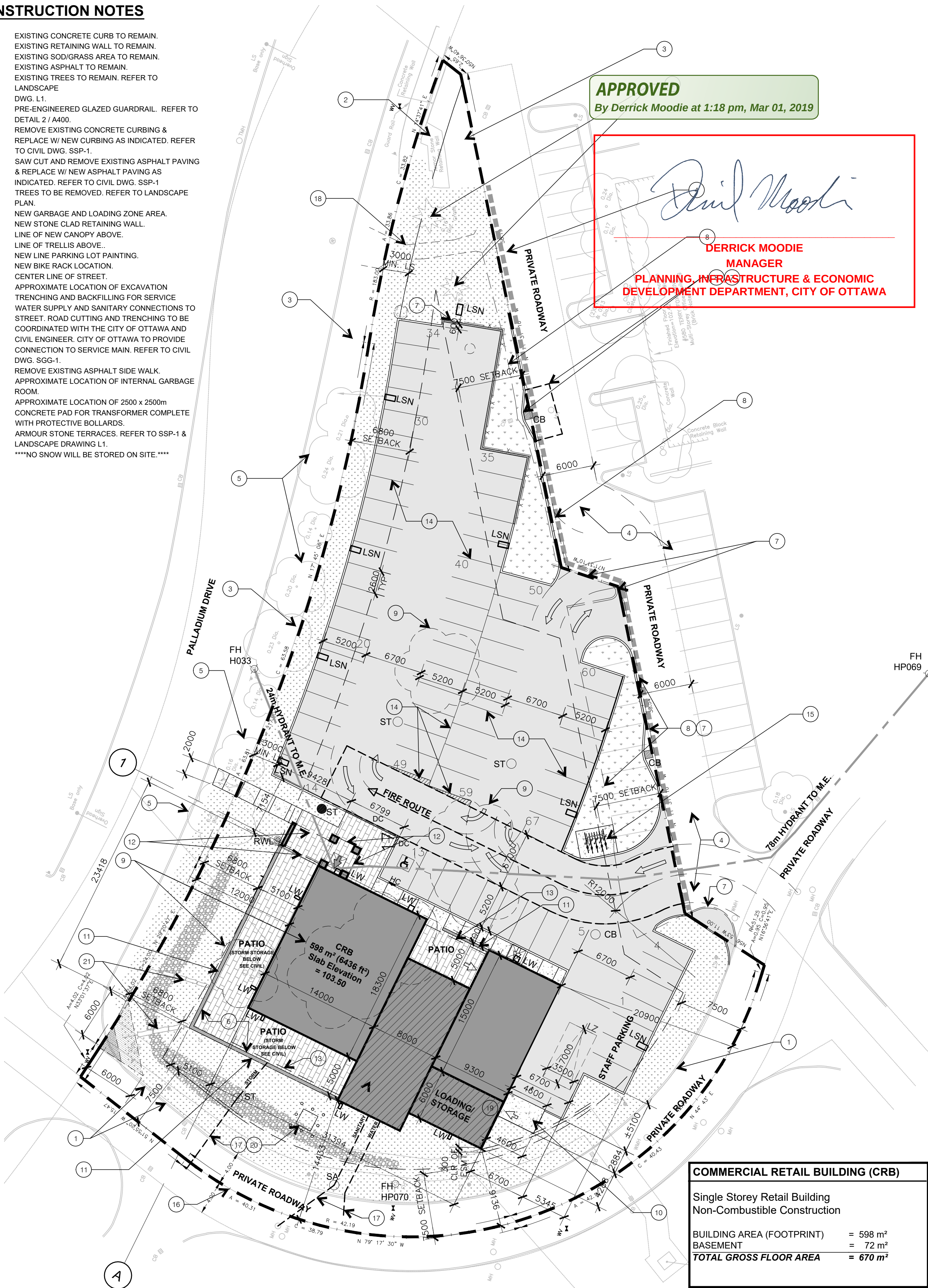


CONSTRUCTION NOTES

- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING RETAINING WALL TO REMAIN.
- EXISTING SOD/GRASS AREA TO REMAIN.
- EXISTING ASPHALT TO REMAIN.
- EXISTING TREES TO REMAIN. REFER TO LANDSCAPE DWG. L1.
- PRE-ENGINEERED GLAZED GUARDRAIL. REFER TO DETAIL 2 / A100.
- REMOVE EXISTING CONCRETE CURBING & REPLACE W/ NEW CURBING AS INDICATED. REFER TO CIVIL DWG. SSP-1.
- SAW CUT AND REMOVE EXISTING ASPHALT PAVING & REPLACE W/ NEW ASPHALT PAVING AS INDICATED. REFER TO CIVIL DWG. SSP-1.
- TREES TO BE REMOVED. REFER TO LANDSCAPE PLAN.
- NEW GARBAGE AND LOADING ZONE AREA.
- NEW STONE CLAD RETAINING WALL.
- LINE OF NEW CANOPY ABOVE.
- NEW LINE PARKING LOT PAINTING.
- NEW BIKE RACK LOCATION.
- CENTER LINE OF STREET.
- APPROXIMATE LOCATION OF EXCAVATION TRENCHING AND BACKFILLING FOR SERVICE WATER SUPPLY AND SANITARY CONNECTIONS TO STREET. ROAD CUTTING AND TRENCHING TO BE COORDINATED WITH THE CITY OF OTTAWA AND CIVIL ENGINEER. CITY OF OTTAWA TO PROVIDE CONNECTION TO SERVICE MAIN. REFER TO CIVIL DWG. SGG-1.
- REMOVE EXISTING ASPHALT SIDE WALK.
- APPROXIMATE LOCATION OF INTERNAL GARBAGE ROOM.
- APPROXIMATE LOCATION OF 2500 x 2500mm CONCRETE PAD FOR TRANSFORMER COMPLETE WITH PROTECTIVE BOLLARDS.
- ARMOUR STONE TERRACES. REFER TO SSP-1 & LANDSCAPE DRAWING L1.
- ***NO SNOW WILL BE STORED ON SITE.***



COMMERCIAL RETAIL BUILDING (CRB)

Single Storey Retail Building
Non-Combustible Construction

BUILDING AREA (FOOTPRINT) = 598 m²
BASEMENT = 72 m²
TOTAL GROSS FLOOR AREA = 670 m²

SITE LEGEND

- INDICATES LOT LINE (SITE BOUNDARY LINE)
- DC NEW DEPRESSED CURB REFER TO CIVIL DWG SSP-1.
- NEW RETAINING WALL REFER TO CIVIL DWG SSP-1.
- NEW RETAINING WALL W/ PAINTED METAL GUARD. REFER TO CIVIL DWG SSP-1.
- NEW CONCRETE CURB. REFER TO CIVIL DWG SSP-1.
- NEW UNIT PAVERS
- NEW SLAB ON GRADE CONCRETE PAD.
- NEW CONCRETE SIDE WALK
- NEW SODDED AREA - REFER TO LANDSCAPE DWG. L1
- NEW LOW SHRUB LANDSCAPED AREA. REFER TO LANDSCAPE DWG. L1
- NEW RIVER WASH STONE BED. REFER TO LANDSCAPE DWG L1
- NEW ASPHALT
- DENOTES NEW BUILDING AREA
- DENOTES NEW BUILDING BASEMENT AREA
- 1700MM X 1700MM FLAT AREA # PEDESTRIAN ENTRANCE
- INDICATES CORNER SIGHT TRIANGLE
- NEW LOADING DOCK/GARABAGE SCREEN
- HC HANDI-CAP PARKING SIGN
- SN SIGN
- LS (EXISTING) STREET LIGHT STANDARD
- LS (EXISTING) LIGHT STANDARD
- LSN (NEW) LIGHT STANDARD
- LW (NEW) LIGHT WALL-MOUNT BOLLARD
- EXISTING GRADE. REFER TO SURVEY.
- NEW BIKE RACK LOCATION.
- RWL NEW RAIN WATER LEADER REFER TO CIVIL DWG SSP-1.
- CB (EXISTING) CATCH BASIN REFER TO CIVIL DWG SSP-1.
- CB NEW CATCH BASIN LOCATION REFER TO CIVIL DWG SSP-1.
- ST NEW STORM DRAIN LOCATION REFER TO CIVIL DWG SSP-1.
- SA NEW SANITARY LOCATION REFER TO CIVIL DWG SSP-1.
- WV (EXISTING) WATER SERVICE REFER TO CIVIL DWG SSP-1.
- MAIN BUILDING PEDESTRIAN ENTRANCE.
- SECONDARY PEDESTRIAN BUILDING ENTRANCE/S.
- TRAFFIC DIRECTION ARROW.
- LZ LOADING ZONE.
- INDICATES EXISTING TREES TO BE REMOVED REFER TO LANDSCAPE DWG L1.
- INDICATES EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED. REFER TO LANDSCAPE DWG L1.
- AREA OF REMEDIATION WORK TO SAW CUT & REMOVE EXISTING ASPHALT AND CONCRETE CURBING AND REPLACE WITH NEW ASPHALT AND CONCRETE CURBING TO SUIT NEW LAYOUT.

PROJECT DATA

- LEGAL DESCRIPTION
PART OF LOT 1
CONCESSION 2
GEOGRAPHIC TOWNSHIP OF MARCH
now
CITY OF OTTAWA
- COMMON ADDRESS
MUNICIPALITY: OTTAWA
MUNICIPAL ADDRESS: 301 PALLADIUM DR.
REGISTERED OWNER: 301 PALLADIUM DR.
- SURVEY INFORMATION
SURVEY INFORMATION PREPARED BY:
FAIRHALL MOFFAT WOODLAND LTD.
100-600 TERRY FOX DRIVE, KANATA, ONTARIO
24 OCTOBER, 2011
- ZONING
OTTAWA ZONING BY-LAW: 2008-250
ZONING CATEGORY: IL5 H(22) IL5 (306) H(30)
PROPOSED USE: RESTAURANT - STAND ALONE USE (REFER TO PLANNING REPORT)

	MAX.	PROVIDED
GROSS FLOOR AREA (MAX.) PERMITTED USE	750M2	670M2 (REFER TO PLANNING REPORT)
NEW BUILDING GFA : (AS PER ZONING BY-LAW GFA)	670M ² / 7,212 SQ.FT.	

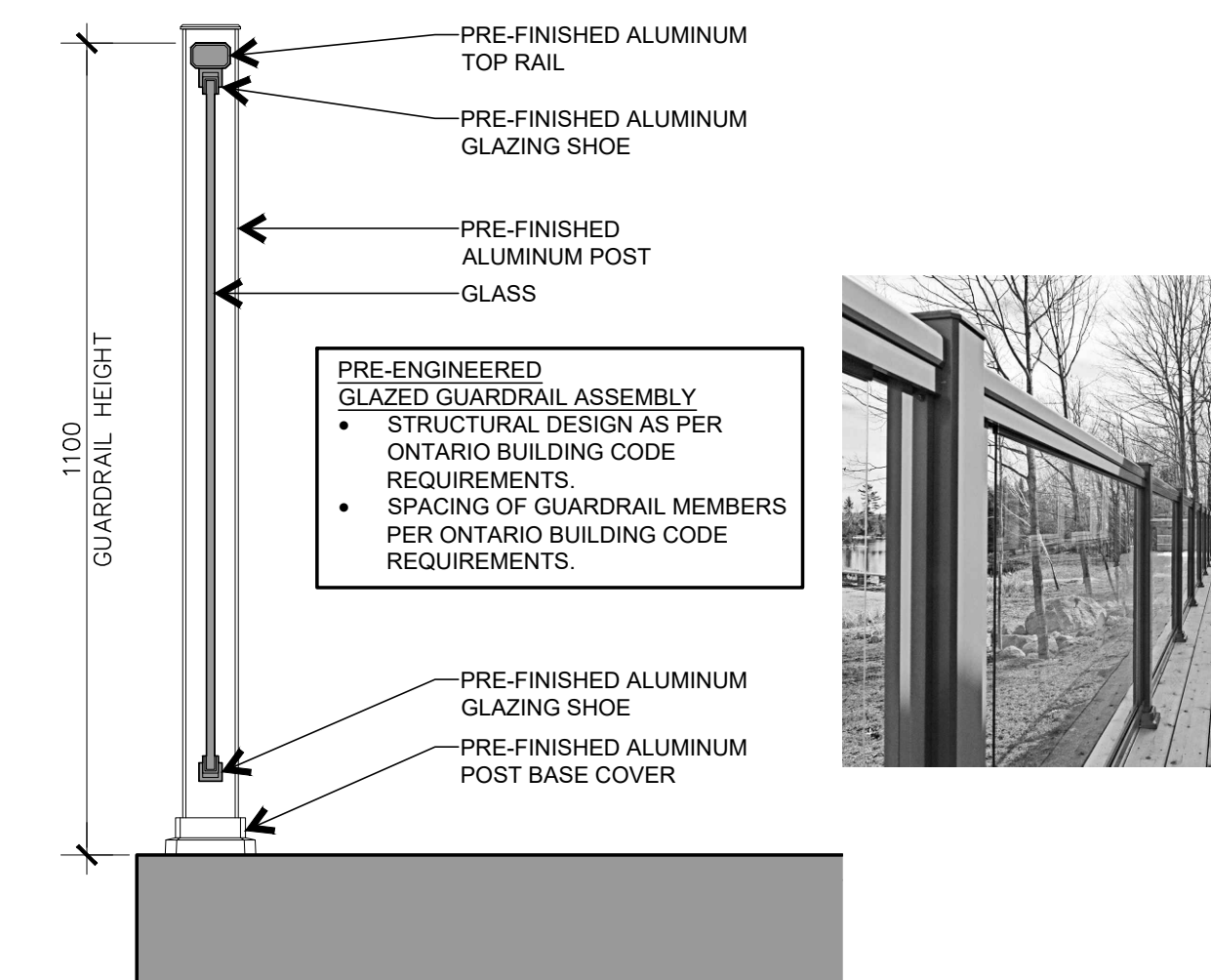
BUILDING SETBACKS FROM PROPERTY LINE:

	REQUIRED	PROVIDED
FRONT YARD SETBACK:	12.0M	6.8M
INTERIOR SIDE YARD	7.5M	N/A (REFER TO P.R.)
REAR YARD:	7.5M	9.135M
MAX FLOOR SPACE INDEX (FSI)	2	0.11
MAXIMUM BUILDING HEIGHT:	22 & 30M	11.3 M

MINIMUM LOT AREA:	2000 M2	4950.14M ² / 1.23 ACRES
MINIMUM LOT WIDTH	NO MIN	N/A
SITE AREA:		4950m ²
PARKING AREA:		1978 M ²
LANDSCAPING AREA:		1905 M ²
MIN WIDTH OF LANDSCAPING:	NO MINIMUM	VARIABLE

3. PARKING REQUIREMENTS

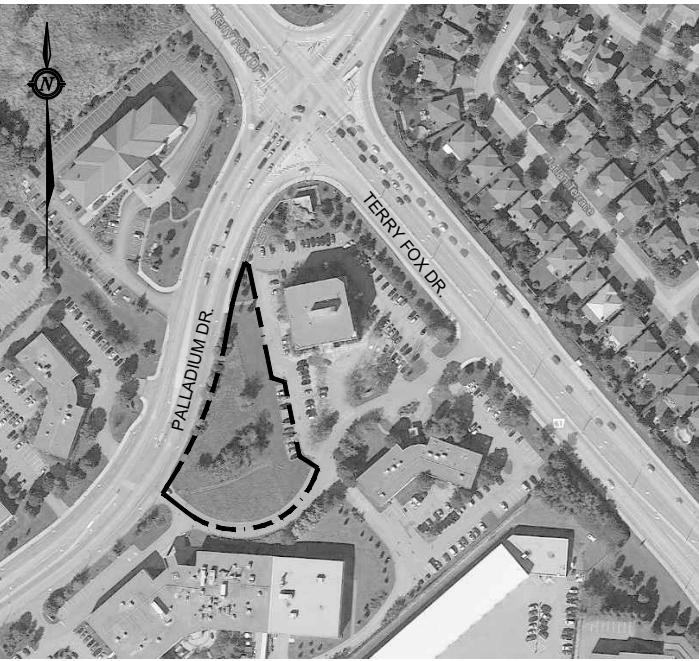
	REQUIRED	PROVIDED
MIN. PARKING RATE N76 RESTAURANT FULL SERVICE AREA C - SH. 1	10 PER 100M ² (598M2) 60	67
BICYCLE PARKING 1 PER 250 M ²	1/250M2 GFA (598M2) 3 SPACES	1 RACK (5 TO 6 SPACES)
LOADING SPACE (3.5M X 7.0M)	1	1
PARKING FOR PHYSICALLY DISABLED (BY-LAW 2003-530) 20-99 PARKING SPACES	1	1



EXTERIOR GUARDRAIL SCALE 1 : 10

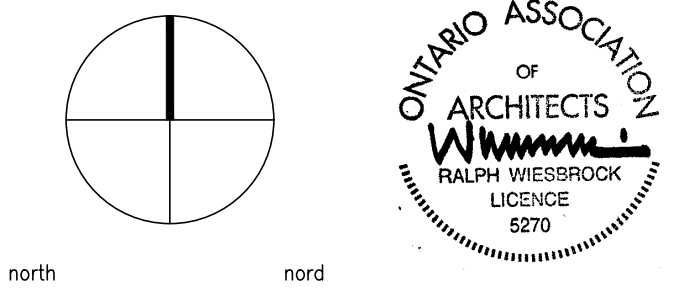
NOTES:

Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.



LOCATION MAP N.T.S.

no.	revision	date
6	SITE PLAN CONTROL R5	20 NOV 2018
5	SITE PLAN CONTROL R4	03 OCT 2017
4	SITE PLAN CONTROL R3	31 JUL 2017
3	SITE PLAN CONTROL R2	31 MAR 2017
2	SITE PLAN CONTROL R1	31 MAR 2016
1	SITE PLAN CONTROL	30 OCT 2015



383 Parkdale Avenue, Suite 201
Ottawa Ontario Canada K1Y 4R4
KWC ARCHITECTS INC.
PHONE (613) 238-2117
FAX (613) 238-6595
E MAIL kwc@kwc-arch.com

detail no.	1	detail no.
sheet no.	A1	feuille no.

PROPOSED COMMERCIAL BUILDING

301 PALLADIUM DR.
OTTAWA, ONTARIO

designed by conçu par	RW	approved by approuvé par	RW
drawn by dessiné par	CD	project no. no. du projet	1523
date	09 03 2015	scale	as noted

SITE PLAN

PLAN NUMBER
17805

revision
no. de la feuille
A100

plot scale 1:1

1 A100 SITE PLAN

SCALE 1 : 300

