.4 Cathedral Hill Heritage Conservation District

The Cathedral Hill Heritage Conservation District (HCD) has a designation by-law but does not have a Heritage Conservation District Plan. The Central Area Secondary Plan, including the Escarpment Area District Plan CDP, provide policies that support and protect existing heritage resources within the area designated under Part V of the Ontario Heritage Act.

As confirmed with heritage department staff, the federal Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada is the guiding document for any new development within the Cathedral Hill HCD. The guidelines generally seek to preserve, rehabilitate and restore existing heritage assets within heritage conservation districts. With regards to the proposed development, the following standards and guidelines are most applicable:

Table 5. Parks Canada Standards and Guidelines

Policy	Proposed Development
Standard 1 (a) Conserve the heritage value of an historic place. (b) Do not remove, replace or substantially alter its intact or repairable character-defining elements. (c) Do not move a part of an historic place if its current location is a character-defining element.	As a historically residential neighbourhood where several lumber barons and industrialists lived, the proposal brings new life to the area with a residential development geared towards seniors at different stages in their lives. The proposal includes a strong podium base to establish a streetscape along Sparks Street and a segmented curved tower to defer views towards the verticality of the spire of the Cathedral. The proposed development is consistent with the Windmill development west of the Cathedral, as both have worked with the owners of the Cathedral to achieve a cohesive, integrated design that frames the Cathedral to retain its prominence above the escarpment.
Standard 11 (a) Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. (b) Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.	The design is sensitive to the existing heritage context and differentiates itself through creative design and the use of contemporary materials. The podium is clad in stone to bring a strong ground-oriented presence to the façade of the building, reminiscent of the rocky promontory upon which the district is located. The tower curves in towards the site to draw views away from itself, allowing the spire of the Cathedral to retain its prominence.
4.1.1 Evidence of Land Use Guideline 12, Designing a new feature when required by a new use that is compatible with the part of continuing land use.	The tower uses a palette of light materials to contrast the heavy, dark stone of the Cathedral. The stone podium uses a lighter stone to differentiate itself from the Cathedral while maintaining a weightier base that is evocative of the heritage context.

Overall the project is consistent with the heritage policies of the Official Plan, the Central Area Secondary Plan, the Escarpment District Plan CDP and the Parks Canada Standards and Guidelines. The proposed development is expected to contribute positively to the Cathedral Hill area and does not detract from the heritage value of the adjacent Christ Church Cathedral.

4.5 Downtown Ottawa Urban Design Strategy 20/20

The subject property is located within the Downtown West Precinct of the Strategy, which is a district that contains a number of key heritage buildings. The Cathedral Hill area is identified as a primarily residential district

with limited commercial uses and is considered unique as one of the few “apartment neighbourhoods” in downtown Ottawa.

New development within the Downtown West Precinct is intended to reinforce the importance of the precinct’s unique heritage assets and reflect the residential focus of the area.

As has been analyzed, the project positively contributes to its heritage context and streetscape, reinforces the importance of the area’s unique heritage attributes and better reflects the residential focus of the area as compared to the previously proposed office building.

4.6 Urban Design Guidelines for High-rise Buildings (2018)

In May 2018, City Council approved the new Urban Design Guidelines for High-rise Buildings, replacing the previous version from 2009. The Official Plan defines a high-rise building as one that is ten (10) storeys or more in height. The objectives of the guidelines are to:

- / promote high-rise buildings that contribute to views and vistas and enhance the character and the image of the city;
- / address compatibility and the relationship between high-rise buildings and their existing and planned context;
- / create human-scaled, pedestrian-friendly streets, and attractive public spaces that contribute to liveable, safe and healthy communities;
- / coordinate and integrate parking, services, utilities, and public transit into the design of the building and the site; and
- / promote development that responds to the physical environment and microclimate through design.

The Official Plan provides direction to evaluate the appropriateness of individual sites and to inform many aspects of high-rise design, and the Zoning By-law provides a preliminary framework that addresses issues related to context, massing, shadowing and public space. The Official Plan directs high-rise buildings to areas where intensification is expected and encouraged due to proximity to major transit stations, such as the Central Area.

The most relevant guidelines to the proposed development are discussed in the table below:

Table 6. Urban Design Guidelines for High-rise Buildings

Guideline		Proposed Development
1.2	The Official Plan has established a series of views and angular planes in the Central Area and the vicinity to protect the visual integrity of the Parliament Buildings and other important national symbols. These views and angular planes must be respected in the development process. A comprehensive view analysis, including a three-dimensional computer model is required to evaluate the potential impact of the proposed development on these views and view planes.	The view analysis completed by Hobin Architecture demonstrates that there are no anticipated impacts on the views of the Parliament Buildings and other national symbols. This view analysis has been submitted as part of the application.

1.4	In the absence of Council policies, the proposal for a high-rise development should clarify whether the proposed building will be a landmark building or a background building through a thorough context analysis, documented in the Design Brief or Scoped Design Brief.	The proposal is a background building designed to complement and not detract from the heritage value of the Christ Church Cathedral.
1.6	If the proposed high-rise building is determined to be a background building that will frame important views and vistas, the context analysis should indicate: a. the characteristics of the views and vistas; b. the characteristics of the background that frames the views and vistas, such as the scale, skyline, fenestration patterns, texture, materials, and color; and c. how the proposed high-rise building will respect and enhance the characteristics of the background.	The owners of the Cathedral have worked with the developers of the lands on both the east and west sides of the Cathedral to form a consistent, cohesive development block on Cathedral Hill. Both the Windmill (west) and the current proposal (east) are designed with ground-oriented elements (podium / townhouses) and a tower set away from the Cathedral to ensure it retains its prominence above the escarpment. Together, these new, contemporary developments frame the Cathedral and support the existing heritage context along Sparks Street.
1.9	A background building should: a. respect and enhance the existing and planned views and vistas through the placement of the building, height transitions, setbacks and step backs, and landscaping; and b. respect and enhance the overall character of the existing and planned urban fabric and the skyline by maintaining a harmonious relationship with the neighbouring buildings through means such as height transition, built form design, fenestration patterns, color, and materials without necessarily being the same.	The proposed building includes a podium/tower design to create a pedestrian-oriented streetscape along Sparks Street and is consistent with the existing built form in the area. The building is 18-storeys tall, transitioning to the 12/14 storey buildings to the south, and transitioning from the 21-storey tower on the corner to the west.
1.11	When a high-rise building or group of high-rise buildings are proposed on a site surrounded by other high-rise buildings of consistent height, relate the height and scale of the proposed buildings to the existing context and provide variations	The proposed development is 18 storeys tall, consistent with new development on this block (21 storeys) while providing a variation in building height on the subject block and to the surrounding area.
1.12	Include base buildings that relate directly to the height and typology of the existing or planned streetwall context.	The proposed podium is set closer to the street and is aligned with the existing St. Peter's Church and the new townhouses to the west of the Cathedral. The podium height reinforces the datum line established by the townhouses and Cathedral main block. The intent is to create a cadence and rhythm

		to the streetscape along Sparks Street, while respecting existing development.
1.16	When a proposed high-rise building abuts properties where a high-rise building is permitted, the lot should be of sufficient size to achieve tower separation, setback, and step back: a. 1,350m ² for a corner lot; b. 1,800m ² for an interior lot or a through lot; c. in areas where land assembly is difficult, the minimum lot area may be reduced without compromising the setback, step back and separation requirements and proponents of a high-rise building may enter into a Limiting Distance Agreement with neighbouring property owners, registered on title.	The lot area of the subject site is over 1,900m ² , which exceeds the minimum for a through lot.
1.23	Respect the character of the adjacent heritage buildings by integrating high-quality, contemporary design cues, particularly at the base of the building.	The proposed building features a contemporary design to contrast with and support the heritage design of the cathedral. The podium is clad in stone to reflect the weight of the base of the building while echoing the stone of the Cathedral, but is lighter in colour to differentiate the old from the new.
2.1	Enhance and create the overall pedestrian experience in the immediate surrounding public spaces (including POPS) through the design of the lower portion, typically the base, of the building, which: a. fits into the existing urban fabric, animates existing public spaces, and frames existing views; and b. creates a new urban fabric, defines and animates new public spaces, and establishes new views.	The pedestrian experience is enhanced by the proposed street trees, seat walls, landscaping and added forecourt space leading to Philosopher's Walk. The ground floor of the building is highly animated with active amenity uses that will ensure a vibrant public realm that is sensitive to the heritage context.
2.23	The ground floor of the base should be animated and highly transparent. Avoid blank walls, but if necessary, articulate them with the same materials, rhythm, and high-quality design as more active and animated frontages.	The podium levels of the building (ground floor and 2 nd floor) are feature large windows and are the location of active, animated spaces such as the building lobby, bistro/café, fitness suite, activity room and other amenities facing Sparks Street. The podium is articulated to provide a similar character of the townhouses to the west of the building and feature heavier materials to ground the building within its heritage context.
2.24	Encourage small tower floor plates to minimize shadow and wind impacts, loss of skyviews, and allow for the passage of natural light into interior spaces:	The largest floor of the proposed tower has an area of 958 m ² which is measured from the exterior walls. Although larger than the residential floor plates envisioned by the guidelines, the additional size is

	a. the maximum tower floor plate for a high-rise residential building should be 750m ²	better able to accommodate the operational needs of the retirement home. To justify the larger floor plate size, an analysis of shadow, wind and view impacts has been considered. The results demonstrate that there are no undue adverse impacts as compared to the building massing that would be permitted by the as-of-right zoning.
2.37	The top should make an appropriate contribution to the character of the city skyline: a. for a background building, the top should fit into the overall character and contribute to the harmony of the city skyline;	The top of the building is visually distinct from the rest of the tower and features a modest stepback of 1.5 metres after the 18th floor. The rooftop features a copper-like material that distinguishes the building's top while being tied in with the general expression of the tower. The copper-like tone of the material is evocative of important national symbols in the area, particularly Parliament Hill.
3.8	Where appropriate, break up larger street blocks or larger development parcels by introducing mid-block pedestrian or multi-use connections, public or private, outdoor or indoor to increase and enhance the overall pedestrian accessibility and walkability of the area.	A well-lit, landscaped mid-block pedestrian connection known as the "Philosopher's Walk" is proposed between the Cathedral and the proposed building.
3.12	Animate the streets, pathways, parks, open spaces, and POPS by: a. introducing commercial and retail uses at grade on streets with commercial character; b. incorporating ground-oriented units with useable front entrances, and front amenity spaces on streets with residential character; c. providing greater floor to ceiling height at the ground floor to allow for flexibility in use over time; d. providing a minimum of 50% of clear bird-friendly glazing on the portions of the ground floor that face the pedestrian realm;	The streets and public areas are animated with active ground floor uses (bistro/café, etc.) for use by the residents. These uses will ensure that the security of the building is maintained through the contribution of "eyes on the street" commonly associated with active commercial uses at grade. The podium includes greater floor to ceiling heights and includes various amenity spaces for the residents. The podium is highly fenestrated to positively contribute to the pedestrian realm along Sparks Street and the pedestrian connection.
3.14	Locate parking underground or at the rear of the building.	Parking is located entirely underground.
3.16	Internalize and integrate servicing, loading, and other required utilities into the design of the base of the building, where possible.	The servicing spaces are located along Queen Street, to the rear of the building, adjacent to the entrance of parking garage. This ensures Sparks Street, atop the escarpment, remains a primarily pedestrian-oriented streetscape.

4.7 City of Ottawa Comprehensive Zoning By-law 2008-250

The subject site is zoned **General Mixed-Use Zone, Subzone 27, Schedule 206 (GM27 S206)** in the City of Ottawa Comprehensive Zoning By-law 2008-250. The purpose of the GM zone is to allow residential,

February 2019

PERFORMANCE STANDARD	GM27 S206	PROVIDED	COMPLIANCE
Schedule 206			
Min. Interior Side Yard Setback Schedule 206	East: 1.1 metres to 6.1 metres above grade, and then 0.6 metres. West: none (one lot for zoning purposes)	East: 1.5 metres West: 3.6 metres	Yes
Min. Rear Yard Setback Schedule 206	8.9 metres (to Queen Street)	15.8 metres	Yes
Max. Building Height Schedule 206	(Part C) 55 metres above grade*	63.5 metres	No
Permitted Projections into Required Yards Section 65	Residential use buildings other than low-rise apartment dwellings and mid-high rise apartment dwellings: 1.8 metres, but not closer than 0.6 metres to a lot line	The canopy projects 4.3 metres into the front yard and is located 0.4 metres from the lot line. The canopy includes support columns.	No
Min. Amenity Space Section 137	6m ² per dwelling unit, and 10% of the gross floor area of each rooming unit = 1,502 m ² Minimum of 50% of total required amenity area and must be communal and aggregated into areas up to 54m ² and where more than one aggregated area is provided, at least one must be a minimum of 54 m ² Total amenity area required: 1,073m ² Total communal area required: 537m ²	Total amenity provided: 1,689m ² Total communal amenity area provided: 501m ²	Yes
Max. Limit on Number of Parking Spaces Near Rapid Transit Stations	Not applicable to Retirement Home uses		N/A
Min. Parking Spaces Section 101	Area Z – No off-street motor vehicle parking is required to be provided. Visitor parking – No visitor parking spaces are required	For use by retirement home: +/- 42 spaces Visitor parking: 14 spaces	Yes

PERFORMANCE STANDARD	GM27 S206	PROVIDED	COMPLIANCE
	for the first 12 units. After the first 12 units, 0.1 parking spaces per unit are required. 152 units – 12 = 140 140 x 0.1 = 14 visitor spaces required.	Cathedral parking: 30 spaces (including flex spaces) Total provided: 86 spaces	
Min. Barrier-Free Parking Spaces Updated Traffic and Parking By-law (2018)	88 spaces x 4% Required: 4 spaces, equal Type A and Type B	2 Type A spaces 3 Type B spaces Total: 5 spaces	Yes
Min. Bicycle Parking Section 111	0.25 per rooming or dwelling unit 0.25 x 152 units: 38 spaces	18 spaces (12 in parking garage and 6 located on outdoor bicycle rack)	No
Min. Loading Spaces	None Required**		N/A
Min. Driveway Width	6.7 metres	7.77 metres	Yes
Min. Drive Aisle Width Section 107	6.0 metres	6.0 metres	Yes
Min. Parking Space Dimensions Section 106	Regular: 2.6 metres x 5.2 metres Small car (max. 40% of required parking): 2.6 metres x 4.6 metres	Regular: 2.6 metres x 5.2 metres Small car: 2.6 metres x 4.6 metres	Yes

* The proposed building height of 63.5 metres does not include the mechanical penthouse, which is a permitted projection above the height limit as per Section 64 of the By-law.

**The provisions of Table 113B of the By-law are only applicable where a loading space is required by the By-law. A receiving area is proposed at the rear of the building to accommodate a small number of service vehicles, including food delivery approximately twice a week and garbage pick-up approximately twice a week as well as to facilitate move-ins. This receiving area is not located within a parking lot and is therefore not subject to Section 110(3).

Maximum permitted building heights
Hauteur de bâtiment maximale permise

A = 60m above grade / au-dessus du niveau sol

B = Height of existing building / Hauteur du bâtiments existant

C = 55m above grade / au-dessus du niveau sol

D = 14m above grade / au-dessus du niveau sol

E = 73.6m above grade / au-dessus du niveau sol

F = 0m until 9m above grade, then 55m / de 0 m à 9 m au-dessus du niveau du sol, puis 55 m

G = 8m above grade / au-dessus du niveau sol

H = buildings prohibited in this area / bâtiments interdits dans ce secteur



Figure 24: Schedule 206, the existing zoning schedule. A former development proposal is included as Area C, with Areas F, G and H also forming part of the subject site. Area B is the existing Christ Church Cathedral.

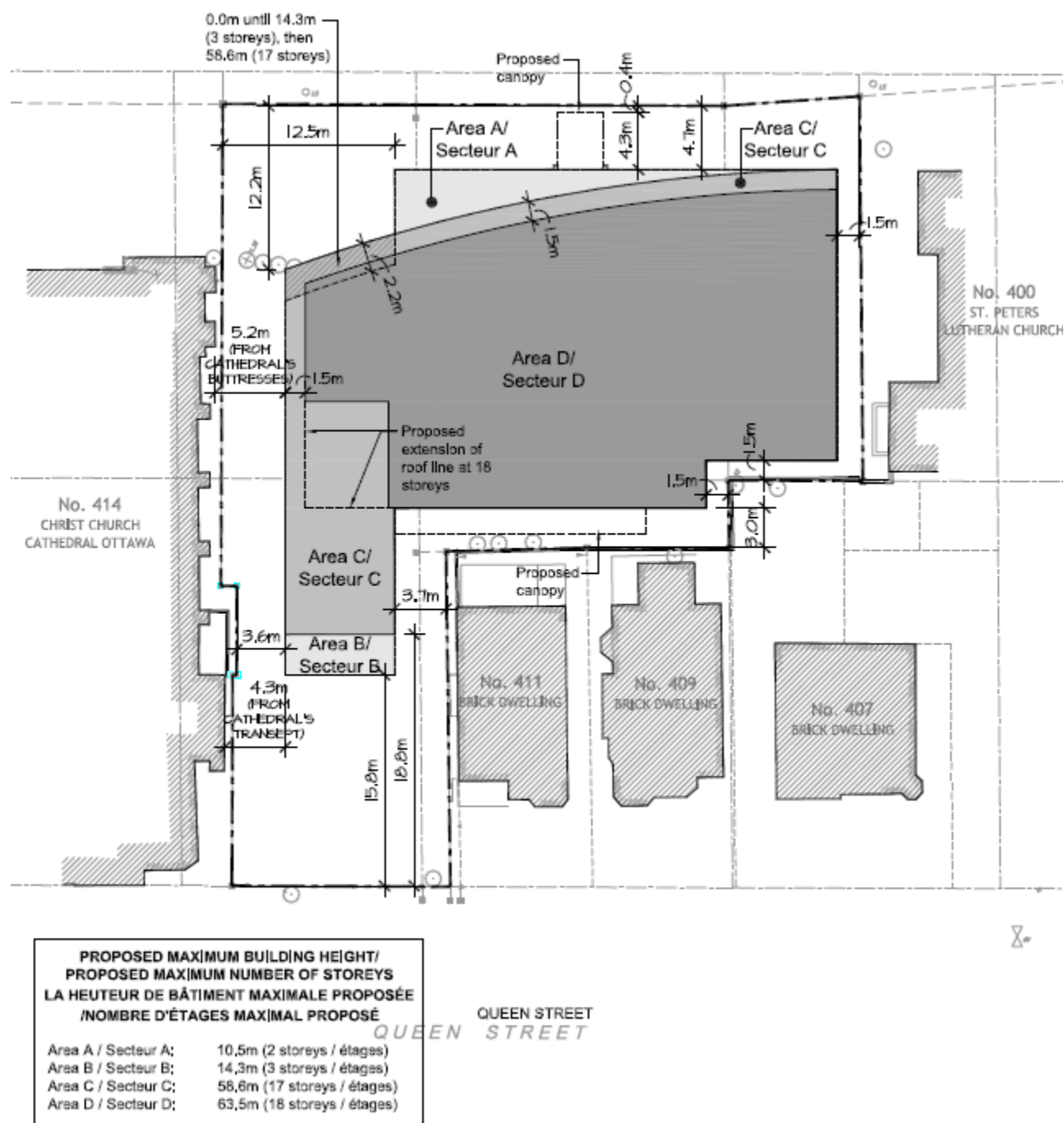


Figure 25: Proposed Zoning Schedule

4.7.1 Recommended Zoning Details

It is suggested that the portion of Schedule 206 pertaining to the property at 412 Sparks be replaced with the proposed zoning schedule shown as Figure 25 of this report. The proposed zoning schedule is intended to specify the permitted setbacks and building heights per the proposed building, which has been significantly revised since the original proposal from which Schedule 206 was developed. As it appears that the GM27 zone

is specific to Cathedral Hill, it is likely that the retirement home use can be added to the subzone without impacts to other properties.

In addition to the request to add “retirement home” as a permitted use on the subject site, the Zoning By-law Amendment seeks to amend the By-law as follows, as shown in the above zoning compliance table and proposed zoning schedule:

- / Replace Schedule 206 with the proposed zoning schedule in order to better reflect the built form proposed. This will include:
 - o A reduced front yard setback of 4.7 metres, whereas Schedule 206 requires a minimum setback of 7.75 metres;
 - o Permit a canopy to project 4.3 metres into the front yard and 0.4 metres from the lot line; whereas, Section 65 permits a canopy to project 1.8 metres into a required yard, but not closer than 0.6 metres to a lot line;
 - o Increased building height of 63.5 metres + projections for mechanical requirements, whereas Schedule 206 permits a maximum building height of 55 metres; and
- / To permit a total of 18 bicycle parking spaces, whereas Section 111 of the Zoning By-law requires 38 bicycle parking spaces.

Whereas the previous design proposed an office building and was significantly set back from the street edge along Sparks Street, the proposed building is a retirement home, a residential use, and has been brought in line with the existing St. Peter’s Lutheran Church and the new Windmill townhouses to the west. The reduced front yard setback will establish a strong residential edge along Spark Street that is consistent with the existing townhouses and the Lutheran Church. Whereas the previously proposed office building was set back from the street to ensure the Cathedral retains its prominence, the proposed building uses a podium/tower design to achieve a ground-oriented built form at ground-level with a tower stepping back and curving inwards to frame and enhance views of the Cathedral. Overall, bringing the building closer to the street, in conjunction with the podium/tower design and residential use, creates a more pleasant and vibrant streetscape along Sparks Street and provides the Cathedral spire with the space to retain its prominence.

The proposed retirement home has a height of 63.5 metres, 8.5 metres taller than the permitted 55 metre height attributed to the previous office building proposal on Schedule 206. The revised building design includes taller floor-to-ceiling heights on both podium levels, the assisted living 3rd floor as well as on floors 17 and 18 for the independent living apartments and amenity spaces. The additional building height is not anticipated to generate any new undue adverse impacts on adjacent development including sun shadowing and microclimate, or on key views of the Parliament Buildings as shown in Annex 8A of the Official Plan.

The proposed 18 bicycle parking spaces include 12 underground parking spaces and a further 6 spaces located on an outdoor bicycle rack at the front of the building. It is anticipated that the 12 underground spaces will be used by residents and staff alike, with the outdoor spaces available to visitors. The applicant has completed an analysis of bicycle parking usage at other similar retirement homes in their portfolio which typically have residents of an average resident age range of 86 to 90.5 years of age. Bicycle usage is generally low to non-existent due to the age of the residents and level of physical mobility. The primary users of the bicycle spaces were staff, with no more than three (3) staff cycling to work at any facility on average. In addition to the provided bicycle spaces, the building includes a parking/storage area for mobility scooters. Based on the projected average age of the residents and the analysis above, the proposed 18 bicycle parking spaces are more than sufficient for the proposed development.

Overall, the proposed amendment meets the intent of the Zoning By-law by moving the building closer to the street and forming a more urban, ground-oriented streetscape, providing a more compact yet

heritage-sensitive urban form through a podium/tower design, and providing amenities that reflect the needs of the projected residents.

5.0

INTEGRATED ENVIRONMENTAL REVIEW STATEMENT

In order to understand the relationship between the natural environment and a proposed development, an Integrated Environmental Review Statement (IERS) is provided within the overall Planning Rationale.

5.1.1 Protection of Endangered and Threatened Species

The Official Plan requires that applicants submit an Environmental Impact Statement to analyze the impacts of new developments located in proximity to significant habitat of endangered or threatened species. At the time of the original applications, a Peregrine Falcon nest was observed on the rooftop of the nearby Delta Ottawa City Centre Hotel. At that time, Peregrine Falcons were classified as “Endangered” and, accordingly, provincial and municipal policies required the preparation of studies to ensure mitigation for the bird habitat.

In 2013, recovering the Peregrine Falcon population prompted federal and provincial governments to upgrade the status of the species from “Endangered” to “Special Concern”. In the interim time period, the specific Peregrine Falcons nesting on the nearby Delta Hotel rooftop have moved their habitats and there are no nests currently located in proximity to the subject property. As such, an Environmental Impact Statement is not required for the development applications proposed.

5.1.2 Energy Conservation Through Design

The Official Plan contains a set of policies encouraging applicants to implement energy conservation design techniques, including:

- / Orienting buildings to maximize potential for solar energy;
- / Ensuring landscape designs consider energy and water conservation by selecting appropriate locations and species that are native and have low watering demands; and
- / Using light-coloured landscaped surfaces to reduce heat retention.

The proposed development will incorporate the following:

- / While the landscaping details will be submitted with the Site Plan Control application, it is intended that plantings will be of native species with low water and maintenance demands.
- / The building follows an established road grid, but the design of the building provides opportunities for passive solar energy.
- / A Tree Conservation Report will be submitted with the application for Site Plan Control.
- / Underground stormwater storage is proposed for improved stormwater recharge.

In considering the proposed development and applicable policy framework, it is our professional opinion that the proposed development represents good planning and is in the public interest for the following reasons:

CONSISTENT WITH THE PROVINCIAL POLICY STATEMENT

The proposed development is consistent with the Provincial Policy Statement which promotes the development of serviced, underutilized lands located within settlement areas and proposes an efficient, cost-effective pattern of development, capitalizes on an intensification opportunity within the City, and anticipates future needs of the community in which it is located.

CONFORMS TO THE CITY OF OTTAWA OFFICIAL PLAN

The proposed development conforms to the City of Ottawa Official Plan as it represents an opportunity for intensification in the Central Area that supports its role as the heart of the City of Ottawa. The proposed development is consistent with the policies of the plan regarding growth management and compatibility with existing and planned development. The development is in keeping with the Secondary Plan's vision for the area as a predominantly residential neighbourhood.

MEETS APPLICABLE DESIGN GUIDELINES

The proposed development generally meets the design direction provided in the Urban Design Guidelines for High-rise Buildings and the Official Plan. The proposed development is a background building featuring a podium/tower design that, together with other new developments on this block, form a cohesive streetscape and urban built form that frames the existing heritage Christ Church Cathedral.

MAINTAINS THE GENERAL INTENT OF THE ZONING BY-LAW

The proposed development is consistent with the intent of the Zoning By-law, as it proposes the redevelopment of an underutilized site in the Central Area. The parent General Mixed-Use zone permits the proposed use of a retirement home and the revised building heights and setbacks are not anticipated to generate any additional undue adverse impacts on adjacent development. The proposed development is a more urban, ground-oriented built form using a podium-tower design to create a new streetscape along Sparks Street that does not detract from the existing heritage value of the Cathedral.

REPRESENTS GOOD PLANNING

Overall, the proposed development advances several key policy objectives at the Provincial and Municipal levels including: optimizing the use of serviced lands within the existing urban boundary, promoting residential intensification within the urban boundary, supporting local commercial uses, and promoting new residential development in proximity to transit.

Based on the above analysis, the proposed development represents good planning and is therefore in the public interest.



Jacob Bolduc, M.P.L.
Planner
FOTENN Consultants Inc.



Stephanie Morris-Rashidpour, MCIP RPP
Senior Planner
FOTENN Consultants Inc.