

**Geotechnical
Engineering**

**Environmental
Engineering**

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Engineering**

Materials Testing

Building Science

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Services**

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Phase I Environmental Site Assessment

899, 901, and 903 Ages Drive
Ottawa, Ontario

Prepared For

Ages Drive Development Inc.

Paterson Group Inc.

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March 1, 2019

Report: PE4405-1R

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EXECUTIVE SUMMARY

Assessment

Paterson Group was retained by Ages Drive Development Inc. to conduct a Phase I Environmental Site Assessment (ESA) of 899, 901, and 903 Ages Drive, in the City of Ottawa, Ontario. The purpose of this Phase I-Environmental Site Assessment (Phase I-ESA) was to research the past and current use of the site and study area and to identify any environmental concerns with the potential to have impacted the subject properties.

The subject site is vacant and tree-covered. Based on historical searches, the subject land has never been developed.

Surrounding properties historically consisted of agricultural fields. Adjacent properties on Ages Drive were developed in the late 1990s with commercial businesses. Potentially Contaminating Activities in the Phase I study area were identified during the historical research. Based on their distances from the subject site and/or downgradient locations, these PCAs are not considered to represent Areas of Potential Environmental Concern on the subject property.

Following the historical research, a site visit was conducted to assess the subject site and Phase I ESA study area. The subject site was vacant and covered with dense brush, with recently cleared access pathways throughout the property. The site visit identified an additional PCA to the south, the Charles Sim Municipal Workshop, but it is not considered to represent an APEC due to its distance from the subject property.

Conclusion

Based on the results of the Phase I - Environmental Site Assessment, it is our opinion that **a Phase II - Environmental Site Assessment is not required for the subject site.**

1.0 INTRODUCTION

At the request of Ages Drive Development Inc., Paterson Group (Paterson) conducted a Phase I Environmental Site Assessment (Phase I ESA) of 899, 901, and 903 Ages Drive, in the City of Ottawa, Ontario. The purpose of this Phase I ESA was to research the past and current use of the site and study area and to identify any environmental concerns with the potential to have impacted the subject property.

Paterson was engaged to conduct this Phase I ESA by Mr. Martin Languedoc of Ages Drive Development. Mr. Languedoc can be reached by telephone at (613) 223-3851.

This report has been prepared specifically and solely for the above noted project which is described herein. It contains all our findings and results of the environmental conditions at this site.

This Phase I-ESA report has been prepared in general accordance with the requirements of Ontario Regulation 153/04 as amended by O.Reg. 269/11 (Environmental Protection Act), and also complies with the requirements of CSA Z768-01. The conclusions presented herein are based on information gathered from a limited historical review and field inspection program. The findings of the Phase I - ESA are based on a review of readily available geological, historical and regulatory information and a cursory review made at the time of the field assessment. The historical research relies on information supplied by others, such as, local, provincial and federal agencies and was limited within the scope-of-work, time and budget of the project herein.

2.0 PHASE I PROPERTY INFORMATION

Address:	899, 901, and 903 Ages Drive, Ottawa, Ontario.
Legal Description:	Part of Lot 2, Concession 5 (Rideau Front), Geographic Township of Gloucester, City of Ottawa.
Property Identification Numbers:	04165-1019
Location:	The subject site is located on the northwest side of Ages Drive, Ottawa
Latitude and Longitude:	45° 22' 57.6" N, 75° 36' 53.4" W

Site Description:

Configuration:	Irregular
Site Area:	1.89 ha (approximately)
Zoning:	IG3 – General Industrial Zone
Current Use:	The subject site is currently vacant and tree covered.
Services:	The subject site is situated in an area with municipal water and sewer services.

3.0 SCOPE OF INVESTIGATION

The scope of work for this Phase I – Environmental Site Assessment was as follows:

- Determine the historical activities on the subject site and study area by conducting a review of readily available records, reports, photographs, plans, mapping, databases and regulatory agencies;
- Investigate the existing conditions present at the subject site and study area by conducting site reconnaissance;
- Conduct interviews with persons knowledgeable of current and historic operations on the subject property, and if warranted, neighbouring properties;
- Present the results of our findings in a comprehensive report in general accordance with the requirements of Ontario Regulation 269/11 amending O.Reg. 153/04 made under the Environmental Protection Act and in compliance with the requirements of CSA Z768-01;
- Provide a preliminary environmental site evaluation based on our findings;
- Provide preliminary remediation recommendations and further investigative work if contamination is suspected or encountered.

4.0 RECORDS REVIEW

4.1 General

Phase I-ESA Study Area Determination

A radius of approximately 250 m was determined to be appropriate as a Phase I ESA study area for this assignment. Properties outside the 250 m radius are not considered to have impacted the subject land, based on their significant distance from the site.

First Developed Use Determination

According to the city directories and aerial photos, the property has never been developed.

Fire Insurance Plans

Fire insurance plans (FIPs) are not available for the area of the subject site.

City of Ottawa Street Directories

City Directories for the area of the subject site were reviewed from 1980 to 2011. The subject addresses were not listed in the directories. Properties in the Phase I study area were listed as commercial businesses from 1980 to 2011. Thurston Auto Repair was listed at 1011 Thomas Spratt Place in 1999/2000. Based on its distance from the subject property (135 m), this PCA is not considered to represent an Area of Potential Environmental Concern on the subject site.

4.2 Environmental Source Information

Environment Canada

A search of the National Pollutant Release Inventory (NPRI) was conducted electronically on August 9, 2018. The subject site was not listed in the NPRI database. No records of pollutant release were listed in the database for properties located within the Phase I Study Area.

PCB Inventory

A search of national PCB waste storage sites was conducted. No PCB waste storage sites were identified in the Phase I study area.

Ontario Ministry of Environment, Conservation and Parks (MECP) Instruments

A request was submitted to the MECP Freedom of Information office for information with respect to certificates of approval, permits to take water, certificates of property use or any other similar MECP issued instruments for the site. The response from the MECP did not identify any instruments for the subject property.

MECP Coal Gasification Plant Inventory

The Ontario Ministry of Environment document titled "Municipal Coal Gasification Plant Site Inventory, 1991" was reviewed to reference the locations of former plants with respect to the site. No coal gasification plants were identified within the Phase I study area.

MECP Incident Reports

A request was submitted to the MECP Freedom of Information office for information with respect to records concerning environmental incidents, orders, offences, spills, discharges of contaminants or inspections maintained by the MECP for the subject site or adjacent properties. The response from the MECP did not identify any reports for the subject property.

MECP Waste Management Records

A request was submitted to the MECP Freedom of Information office for information with respect to waste management records. The response from the MECP did not identify any records for the subject property.

MECP Submissions

A request was submitted to the MECP Freedom of Information office for information with respect to reports related to environmental conditions. The response from the MECP did not identify any reports for the subject property.

MECP Brownfields Environmental Site Registry

A search of the MECP Brownfields Environmental Site Registry was conducted as part of this assessment for the site, neighbouring properties and the general area of the site. No Records of Site Condition (RSCs) were filed for the subject site or adjacent properties.

MECP Waste Disposal Site Inventory

The Ontario Ministry of Environment document titled "Waste Disposal Site Inventory in Ontario, 1991" was reviewed as part of the historical research. This document includes all recorded active and closed waste disposal sites, industrial manufactured gas plants and coal tar distillation plants in the Province of Ontario. No former waste disposal sites were identified within the Phase I study area.

Areas of Natural Significance

A search for areas of natural significance and features within the Phase I study area was conducted on the web site of the Ontario Ministry of Natural Resources (MNR) on August 10, 2018. The search did not reveal any natural features or areas of natural significance within the Phase I study area.

Technical Standards and Safety Authority (TSSA)

The TSSA Fuels Safety Branch was contacted by email on August 14, 2018. There are no underground storage tanks recorded in the TSSA registry for the subject property. The TSSA search returned records of a private fuel outlet at the Charles Sim Municipal Workshop located at 2799 Swansea Crescent, adjacent to the south subject site. The tanks are located approximately 400 m to the south of the subject site. Based on their distance from the subject site (outside the Phase I study area), they are not considered to represent an APEC.

City of Ottawa Landfill Document

The document entitled "Old Landfill Management Strategy, Phase I – Identification of Sites, City of Ottawa", was reviewed. No former waste disposal sites were located within the Phase I study area.

City of Ottawa Historical Land Use Inventory

A requisition was sent to the City of Ottawa to request information from the City's Historical Land Use Inventory (HLUI 2005) database for the subject property. The City's search identified several environmental concerns in the Phase I study area, including Bowie G&P Rentals (lawn equipment) at 1010 Thomas Spratt Place (65 m southeast), Thurston Auto Repair at 1011 Thomas Spratt Place (140 m east), and City Garage, Oil Changers, and R&H Cargo Conveyor at 2285 St. Laurent Boulevard (130 m north). Based on their distances from the subject property, these PCAs are not considered to result in Areas of Potential Environmental Concern. A copy of the search is included in Appendix 2.

Previous Environmental Reports

A review of environmental projects in the area of the subject land completed by Paterson Group did not identify any issues considered to pose a risk to the subject land.

4.3 Physical Setting Sources

Aerial Photographs

Historical air photos from the National Air Photo Library were reviewed in approximate ten (10) year intervals. The review period dates back to the first available air photos for the site. Based on the review, the following observations have been made:

- | | |
|------|--|
| 1958 | The subject property and surrounding lands are vacant. A railway track is present adjacent to the north of the subject property. |
| 1965 | No significant changes have been made to the subject site or surrounding properties. |
| 1976 | (City of Ottawa website) No significant changes have been made to the subject site or adjacent properties. Stevenage Drive has been constructed further to the south, outside the Phase I study area. |
| 1983 | No significant changes have been made to the subject site or surrounding properties. |
| 1995 | No significant changes have been made to the subject site or adjacent properties. Ages Drive has been constructed to the southeast but has not been developed with any structures. |
| 2005 | (City of Ottawa website) No significant changes have been made to the subject site. Several properties in the Phase I area have been developed to the east of the subject property, at 950, 1001 and 1051 Ages drive and 100 Legacy Road, as well as properties to the west, on Thomas Spratt Place and Thurston Road. |
| 2017 | (City of Ottawa Website) No significant changes appear to have been made to the subject property. Additional properties in the Phase I study area have been developed with commercial buildings. |

Laser copies of selected aerial photographs reviewed are included in Appendix 1.

Topographic Maps

Topographic information was obtained from the City of Ottawa “geoottawa” website and Natural Resources Canada – The Atlas of Canada website. The topographic maps indicate that the elevation of the subject site is approximately 85 m ASL, and that the regional topography in the general area of the site slopes gradually downward to the east towards McEwan Creek. An illustration of the referenced topographic map is presented on Figure 2 – Topographic Map, appended to this report.

Physiographic Maps

The Ontario Geological Survey publication ‘The Physiography of Southern Ontario, Third Edition’ was reviewed as a part of this assessment. According to the publication and attached mapping, the site is situated within the St-Lawrence Lowlands physiographic region, described as a plain-like area that was all affected by the Pleistocene glaciations and is therefore covered by surficial deposits and other features associated with the ice sheets. Mapping shows the subject site as situated on an area of deltaic and estuarine deposits.

Geological Maps

The Geological Survey of Canada website on the Urban Geology of the National Capital Area was consulted as part of this assessment. Based on this information, bedrock beneath the site area consists of shale of the Carlsbad Formation. It was reported that surficial soils consist of offshore marine sediments, with a drift thickness of 5 to 10 m.

Water Well Records

A search of the MECP website returned two (2) well records identified in the Phase I study area (none on the subject property). One of the wells was a monitoring well, and the second well was not identified by type. The wells were installed in 1998 and 2012, to a maximum depth of 7.6 m.

Water Bodies and Areas of Natural Significance

McEwan Creek is the nearest body of water, located approximately 350 m to the northeast and 600 m to the south (two branches). No other creeks, rivers, streams, lakes or any other water body was identified in the Phase I study area. No areas of natural significance are known to exist within the Phase I study area.

5.0 INTERVIEWS

Property Owner Representative

The client is the prospective property owner and was not aware of any environmental concerns with the subject property or surrounding properties in the Phase I study area.

6.0 SITE RECONNAISSANCE

6.1 General Requirements

The site assessment was conducted August 15, 2018. Weather conditions were overcast, with a temperature of approximately 25° C. Ms. Anna Graham from the Environmental Department of Paterson Group conducted the site visit. In addition to the site, the uses of neighbouring properties within the Phase I study area were also assessed at the time of the site visit.

6.2 Specific Observations at Phase I Property

Buildings and Structures

There were no buildings or structures on the subject property at the time of the site visit.

Site Features

The subject site is currently a vacant, tree and brush covered property. Adjacent properties to the subject site are approximately at grade with respect to the subject site. Site drainage consists of natural runoff or infiltration.

No private sewage systems were observed on the subject property, nor are any expected to be present, as the site has never been developed. No evidence of current or former railway or spur lines on the subject property was observed at the time of the site inspection. There were no unidentified substances observed on the subject site.

Below Ground Structures or Utilities

No below ground structures or buried utilities were identified at the time of the site visit; none are expected to be present since the site has never been developed.

Fuels and Chemical Storage

There were no aboveground storage tanks (ASTs) or signs indicating the presence of underground storage tanks (USTs) observed on site at the time of the assessment. No other chemicals were observed at the subject property.

Neighbouring Properties

An inspection of the neighbouring properties was conducted from publicly accessible roadways at the time of the site inspection. Land use adjacent to the subject site was as follows:

- Northwest - Railway tracks, followed by the Medical Council of Canada, commercial buildings, and vacant land;
- Southeast - Ages Drive, followed by commercial offices/warehouses;
- Northeast - Icor Technology, followed by Canpar shipping with AST;
- Southwest - Vacant land, followed by Charles Sim Municipal Workshops (garage);

The railway tracks to the northwest of the subject property, the Charles Sim Workshops, and Canpar shipping are considered to be Potentially Contaminating Activities in the Phase I study area. Based on their ages and distances from the subject site, they are not considered to represent Areas of Potential Environmental Concern (APECs) on the Phase I property.

The property at 1010 Thomas Spratt Place was identified as Bowie G&P Rentals (lawn equipment) by the HLUI (dated 2001); however, the building does not appear to contain rental equipment, and may be an administrative office. Thurston Auto Repair was identified at 1011 Thomas Spratt Place (2005), but did not appear to occupy the building at the time of the site visit. These properties are not considered to represent APECs. Property use within the Phase I study area is shown on Drawing PE4405-2 - Surrounding Land Use Plan.

7.0 REVIEW AND EVALUATION OF INFORMATION

7.1 Land Use History

The following table indicates the current and past uses of the site as well as associated potentially contaminating activities dating back to the first developed use of the site.

Table 1 - Land Use History – 899, 901, and 903 Ages Drive			
Time Period	Land Use	Potentially Contaminating Activities	Areas of Potential Environmental Concern
1958 to Present	Vacant	None	None

Potentially Contaminating Activities (PCAs)

No potentially contaminating activities (PCAs) have been identified on the subject site. Eight (8) PCAs were identified in the Phase I study area – the railway tracks to the west (Item 46), Canpar shipping with fuel AST to the northeast (Item 28), the municipal workshop to the southwest (Item 52), and the businesses identified by the HLUI search to the north, on St. Laurent Boulevard and Thomas Spratt Place (Item 52).

Areas of Potential Environmental Concern (APEC)

Based on the lack of fueling or maintenance operations associated with the railway tracks, the distances of the commercial properties to the north, the distance of the maintenance and fueling operations at the municipal workshop to the south, and the distance of maintenance operations at the Canpar property, the PCAs are not considered to represent APECs. No Areas of Potential Environmental Concern were noted on the subject site.

Contaminants of Potential Concern (CPC)

No contaminants of potential concern were identified, since no APECs were identified on the subject site.

7.2 Conceptual Site Model

Geological and Hydrogeological Setting

Based on information from the Geological Survey of Canada, bedrock beneath the site area consists of shale of the Carlsbad Formation. Surficial soils consist of offshore marine sediments, with a drift thickness of 5 to 10 m.

Hydrogeological conditions are considered to mimic the topographic setting; as a result, groundwater is expected to flow northeast towards McEwan Creek.

Contaminants of Potential Concern

As per Section 7.1 of this report, no CPCs were identified on the subject site.

Existing Buildings and Structures

There are no buildings or structures on the subject site.

Water Bodies

The nearest body of water is McEwan Creek, located 350 m to the northeast of the subject property.

Areas of Natural Significance

No areas of natural significance were identified on the site or in the Phase I area.

Drinking Water Wells

Based on the results of the well record search, no drinking water wells are present on the subject property or within the Phase I study area.

Neighbouring Land Use

Neighbouring land use in the Phase I study area consists of commercial businesses. Land use is shown on Drawing PE4405-2-Surrounding Land Use Plan.

Potentially Contaminating Activities and Areas of Potential Environmental Concern

As per Section 7.1 of this report, no PCAs were identified on the subject property. Several PCAs were identified in the Phase I study area – a railway track to the north, a municipal workshop to the southwest, and a shipping company to the northeast. Based on the nature and/or distances of these activities from the subject site, they are not considered to represent APECs on the subject property.

Assessment of Uncertainty and/or Absence of Information

The PCAs within the Phase I study area were confirmed by a variety of independent sources. As such, the conclusions of this report are not affected by uncertainty which may be present with respect to the individual sources.

8.0 CONCLUSIONS

Assessment

Paterson Group was retained by Ages Drive Development Inc. to conduct a Phase I Environmental Site Assessment (ESA) of 899, 901, and 903 Ages Drive, in the City of Ottawa, Ontario. The purpose of this Phase I-Environmental Site Assessment (Phase I-ESA) was to research the past and current use of the site and study area and to identify any environmental concerns with the potential to have impacted the subject properties.

The subject site is vacant and tree-covered. Based on historical searches, the subject land has never been developed.

Surrounding properties historically consisted of agricultural fields. Adjacent properties on Ages Drive were developed in the late 1990s with commercial businesses. Potentially Contaminating Activities in the Phase I study area were identified during the historical research. Based on their distances from the subject site and/or downgradient locations, these PCAs are not considered to represent Areas of Potential Environmental Concern on the subject property.

Following the historical research, a site visit was conducted to assess the subject site and Phase I ESA study area. The subject site was vacant and covered with dense brush, with recently cleared access pathways throughout the property. The site visit identified an additional PCA to the south, the Charles Sim Municipal Workshop, but it is not considered to represent an APEC due to its distance from the subject property.

Conclusion

Based on the results of the Phase I - Environmental Site Assessment, it is our opinion that **a Phase II - Environmental Site Assessment is not required for the subject site.**

9.0 STATEMENT OF LIMITATIONS

This Phase I - Environmental Site Assessment report has been prepared in general accordance with O.Reg. 153/04 as amended by O.Reg. 269/11 and meets the requirements of CSA Z768-01. The conclusions presented herein are based on information gathered from a limited historical review and field inspection program. The findings of the Phase I - ESA are based on a review of readily available geological, historical and regulatory information and a cursory review made at the time of the field assessment. The historical research relies on information supplied by others, such as, local, provincial and federal agencies and was limited within the scope-of-work, time and budget of the project herein.

Should any conditions be encountered at the subject site and/or historical information that differ from our findings, we request that we be notified immediately in order to allow for a reassessment.

This report was prepared for the sole use of Ages Drive Development Inc. Permission and notification from the above noted party and Paterson will be required to release this report to any other party.

Paterson Group Inc.



Anna Graham, M.E.S.



Mark S. D'Arcy, P.Eng.



Report Distribution:

- Ages Drive Development Inc.
- Paterson Group Inc.

10.0 REFERENCES

Federal Records

Air photos at the Energy Mines and Resources Air Photo Library.
National Archives.
Maps and photographs (Geological Survey of Canada surficial and subsurface mapping).
Natural Resources Canada – The Atlas of Canada.
Environment Canada, National Pollutant Release Inventory.
PCB Waste Storage Site Inventory.

Provincial Records

MECP Freedom of Information and Privacy Office.
MECP Municipal Coal Gasification Plant Site Inventory, 1991.
MECP document titled “Waste Disposal Site Inventory in Ontario”.
MECP Brownfields Environmental Site Registry.
Office of Technical Standards and Safety Authority, Fuels Safety Branch.
MNRF Areas of Natural Significance.
MECP Water Well Inventory.
Chapman, L.J., and Putnam, D.F., 1984: ‘The Physiography of Southern Ontario, Third Edition’, Ontario Geological Survey Special Volume 2.

Municipal Records

City of Ottawa Document “Old Landfill Management Strategy, Phase I - Identification of Sites.”, prepared by Golder Associates, 2004.
The City of Ottawa Historical Land Use Inventory.
Intera Technologies Limited Report “Mapping and Assessment of Former Industrial Sites, City of Ottawa”, 1988.
The City of Ottawa geoOttawa website.

Local Information Sources

Personal Interviews.

Public Information Sources

Google Earth.
Google Maps/Street View.

FIGURES

FIGURE 1 – KEY PLAN

FIGURE 2 – TOPOGRAPHIC MAP

DRAWING PE4405-1 – SITE PLAN

DRAWING PE4405-2 – SURROUNDING LAND USE PLAN

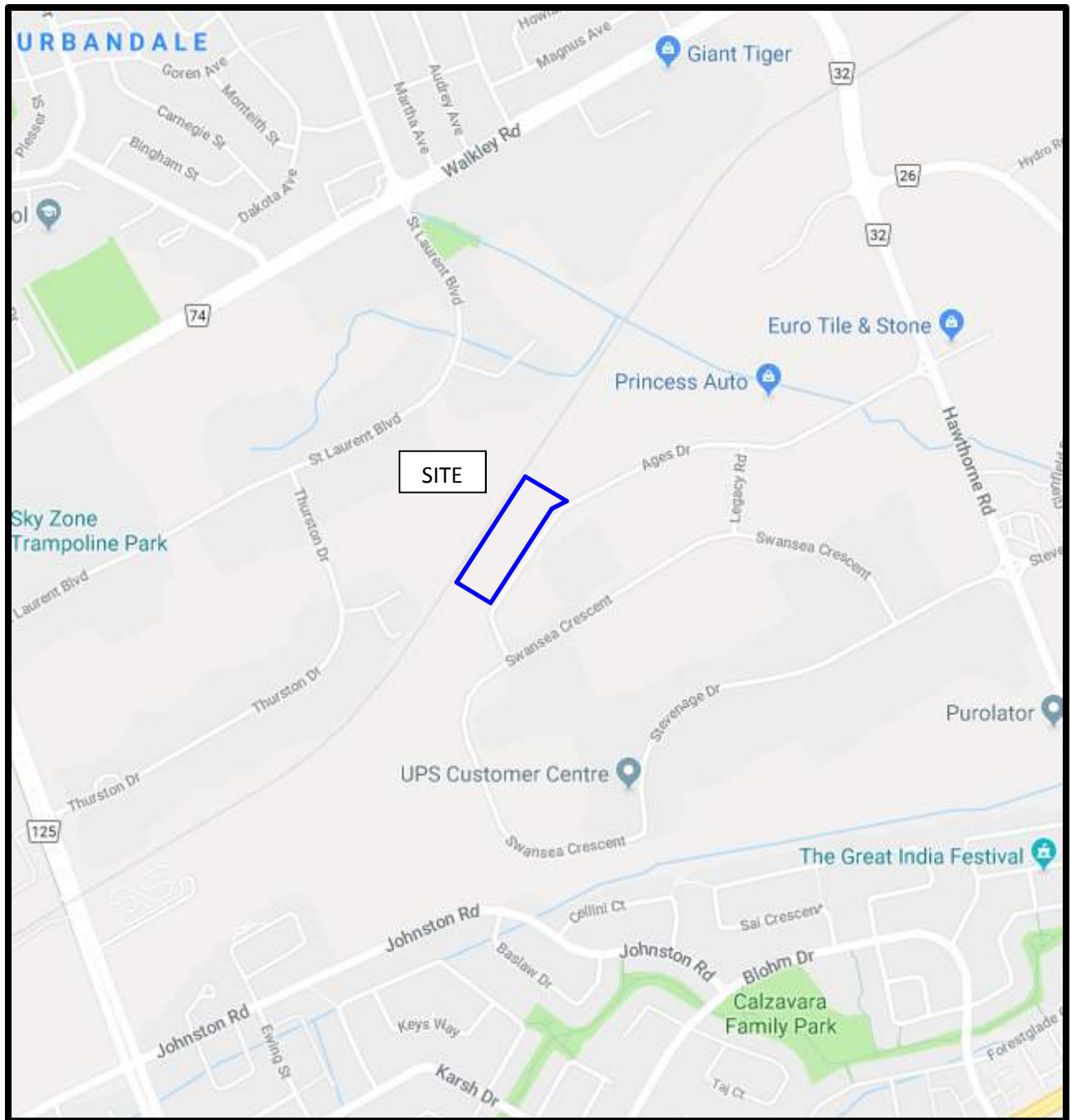


FIGURE 1
KEY PLAN

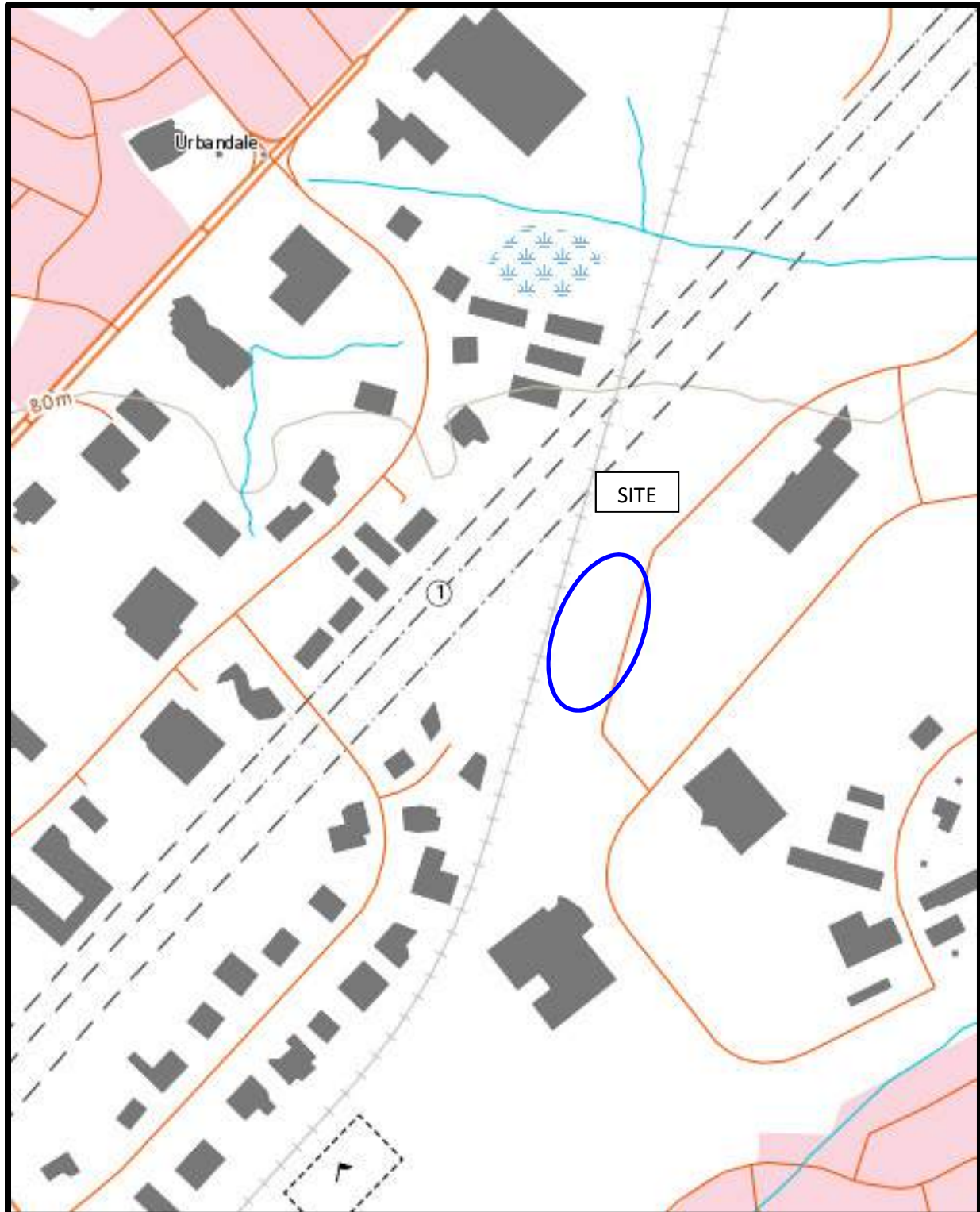
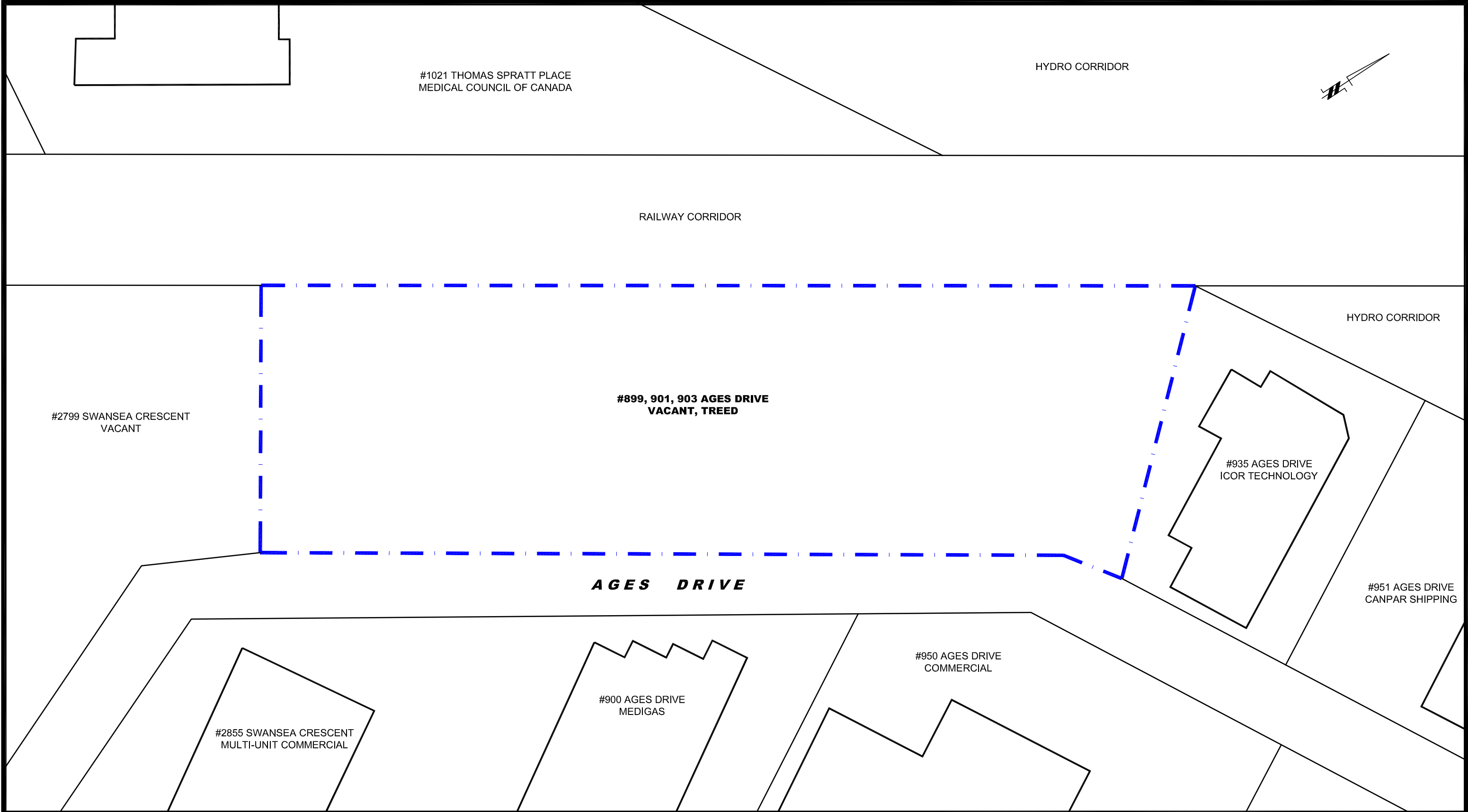


FIGURE 2
TOPOGRAPHIC MAP



patersongroup
consulting engineers

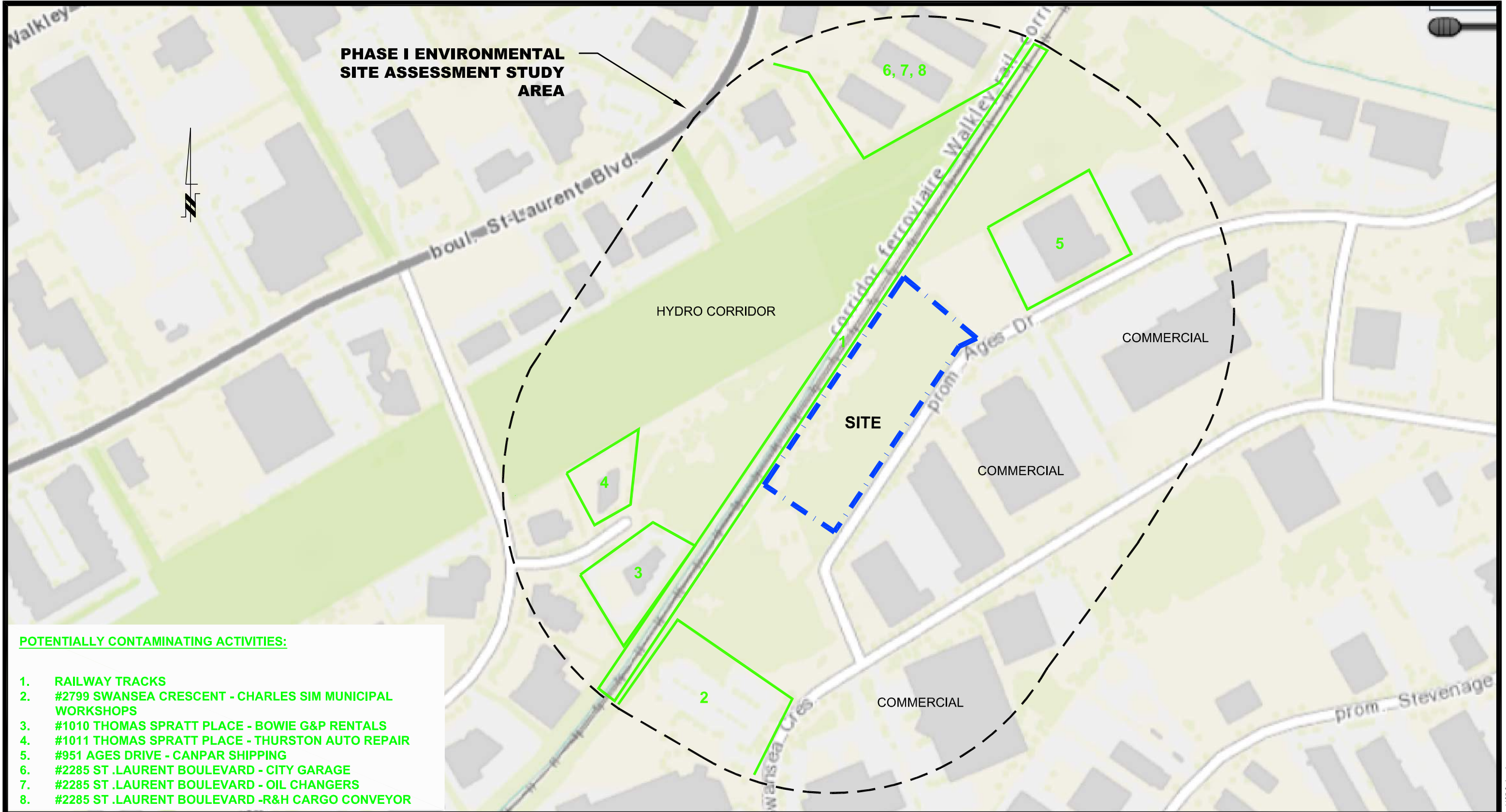
154 Colonnade Road South
Ottawa, Ontario K2E 7J5
Tel: (613) 226-7381 Fax: (613) 226-6344

0			
NO.	REVISIONS	DATE	INITIAL

AGES DRIVE DEVELOPMENT INC.	
PHASE I - ENVIRONMENTAL SITE ASSESSMENT	
899, 901, AND 903 AGES DRIVE	
OTTAWA,	ONTARIO
Title:	
SITE PLAN	

Scale:	1:1000	Date:	08/2018
Drawn by:	AG	Report No.:	PE4405-1
Checked by:	MD	Dwg. No.:	PE4405-1
Approved by:	MD	Revision No.:	
			0

p:\autocad drawings\environmental\pe44xx\pe4405-1 site plan.dwg



POTENTIALLY CONTAMINATING ACTIVITIES:

- 1. RAILWAY TRACKS
- 2. #2799 SWANSEA CRESCENT - CHARLES SIM MUNICIPAL WORKSHOPS
- 3. #1010 THOMAS SPRATT PLACE - BOWIE G&P RENTALS
- 4. #1011 THOMAS SPRATT PLACE - THURSTON AUTO REPAIR
- 5. #951 AGES DRIVE - CANPAR SHIPPING
- 6. #2285 ST .LAURENT BOULEVARD - CITY GARAGE
- 7. #2285 ST .LAURENT BOULEVARD - OIL CHANGERS
- 8. #2285 ST .LAURENT BOULEVARD -R&H CARGO CONVEYOR

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NO.	REVISIONS	DATE	INITIAL

AGES DRIVE DEVELOPMENT INC.
PHASE I - ENVIRONMENTAL SITE ASSESSMENT
899, 901, AND 903 AGES DRIVE
OTTAWA, ONTARIO
Title:

SURROUNDING LAND USE PLAN

Scale:	1:3500
Drawn by:	AG
Checked by:	MD
Approved by:	MSD

Date:	08/2018
Report No.:	PE4405-1
Drawing No.:	PE4405-2

APPENDIX 1

PLAN OF SURVEY

AERIAL PHOTOGRAPHS

SITE PHOTOGRAPHS

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SCHEDULE				
PART	LOT	CONCESSION	PIN	AREA Sq. M.
1	PART OF 2	CONCESSION 5 (RIDEAU FRONT)	PART OF 04165-1019	6299
2				6302
3				5914
4				287
5				102

PARTS 4 & 5 - SUBJECT TO EASEMENT INST. NS27803.
PART 5 - SUBJECT TO EASEMENT INST. CT131357.

I REQUIRE THIS PLAN TO BE
DEPOSITED UNDER THE
LAND TITLES ACT.

DATE

JOHN H. GUTRI, O.L.S.

PLAN 4R-

RECEIVED AND DEPOSITED

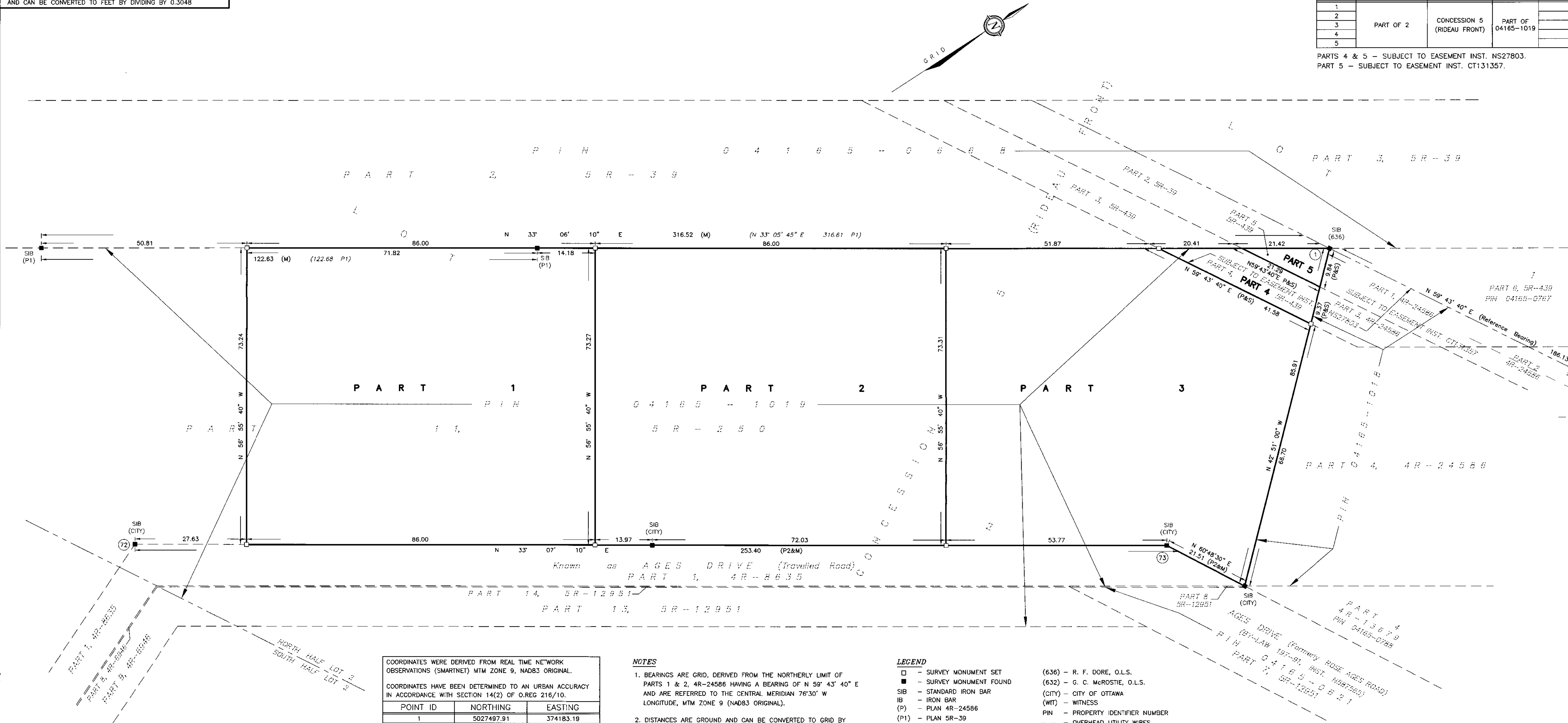
DATE

LAND REGISTRAR FOR THE
LAND TITLES DIVISION OF
OTTAWA - CARLETON (N° 4)

PLAN OF SURVEY OF
PART OF LOT 2
CONCESSION 5 (Rideau Front)
GEOGRAPHIC TOWNSHIP OF GLOUCESTER
Now CITY OF OTTAWA

SCALE 1 : 500
0 10 20 50 metres

FAIRHALL, MOFFATT & WOODLAND LIMITED
ONTARIO LAND SURVEYORS



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES
ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON

2018/06/28
DATE

JOHN H. GUTRI
ONTARIO LAND SURVEYOR

CITY OF OTTAWA
SURVEYS & MAPPING FILE: 18664P001

Fairhall
Moffatt &
Woodland
LIMITED
ONTARIO LAND SURVEYORS
Surveying and Land Information Services
100-600 TERRY FOX DRIVE, KANATA, ONTARIO K2L 4B6
TEL: (613) 591-2380 FAX: (613) 591-1495
www.fmw.com

JOB No.

Y 2 3 9 0 0

E 374238, N 5027484

REFERENCE No.
118 - 5 (RF) GR

S:\JOBS\Y23900\DWG 2018-06-28
RP239Y-A-DWG (n)

COORDINATES WERE DERIVED FROM REAL TIME NETWORK
OBSERVATIONS (SMARTNET) MTM ZONE 9, NAD83 ORIGINAL.

COORDINATES HAVE BEEN DETERMINED TO AN URBAN ACCURACY
IN ACCORDANCE WITH SECTION 14(2) OF O.REG 216/10.

POINT ID	NORTHING	EASTING
1	5027497.91	374183.19
72	5027212.22	374084.35
73	5027424.45	374222.83

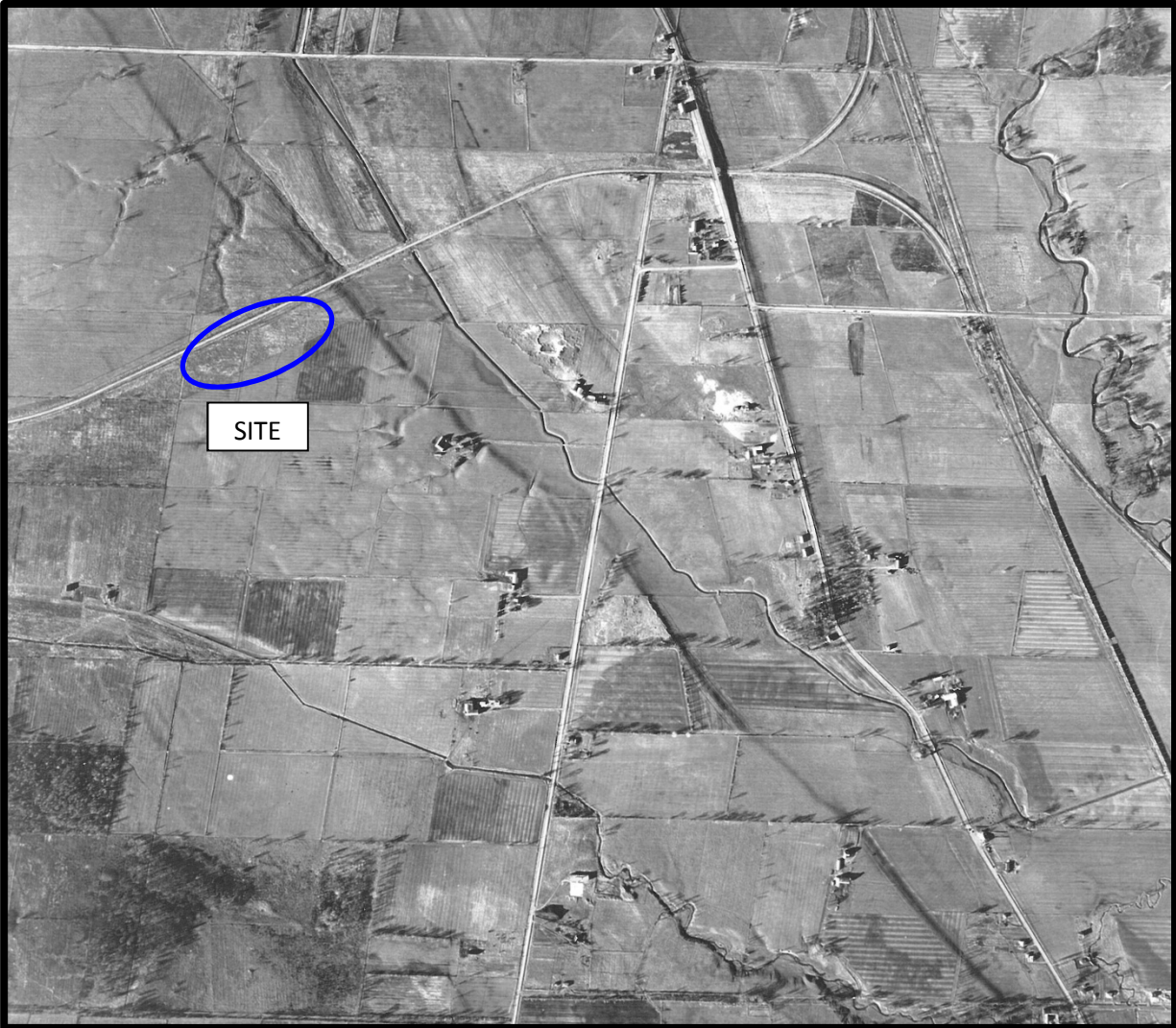
COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH
CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

NOTES

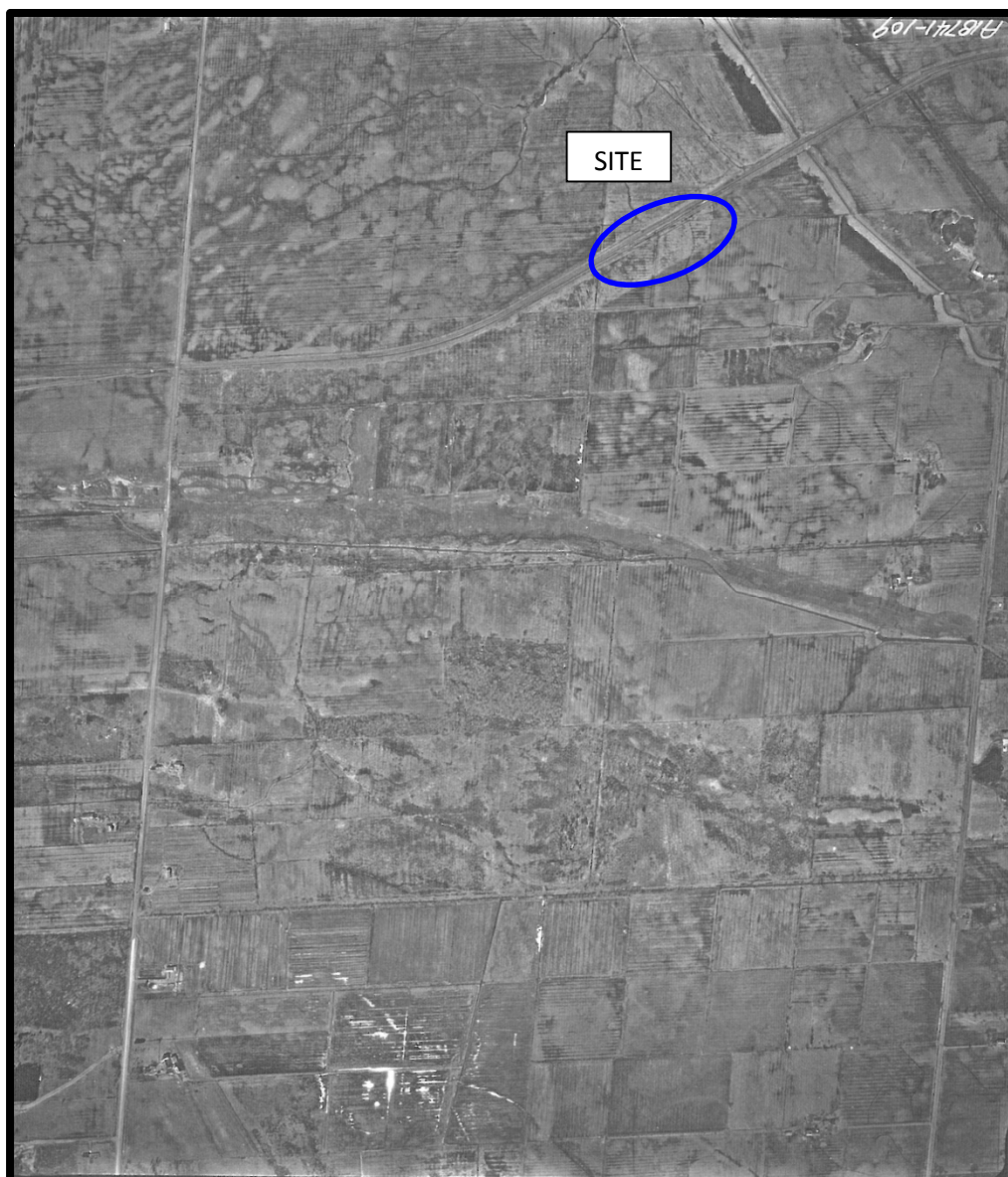
- BEARINGS ARE GRID, DERIVED FROM THE NORTHERLY LIMIT OF
PARTS 1 & 2, 4R-24586 HAVING A BEARING OF N 59° 43' 40" E
AND ARE REFERRED TO THE CENTRAL MERIDIAN 76°30' W
LONGITUDE, MTM ZONE 9 (NAD83 ORIGINAL).
- DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY
MULTIPLYING BY THE COMBINED SCALE FACTOR 0.999952.

LEGEND

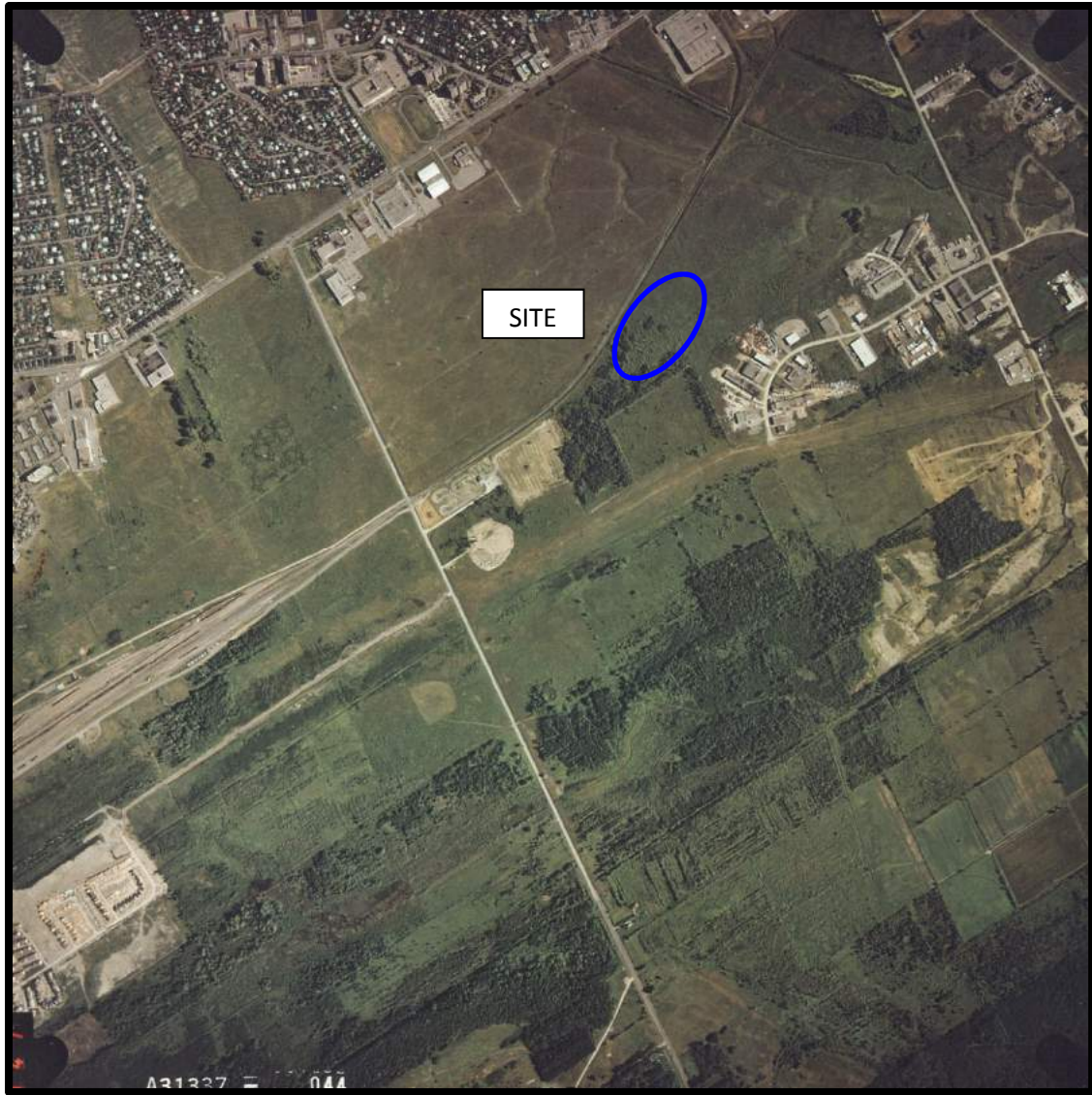
- - SURVEY MONUMENT SET
- - SURVEY MONUMENT FOUND
- SIB - STANDARD IRON BAR
- IB - IRON BAR
- (P) - PLAN 4R-24586
- (P1) - PLAN 5R-39
- (P2) - PLAN 4R-8635
- (S) - SET
- (M) - MEASURED
- (636) - R. F. DORE, O.L.S.
- (632) - G. C. McROSTIE, O.L.S.
- (CITY) - CITY OF OTTAWA
- (WIT) - WITNESS
- PIN - PROPERTY IDENTIFIER NUMBER
- - OVERHEAD UTILITY WIRES



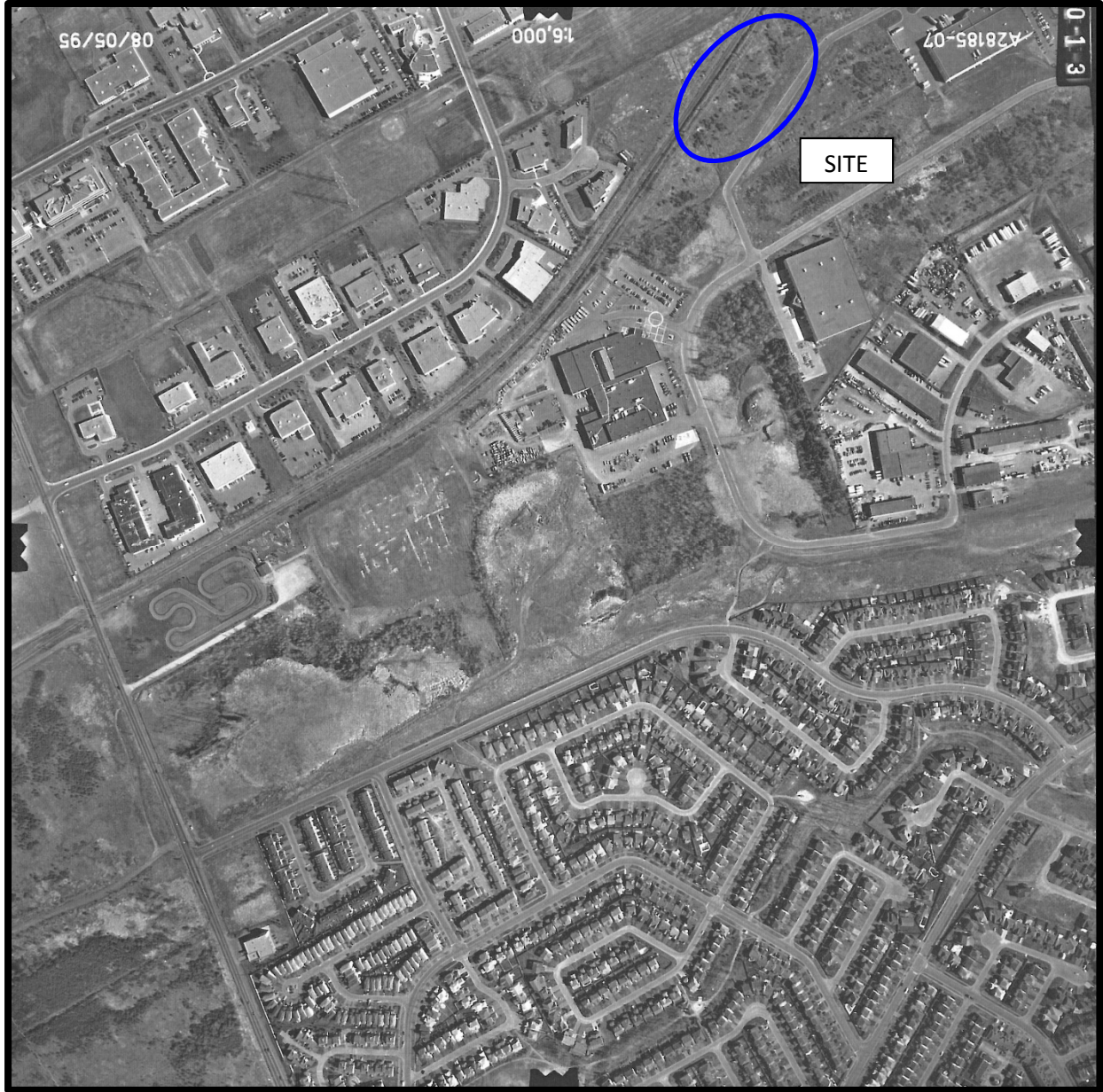
AERIAL PHOTOGRAPH
1958



AERIAL PHOTOGRAPH
1965



AERIAL PHOTOGRAPH
1983



AERIAL PHOTOGRAPH
1995



AERIAL PHOTOGRAPH
2017

Site Photographs

PE4405

899, 901, and 903 Ages Drive, Ottawa, Ontario

August 15, 2018



Photograph 1: View of the south end of the subject property, looking northeast up Ages Drive.



Photograph 2: View of the south end of the subject property. The building in the background is located at 1021 Thomas Spratt Place (Medical Council of Canada).

Site Photographs

PE4405

899, 901, and 903 Ages Drive, Ottawa, Ontario

August 15, 2018



Photograph 3: One of the cleared pathways traversing the site.



Photograph 4: Central part of the subject site, looking northwest from Ages Drive.

APPENDIX 2

MECP FREEDOM OF INFORMATION RESPONSE

TSSA CORRESPONDENCE

HLUI RESPONSE

WATER WELL RECORDS

**Ministry of the Environment,
Conservation and Parks**

Freedom of Information and
Protection of Privacy Office

12th Floor
40 St. Clair Avenue West
Toronto ON M4V 1M2
Tel: (416) 314-4075

**Ministère de l'Environnement, de
la Protection de la nature et des
Parcs**

Bureau de l'accès à l'information et
de la protection de la vie privée

12^e étage
40, avenue St. Clair ouest
Toronto ON M4V 1M2
Tél. : (416) 314-4075



September 10, 2018

Anna Graham
Paterson Group Inc.
154 Colonnade Rd
Ottawa, ON K2E 7J5

Dear Anna Graham:

RE: ***Freedom of Information and Protection of Privacy Act Request***
Our File # A-2018-05598, Your Reference PE4405

This letter is in response to your request made pursuant to the *Freedom of Information and Protection of Privacy Act* relating to 899, 901, 903 Ages Drive, Ottawa.

After a thorough search through the files of the Ministry's Ottawa District Office, Investigations and Enforcement Branch, Environmental Assessment and Permissions Branch, Environmental Monitoring and Reporting Branch, Sector Compliance Branch and Safe Drinking Water Branch, no records were located responsive to your request. To provide you with this response and in accordance with Section 57 of the *Freedom of Information and Protection of Privacy Act*, the fee owed is \$30.00 for 1 hour of search time @ \$30.00 per hour. **We have applied the \$30.00 for this request from your initial payment. This file is now closed.**

You may request a review of my decision by contacting the Information and Privacy Commissioner/Ontario, 2 Bloor Street East, Suite 1400, Toronto, ON M4W 1A8 (800-387-0073 or 416-326-3333). Please note that there is a \$25.00 fee and you only have 30 days from receipt of this letter to request a review.

If you have any questions regarding this matter, please contact the Freedom of Information Office at (416)314-4075.

Yours truly,

FOR

Janet Dadufalza
FOI Manager

Anna Graham

From: Public Information Services <publicinformationsservices@tssa.org>
Sent: August-14-18 1:26 PM
To: Anna Graham
Subject: RE: Records search request for 901 Ages Drive

Records Found

Hello,

Thank you for your request for confirmation of public information.

- We confirm that there are **EXPIRED fuel storage tanks records** in our database at the subject address(es).

Inst Number	Context	Address	City	Province	Postal Code	Status
10078283	FS PRIVATE FUEL OUTLET - SELF SERVE	2799 SWANSEA CRES	OTTAWA	ON	K1G 5X5	Active
11254971	FS LIQUID FUEL TANK	2799 SWANSEA CRES	OTTAWA	ON	K1G 5X5	EXPIR
11254945	FS LIQUID FUEL TANK	2799 SWANSEA CRES	OTTAWA	ON	K1G 5X5	EXPIR

For copies of documents, please complete the Release of Public Information form, found at <https://www.tssa.org/en/about-tssa/resources/Release-of-Records-form--Jan-2018Final.pdf> and email the completed form to publicinformationsservices@tssa.org or through mail along with the appropriate fee. TSSA's fee schedule can be found at: https://www.tssa.org/en/about-tssa/resources/Documents/Public-Information-Fee-Schedule_Jan_2018.pdf. Fees are payable with a credit card (Visa or MasterCard) or by a cheque made payable to TSSA.

Although TSSA believes the information provided pursuant to your request is accurate, please note that TSSA does not warrant this information in any way whatsoever.

Kind regards,

Connie

From: Anna Graham <AGraham@Patersonsongroup.ca>
Sent: August 14, 2018 11:10 AM
To: Public Information Services <publicinformationsservices@tssa.org>
Subject: Records search request for 901 Ages Drive

Good morning,

Could you please complete a search of your records for underground/aboveground storage tanks, historical spills or other incidents/infractions for the following addresses for properties located in the City of Ottawa, ON:

899 Ages Drive
900 Ages Drive
901 Ages Drive
903 Ages Drive
935 Ages Drive
950 Ages Drive

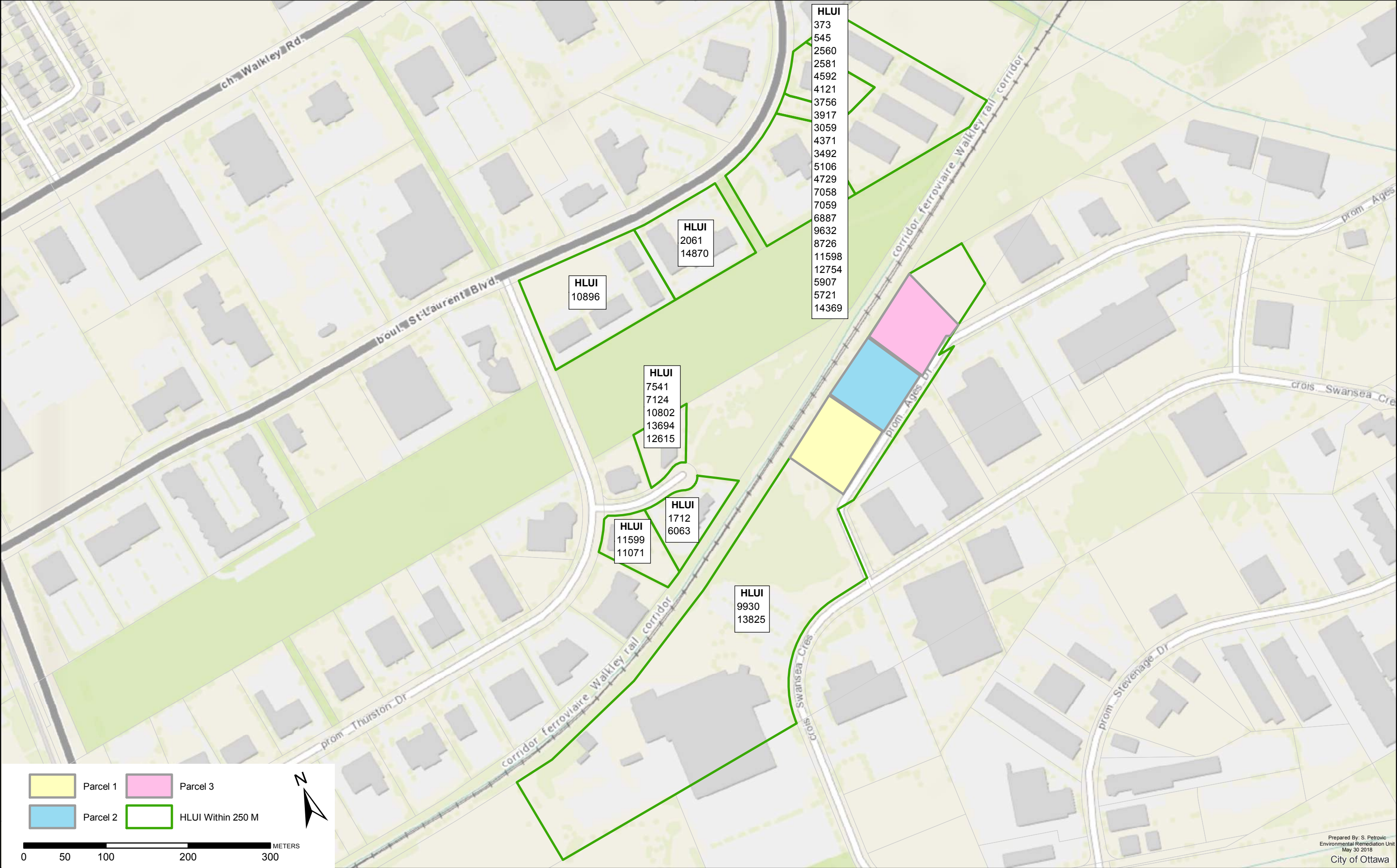
1001 Ages Drive
2750 Swansea Crescent
2799 Swansea Crescent
2905 Swansea Crescent

Thank you,

Anna Graham, B.Sc., M.E.S.
patersongroup
solution oriented engineering

154 Colonnade Road South
Ottawa, Ontario, K2E 7J5
Tel: (613) 226-7381 Ext. 228
Fax: (613) 226-6344
Email: agraham@patersongroup.ca

This electronic message and any attached documents are intended only for the named recipients. This communication from the Technical Standards and Safety Authority may contain information that is privileged, confidential or otherwise protected from disclosure and it must not be disclosed, copied, forwarded or distributed without authorization. If you have received this message in error, please notify the sender immediately and delete the original message.



HLUI	Name	Street Number	Street Name	Comments 1	Comments 2	Waste Generator #	Type of Facility	Storage Tanks	References 1	References 2	Pin Certainty	PIN
373	ACTIVOX ELECTRONICS	2285	ST. LAURENT				Appliance, Television, Radio and Stereo Stores			2001 Employment Survey	1	15449-0000
545	ACCURATE DIMENSIONS	2285	ST. LAURENT				Sawmill, Planing Mill and Shingle Mill Products Industries			2001 Employment Survey	1	15449-0000
2061	BROADWAVE PHOTONICS INC.	2305	ST. LAURENT			ON5329544	Communication and Other Electronic Equipment Industries			2003 PID	1	04165-0656
2560	CANADIAN LABORATORY SERVICE	2285	ST. LAURENT				Services Incidental to Agricultural Crops			2001 Employment Survey	1	15449-0000
2581	KODIAK SECURITY SYSTEMS INC.	2285	ST. LAURENT	#B1			Electrical and Electronic Machinery, Equipment and Supplies, Wholesale			2005 Select Phone	1	15449-0000
1712	BOWIE G & P RENTALS INC.	1010	THOMAS SPRATT				Machinery and Equipment Rental and Leasing Service			2001 Employment Survey	1	04165-0685
4592	ENVISION OPTICS	2285	ST. LAURENT	#C12			Medical and Other Health Laboratories			2005 Select Phone	1	15449-0000
4121	D C R CONSTRUCTION LIMITED	2285	ST. LAURENT				Non Residential Building and Development			2001 Employment Survey	1	15449-0000
3756	GARY'S PRINTING SVC	2285	ST. LAURENT	#C18			Commercial Printing Industries		PID1994; SC98	2005 Select Phone	1	15449-0000
3917	DODDS' OFFICE SVC & SUPPLY LIMITED	2285	ST. LAURENT	#D4			Services to Buildings and Dwellings			2005 Select Phone	1	15449-0000
3059	CAPITAL SCHOOL PHOTO	2285	ST. LAURENT				Photographers			2001 Employment Survey	1	15449-0000
4371	DCR CONSTRUCTION LIMITED	2285	ST. LAURENT				Residential Building and Development			2005 Select Phone	1	15449-0000
3492	CITY GARAGE	2285	ST. LAURENT				Motor Vehicles, Wholesale			2005 Select Phone	1	15449-0000
5106	ELECTRO THERMECH	2285	ST. LAURENT				Plumbing, Heating and Air Conditioning, Mechanical Work			2001 Employment Survey	1	15449-0000
6063	FRIDGEN FENESTRATION LIMITED	1010	THOMAS SPRATT	# 2			Lumber and Building Materials, Wholesale			2005 Select Phone	1	04165-0685
4729	EASTERN ULTRASONICS	2285	ST. LAURENT				Electrical and Electronic Machinery, Equipment and Supplies, Wholesale			2005 Select Phone	1	15449-0000
7541	LA CITE COLLEGIALE	1011	THOMAS SPRATT			ON1419501	Post-Secondary Non-University Education			2000 PID	1	04165-0683
7058	ISTS-LES SPECIALISTES	2295	ST. LAURENT				Photographic Equipment and Musical Instruments and Supplies, Wholesale			2005 Select Phone	1	04165-0658
7059	IT PRINTER SUPPORT	2295	ST. LAURENT				Electrical and Electronic Machinery, Equipment and Supplies, Wholesale			2001 Employment Survey	1	04165-0658
6887	LOUISTINE ANTIQUE CABINETRY	2285	ST. LAURENT	#19, B			Other Machinery, Equipment and Supplies, Wholesale			2005 Select Phone	1	15449-0000
7124	INTEGRATED ELECTRONIC SYSTEMS	1011	THOMAS SPRATT				Electrical and Electronic Machinery, Equipment and Supplies, Wholesale			2001 Employment Survey	1	04165-0683
9930	OTTAWA, CORPORATION OF THE CITY OF	2799	SWANSEA	BUILDING AND EQUIPMENT BRANCH		ON0136220	General Administrative Services			2000 PID	1	04165-0790

HLUI	Name	Street Number	Street Name	Comments 1	Comments 2	Waste Generator #	Type of Facility	Storage Tanks	References 1	References 2	Pin Certainty	PIN
9632	OIL CHANGERS	2285	ST. LAURENT	#A13			Other Motor Vehicle Services			2005 Select Phone	1	15449-0000
8726	R & H CARGO CONVEYER	2285	ST. LAURENT	#A11			Truck Transport Industries			2005 Select Phone	1	15449-0000
11598	RESORT CONSTRUCTION	2283	ST. LAURENT				Residential Building and Development			2001 Employment Survey	1	15517-0000
11599	RESPIRCARE	1000	THOMAS SPRATT				Machinery and Equipment Rental and Leasing Service			2001 Employment Survey	1	04165-0686
10802	PROMICRON PRECISION PARTS LIMITED	1011	THOMAS SPRATT			ON0971701	Machine Shop Industry		PID1994		1	04165-0683
10896	XENOS LABORATORIES INC.	2319	ST. LAURENT	UNIT 100		ON1215400	Services Incidental to Agricultural Crops		SC98	2000 PID	1	04165-0655
11071	PRAXAIR CANADA INC.	1000	THOMAS SPRATT				Industrial Machinery, Equipment and Supplies, Wholesale			2005 Select Phone	1	04165-0686
13694	THURSTON AUTO REPAIR	1011	THOMAS SPRATT				Motor Vehicle Repair Shops		SC98		1	04165-0683
12754	SIGN IT IN VINYL	2285	ST. LAURENT	#B10			Sign and Display Industry			2005 Select Phone	1	15449-0000
5907	GLASS MENDERS LIMITED	2285	ST. LAURENT	#C8			Lumber and Building Materials, Wholesale			2005 Select Phone	1	15449-0000
14870	ZENASTRA PHOTONICS INC.	2305	ST. LAURENT			ON2501800	Communication and Other Electronic Equipment Industries			2000 PID	1	04165-0656
5721	GANNON BLACKBURN ELECTRIC	2285	ST. LAURENT				Mechanical Specialty Work			2001 Employment Survey	1	15449-0000
13825	WESTEINDE CONSTRUCTION	2799	SWANSEA				Residential Building and Development			2005 Select Phone	1	04165-0790
14369	TRI-CITY FLOORING CO LIMITED	2285	ST. LAURENT				Other Trade Work			2001 Employment Survey	1	15449-0000
12615	SEARS INDOOR CLEAN AIR SVC	1009	THOMAS SPRATT	No PIN for 1009 PIN is for 1011			Services to Buildings and Dwellings			2005 Select Phone	2	04165-0683

HLUI occurs (or occurred) on the subject property(ies)



Print only in spaces provided.
Mark correct box with a checkmark, where applicable.

11

Municipality
15502

Can

County or District <i>Ottawa Carleton</i>	Township/Borough/City/Town/Village <i>Ottawa</i>	Con block tract survey, etc. <i>Concession 5</i>	Lot <i>2</i>
Owner's surname <i>Colquhoun Development Inc</i>	Address <i>Ages Drive</i>	Date completed <i>17 day 03 month 18 year</i>	

Zone	Easting	Northing	RC	Elevation	RC	Basin Code	ii	iii	iv
21	12	17	18	24	25	30	31		

[illegible][illegible]

10 15 21			
41 WATER RECORD			
Water found at - feet		Kind of water	
10-15	1 <input type="checkbox"/> Fresh	3 <input type="checkbox"/> Sulphur	14
	2 <input type="checkbox"/> Salty	4 <input type="checkbox"/> Minerals	
15-18	1 <input type="checkbox"/> Fresh	3 <input type="checkbox"/> Sulphur	18
	2 <input type="checkbox"/> Salty	4 <input type="checkbox"/> Minerals	
20-21	1 <input type="checkbox"/> Fresh	3 <input type="checkbox"/> Sulphur	24
	2 <input type="checkbox"/> Salty	4 <input type="checkbox"/> Minerals	
25-28	1 <input type="checkbox"/> Fresh	3 <input type="checkbox"/> Sulphur	29
	2 <input type="checkbox"/> Salty	4 <input type="checkbox"/> Minerals	
30-33	1 <input type="checkbox"/> Fresh	3 <input type="checkbox"/> Sulphur	34
	2 <input type="checkbox"/> Salty	4 <input type="checkbox"/> Minerals	

51 CASING & OPEN HOLE RECORD					
Inside diam inches	Material	Wall thickness inches	Depth - feet		
			From	To	
10-11	<input type="checkbox"/> 1 Steel 12 <input type="checkbox"/> 2 Galvanized <input type="checkbox"/> 3 Concrete <input type="checkbox"/> 4 Open hole <input type="checkbox"/> 5 Plastic				13-16
17-18	<input type="checkbox"/> 1 Steel 10 <input type="checkbox"/> 2 Galvanized <input type="checkbox"/> 3 Concrete <input type="checkbox"/> 4 Open hole <input type="checkbox"/> 5 Plastic				20-23
24-25	<input type="checkbox"/> 1 Steel 26 <input type="checkbox"/> 2 Galvanized <input type="checkbox"/> 3 Concrete <input type="checkbox"/> 4 Open hole <input type="checkbox"/> 5 Plastic				27-30

SCREEN	Sizes of opening (Slot No.)	31-33	Diameter	34-38	Length	39-40
	40 mm		2 inches		15 feet	
	Material and type				Depth at top of screen	30
	Pvc.				7' 6" feet	

61	PLUGGING & SEALING RECORD			
<input checked="" type="checkbox"/> Annular space		<input type="checkbox"/> Abandonment		
Depth set at - feet		Material and type (Cement grout, bentonite, etc.)		
From	To			
0 ¹⁰⁻¹³	5'6 ¹⁴⁻¹⁷	cuttings		
5'6 ¹⁸⁻²¹	6'6 ²²⁻²⁵	1 1/2" plug		
6'6 ²⁶⁻²⁹	230 ³⁰⁻³²	80	Filter Sand	

71	Pumping test method ¹⁰ <input type="checkbox"/> Pump <input type="checkbox"/> Bailor		Pumping rate ¹¹⁻¹⁴ GPM		Duration of pumping Hours _____ Mins _____	
	Static level	Water level end of pumping	Water levels during <input type="checkbox"/> Pumping <input type="checkbox"/> Recovery			
	10-21 6:11	20-24	15 minutes 25-28	30 minutes 29-31	45 minutes 32-34	60 minutes 35-37
	feet	feet	feet	feet	feet	feet
	If flowing giva rate ³⁸⁻⁴¹ GPM		Pump intake set at feet		Water at end of test ⁴² <input type="checkbox"/> Clear <input type="checkbox"/> Cloudy	
Recommended pump type <input type="checkbox"/> Shallow <input type="checkbox"/> Deep		Recommended pump setting feet		Recommended pump rate GPM		

FINAL STATUS OF WELL			54
1	<input type="checkbox"/> Water supply	5	<input type="checkbox"/> Abandoned, insufficient supply
2	<input type="checkbox"/> Observation well	6	<input type="checkbox"/> Abandoned, poor quality
3	<input checked="" type="checkbox"/> Test hole	7	<input type="checkbox"/> Abandoned (Other)
4	<input type="checkbox"/> Recharge well	8	<input type="checkbox"/> Dewatering
			<input type="checkbox"/> Unfinished
			<input type="checkbox"/> Replacement well

WATER USE			55-56
1	<input type="checkbox"/> Domestic	5	<input type="checkbox"/> Commercial
2	<input type="checkbox"/> Stock	6	<input type="checkbox"/> Municipal
3	<input type="checkbox"/> Irrigation	7	<input type="checkbox"/> Public supply
4	<input type="checkbox"/> Industrial	8	<input type="checkbox"/> Cooling & air conditioning
			<input type="checkbox"/> Not used
			<input checked="" type="checkbox"/> Other

Test Sample

METHOD OF CONSTRUCTION			57
1	<input type="checkbox"/> Cable tool	5	<input type="checkbox"/> Air percussion
2	<input type="checkbox"/> Rotary (conventional)	6	<input type="checkbox"/> Boring
3	<input type="checkbox"/> Rotary (reverse)	7	<input type="checkbox"/> Diamond
4	<input type="checkbox"/> Rotary (air)	8	<input type="checkbox"/> Jetting
			<input type="checkbox"/> Driving
			<input type="checkbox"/> Digging
			<input type="checkbox"/> Other

Helix Stem Auger

LOCATION OF WELL

In diagram below show distances of well from road and lot line.
Indicate north by arrow.

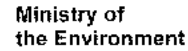
M W 101

See Site Plan.

174856

Name of Well Contractor	Well Contractor's Licence No.
OGS Inc.	6964
Address	
69 Hwy Rd Stittsville On K2S-1E7	
Name of Well Technician	Well Technician's Licence No.
Brian Ohlman	T-2593
Signature of Technician/Contractor	Submission date
Brian Ohlman	day 8 mo 1 yr 98

MINISTRY USE ONLY	Data source	58	Contractor	59-62	Date received	63-68
	6964		6964		APR 15 1998	
	Date of inspection		Inspector			
	Remarks					



(Only for Multiple Test Holes or Dewatering Wells)

Regulation 903 Ontario Water Resources Act

Page 1 of 2

Follow instructions on the front and back of this form. Print or Type

Well Tag No. of Deepest Well: (Print Well Tag No.)

Well # on Drawing of Deepest Well:

Mandatory Attachments/Additional Information

Address of Well Location (Street Number(s)/Name(s), RR, if available)		Lot(s)	Concession(s)	Geographic Township	County/District/Upper Tier Municipality
211 ages Dr				OTTawa	-
City, Town, Village or Hamlet	Province	GPS Unit Make	Model	Unit Mode of Operation	
OTTawa	Ontario	garmin	E-trex	<input type="checkbox"/> Undifferentiated <input type="checkbox"/> Averaged <input type="checkbox"/> Differentiated, specify: _____	

☒ Land Owner Consent Form must be attached.

☒ Detailed Drawing of All Well Locations must be attached.


I, the person constructing the well, will promptly submit to the Director, on request, any additional information in my custody or control related to any well in the well cluster that : have constructed.

Signature of Technician/Contractor _____ Date (yyyy/mm/dd) _____

Well Details

[illegible]

Well Contractor and Well Technician Information

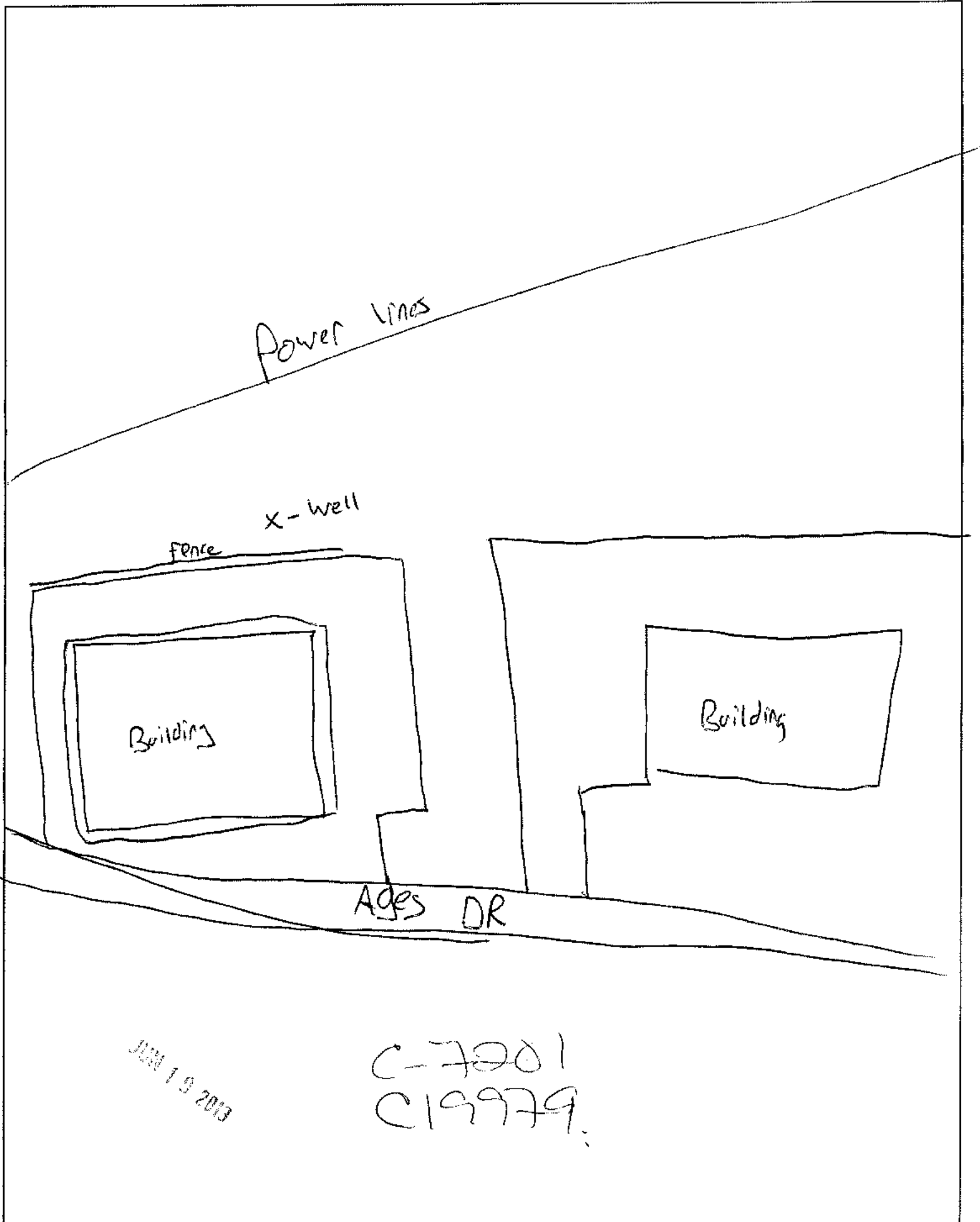
Business Name of Well Contractor Walker Drilling Ltd.		Business Address (Street Number/Name, RR) 8866 CR 56		Municipality essa	Province ONT
Postal Code L0M 1T0	Bus. Telephone No. 705-424-2423	Well Contractor's Licence No. 7201	Business E-mail Address Dave@walkerdrilling.com		
Name of Well Technician (First Name, Last Name) Nathan Peda		Well Technician's Licence No. 3572	Signature of Well Technician 		Date Submitted (yyyy/mm/dd) 2013/01/19

Date First Well in Cluster Constructed or Abandoned (yyyy/mm/dd)	Date Last Well in Cluster Completed (yyyy/mm/dd)	Ministry Use Only Date Received (yyyy/mm/dd) Audit No. JUN 19 2013 C 19979	
Well Abandonment Person Abandoning the Wells: Name _____ (Print or Type) - See instruction 11 on the back of this form		Comments:	

Note: This **Well Record for Well Cluster Part 3 - Detailed Drawing of all Well Locations**, must be attached to Parts 1 and 2. The drawing must include all property boundaries, an arrow indicating the North direction, all named roads and sufficient measurements to locate all wells in the cluster in relation to fixed points. The drawing must show the location of each well and each well must be numbered on the drawing to match number used for that well on the **Well Record for Well Cluster Parts 1 and 2**. The well with the well tag must be clearly identified on the Drawing. UTM coordinates should appear beside each well, if space permits. Additional comments on wells can be included on the drawing

Well Tag Number: # _____

"Well Record for Well Cluster" Form Audit Number: # _____



APPENDIX 3

QUALIFICATIONS OF ASSESSORS

Geotechnical
Engineering

Environmental
Engineering

Hydrogeology

Geological
Engineering

Materials Testing

Building Science

Archaeological
Services

POSITION

Environmental Assessor

EDUCATION

McGill University, B.Sc. 2010
Biology and English Literature

Queen's University, M.E.S. 2012
Environmental Studies

EXPERIENCE

2014 to Present

Paterson Group Inc.
Consulting Engineers
Environmental Assessor

2013 to 2014

Civica Infrastructure Inc.
Municipal Water Resources Engineering - Vaughan
Project Support Coordinator, Project Proposal Writer

PROJECTS

Environmental Impact Statements – various, Ottawa
Phase I Environmental Site Assessments – various, Ottawa
Flood Mapping Project Coordination – Credit Valley Conservation Authority
Manhole Survey Tool Design and Data Processing – City of Markham
Proposal Preparation – Utilities Kingston Inflow and Infiltration Study, City of
Peterborough Drainage Study

Geotechnical
Engineering

Environmental
Engineering

Hydrogeology

Geological
Engineering

Materials Testing

Building Science

Archaeological
Services

POSITION

Associate and Supervisor of the Environmental Division
Senior Environmental/Geotechnical Engineer

EDUCATION

Queen's University, B.A.Sc.Eng, 1991
Geotechnical / Geological Engineering

MEMBERSHIPS

Ottawa Geotechnical Group
Professional Engineers of Ontario

EXPERIENCE

1991 to Present

Paterson Group Inc.

Associate and Senior Environmental/Geotechnical Engineer
Environmental and Geotechnical Division
Supervisor of the Environmental Division

SELECT LIST OF PROJECTS

Mary River Exploration Mine Site - Northern Baffin Island
Agricultural Supply Facilities - Eastern Ontario
Laboratory Facility – Edmonton (Alberta)
Ottawa International Airport - Contaminant Migration Study - Ottawa
Richmond Road Reconstruction - Ottawa
Billings Hurdman Interconnect - Ottawa
Bank Street Reconstruction - Ottawa
Environmental Review – Various Laboratories across Canada - CFIA
Dwyer Hill Training Centre – Ottawa
Nortel Networks Environmental Monitoring - Carling Campus – Ottawa
Remediation Program - Block D Lands – Kingston
Investigation of former landfill sites – City of Ottawa
Record of Site Condition for Railway Lands – North Bay
Commercial Properties – Guelph and Brampton
Brownfields Remediation – Alcan Site - Kingston
Montreal Road Reconstruction - Ottawa
Appleford Street Residential Development - Ottawa
Remediation Program - Ottawa Train Yards
Remediation Program - Bayshore and Heron Gate
Gladstone Avenue Reconstruction – Ottawa
Somerset Avenue West Reconstruction - Ottawa