



2019-03-04

Pascal Toupin-Selinger
Ironclad Developments Inc.
101-57158 Symington Rd. 20E
Springlied, MB R2J 4L6

**Subject: Addendum #1: Site Plan Update of Proposed Development at 800 Eagleson Road,
Ottawa - WSP Noise Impact Assessment File No: 181-02513-00**

Dear Sir:

This Addendum Letter is in response to your request to review and revise the previously prepared Noise Impact Assessment (NIA) Report for the above noted development. WSP completed review of NIA Report (Ref: 181-02513-00) dated December 14, 2018 (December 2018 NIA Report) as well as the updated Site Plan drawing dated March 1, 2019, to determine whether a revision to the above noted report will be required. This Addendum Letter should, therefore be read in conjunction with the previously prepared NIA Report dated December 14, 2018.

WSP's review indicated that the total number of dwelling units has changed to 130 from previously noted 143 units; this and other noted changes in the Site Plan are not anticipated to have impact on the noise control recommendations provided in the December 2018 NIA Report. Therefore, WSP concluded that the recommendations provided in the December 2018 NIA Report remain unchanged.

We trust the information presented in this addendum letter would be of assistance.

Kind regards,

A handwritten signature in blue ink, appearing to read 'Carolyn Ropp'.

Carolyn Ropp, B.Sc.
Acoustic Noise and Vibration Specialist

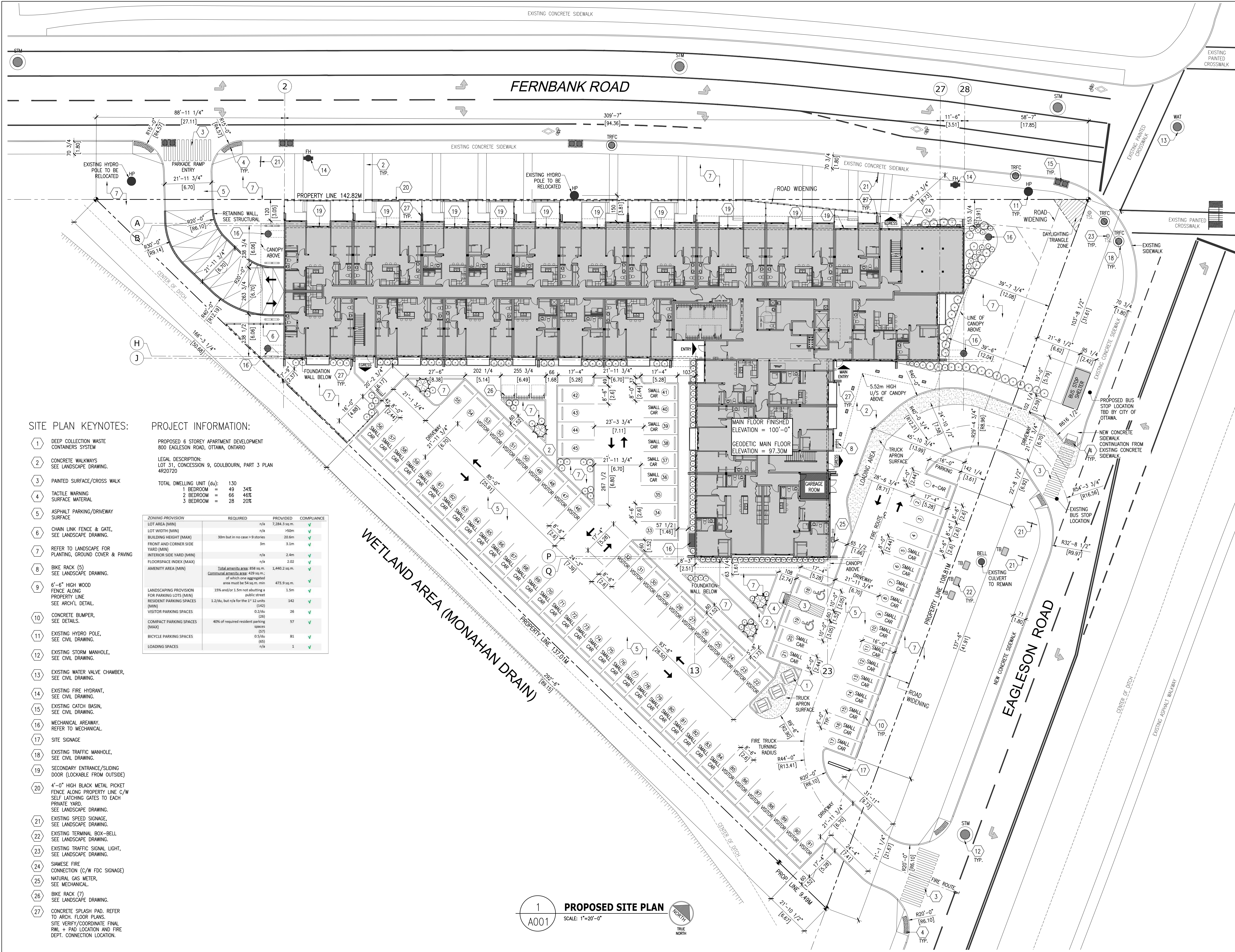
A handwritten signature in blue ink, appearing to read 'Kana Ganesh'.

Kana Ganesh, MSc., PhD, P.Eng.
Senior Technical Director, Acoustics and Vibration
(Ontario)

KG/cnr

Encl.
WSP ref.: 181-02513-00

S:\Design\Projects\1802 - Eagleson [Ottawa] \04 Design & Drawings\4.1_Architectural\4.1_CAD\1802-Egleson-A001_Site Plan.dwg



SITE PLAN KEYNOTES:

- 1 DEEP COLLECTION WASTE CONTAINERS SYSTEM
- 2 CONCRETE WALKWAYS SEE LANDSCAPE DRAWING.
- 3 PAINTED SURFACE/CROSS WALK
- 4 TACTILE WARNING SURFACE MATERIAL
- 5 ASPHALT PARKING/DRIVEWAY SURFACE
- 6 CHAIN LINK FENCE & GATE, SEE LANDSCAPE DRAWING.
- 7 REFER TO LANDSCAPE FOR PLANTING, GROUND COVER & PAVING
- 8 BIKE RACK (5) SEE LANDSCAPE DRAWING.
- 9 6'-6" HIGH WOOD FENCE ALONG PROPERTY LINE SEE ARCH'L DETAIL.
- 10 CONCRETE BUMPER, SEE DETAILS.
- 11 EXISTING HYDRO POLE, SEE CIVIL DRAWING.
- 12 EXISTING STORM MANHOLE, SEE CIVIL DRAWING.
- 13 EXISTING WATER VALVE CHAMBER, SEE CIVIL DRAWING.
- 14 EXISTING FIRE HYDRANT, SEE CIVIL DRAWING.
- 15 EXISTING CATCH BASIN, SEE CIVIL DRAWING.
- 16 MECHANICAL AREAWAY, REFER TO MECHANICAL.
- 17 SITE SIGNAGE
- 18 EXISTING TRAFFIC MANHOLE, SEE CIVIL DRAWING.
- 19 SECONDARY ENTRANCE/SLIDING DOOR (LOCKABLE FROM OUTSIDE)
- 20 4'-0" HIGH BLACK METAL PICKET FENCE ALONG PROPERTY LINE C/W SELF LATCHING GATES TO EACH PRIVATE YARD. SEE LANDSCAPE DRAWING.
- 21 EXISTING SPEED SIGNAGE, SEE LANDSCAPE DRAWING.
- 22 EXISTING TERMINAL BOX-BELL SEE LANDSCAPE DRAWING.
- 23 EXISTING TRAFFIC SIGNAL LIGHT, SEE LANDSCAPE DRAWING.
- 24 SIAMSE FIRE CONNECTION (C/W FDC SIGNAGE)
- 25 NATURAL GAS METER, SEE MECHANICAL.
- 26 BIKE RACK (7) SEE LANDSCAPE DRAWING.
- 27 CONCRETE SPLASH PAD, REFER TO ARCH. FLOOR PLANS. SITE VERIFY COORDINATE FINAL RWL + PAD LOCATION AND FIRE DEPT. CONNECTION LOCATION.

PROJECT INFORMATION:

PROPOSED 6 STOREY APARTMENT DEVELOPMENT 800 EAGLESON ROAD, OTTAWA, ONTARIO			
LEGAL DESCRIPTION: LOT 31, CONCESSION 9, GOULBOURN, PART 3 PLAN 4R20720			
TOTAL DWELLING UNIT (du):			
1 BEDROOM	=	49	34%
2 BEDROOM	=	66	46%
3 BEDROOM	=	28	20%

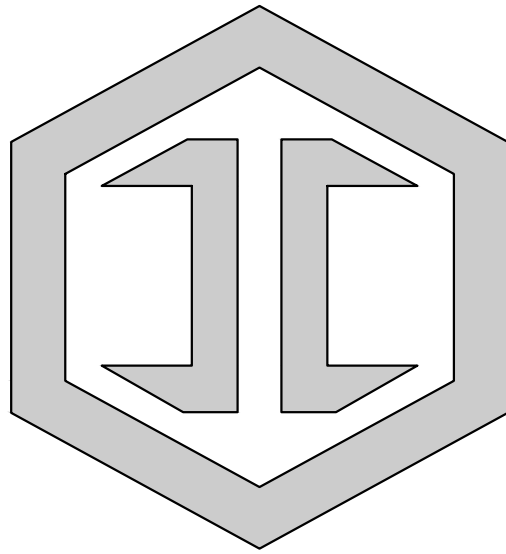
ZONING PROVISION	REQUIRED	PROVIDED	COMPLIANCE
LOT AREA (MIN)	n/a	7,384.9 sq.m.	✓
LOT WIDTH (MIN)	n/a	>50m	✓
BUILDING HEIGHT (MAX)	30m but in no case > 9 stories	20.6m	✓
FRONT AND CORNER SIDE YARD (MIN)	3m	3.1m	✓
INTERIOR SIDE YARD (MIN)	n/a	2.4m	✓
FLOORS/SPACE INDEX (MAX)	n/a	2.02	✓
AMENITY AREA (MIN)	Total amenity area: 858 sq.m. Communal amenity area: 429 sq.m.; of which one aggregated area must be 54 sq.m. min	1,440.2 sq.m. 473.9 sq.m.	✓
LANDSCAPING PROVISION FOR PARKING LOTS (MIN)	15% and/or 1.5m not abutting a public street	1.5m	✓
RESIDENT PARKING SPACES (MIN)	1.2/du, but n/a for the 1 st 12 units	142	✓
VISITOR PARKING SPACES	0.2/du	26	✓
COMPACT PARKING SPACES (MAX)	40% of required resident parking spaces	57	✓
BICYCLE PARKING SPACES	0.5/du	81	✓
LOADING SPACES	n/a	1	✓

1
A001

PROPOSED SITE PLAN
SCALE: 1"=20'-0"

NORTH
TRUE NORTH

IRONCLAD DEVELOPMENTS INC.



Project Management
General Contracting
Design/ Build

101-57158
Symington Rd.
Springfield, MB.
R2J 4L6
Ph: 204-777-1972
info@icdev.ca

IRONCLAD
DEVELOPMENTS INC.

GENERAL NOTES:
1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH CIVIL, LANDSCAPE STRUCTURAL, MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATION AS REQUIRED.
2. THE SURVEY AND PLAN ARE CORRECT IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
3. THE SURVEY WAS COMPLETED ON THE 7TH DAY OF MARCH, 2018, SIGNED AND CERTIFIED BY BRIAN J. WEBSTER ON 4TH DAY OF APRIL, 2018.
4. SLOPE PARKING LOT 2% DOWN TO DRAIN TO CATCH BASINS.
5. REFER TO CIVIL DRAWING FOR GRADING OF PARKING AREA.
6. ALL SIGNAGES TO BE IN COMPLIANCE WITH THE LATEST EDITION OF ONTARIO TRAFFIC MANUAL AND OTHER APPLICABLE CODES.

2	ISSUED FOR CONSTRUCTION	2019/03/01
1	ISSUED FOR DEVELOPMENT PERMIT ONLY	2018/12/04
REV#	REVISION DESCRIPTION	DATE

THIS DRAWING IS THE PROPERTY OF IRONCLAD DEVELOPMENTS INC. AND CANNOT BE REPRODUCED OR USED WITHOUT THE CONSENT OF THE DESIGN MANAGER. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL LEVELS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO IRONCLAD DEVELOPMENTS INC. AND OBTAIN CLARIFICATION PRIOR TO COMMENCING WORK.

Ottawa, Ontario
800 Eagleson Road
Egleson Apartments
Proposed Site Plan

Project Number	1802	
Date	MAR 01, 2019	Rev Date
Drawn By	TT	
Checked By	RG	
Sheet No.	A001	
Scale	AS NOTED	