

Derrick Moodie

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APPROVED

By Derrick Moodie at 12:16 pm, Feb 28, 2019

TREE #	BOTANICAL NAME	COMMON NAME	CALIPER (cm)	CONDITION	HIGH QUALITY TREE	RARE TREE	COMMENTS	TO BE PRE-SERVED
1	Picea glauca	White Spruce	22	Good	No	No	Co-dominant stem at 4m, some die back & thinner branches on bldg. side	Yes
2	Picea glauca	White Spruce	20	Good	No	No	Some die back and thinner branches on west side of tree.	Yes
3	Picea pungens	Colorado spruce	18	Good	No	No	Some die back and thinner branches on west side of tree.	Yes
4	Picea pungens	Colorado spruce	17	Good	No	No	Some die back on lower branches.	Yes
5	Picea pungens	Colorado spruce	16	Good	No	No	Some die back on lower branches.	Yes
6	Picea pungens	Colorado spruce	18	Mod./Good	No	No	Significant die back on lower branches due to shrub growth at ground level.	Yes
7	Malus species	Crabapple	15	Moderate	No	No	Some die back on lower branches	No
8	Malus species	Crabapple	12	Mod./ Poor	No	No	Slight lean, some die back in crown	No
9	Malus species	Crabapple	15	Poor	No	No	Significant lean, significant die back, split in trunk	No
10	Pinus resinosa	Red pine	25	Good	No	No	Co-dom. stem at 10m, die back lower branches due to shrub growth below	Yes
11	Pinus resinosa	Red pine	18	Good	No	No	Die back lower branches due to shrub growth below	Yes
12	Picea pungens	Colorado spruce	22	Good	No	No	Die back lower branches due to shrub growth below	Yes
13	Picea pungens	Colorado spruce	25	Good	No	No	Die back lower branches due to shrub growth below	Yes
14	Picea pungens	Colorado spruce	25	Good	No	No	Die back lower branches due to shrub growth below	Yes

SITE DESCRIPTION:

THE SITE INCLUDES AN EXISTING 2-STORY OFFICE BUILDING WITH ASPHALT ACCESS DRIVE AND PARKING AREAS AND PAVED PATHWAYS. THE ENTRANCE AREAS AND PERIMETER OF THE EXISTING BUILDING ARE MAINTAINED AS MOWN GRASS LAWNS WITH MATURE CONIFERS WITH PERIMETER AREAS OF UNMAINTAINED WOODLOT TO THE WEST AND SOUTH OF THE SITE. THE SITE IS GENERALLY FLAT WITH A SHORT BANK ALONG THE SOUTHERN BOUNDARY AT AKERSON ROAD AND THE ASPHALT MUP.

THE SOUTHERN BOUNDARY OF THE SITE IS BORDERED BY A 5-8m WIDE STRIP OF MOWN GRASS BETWEEN THE WOODLOT EDGE AND EXISTING MULTI-USE PATHWAY.

THE SURROUNDING DEVELOPMENT INCLUDES A MIX OF COMMERCIAL AND RESIDENTIAL DEVELOPMENT TO THE NORTH AND EAST ALONG EAGLESON ROAD WITH RESIDENTIAL DEVELOPMENT AND KRISTINA KISS PARK EXTENDING TO THE WEST. THE ADJACENT LOT TO THE EAST (10 COPE DR.) IS A PROPOSED COMMERCIAL DEVELOPMENT BY OTHERS.

THE SITE IS NOT CONSIDERED OF PRIMARY OR SUPPORTING SIGNIFICANCE AS NATURAL LANDS IN THE GREENSPACE MASTER PLAN.

GENERAL NOTES:

CURRENT SITE BOUNDARY / AREA IS 20,699m². THIS DEVELOPMENT PROPOSES THE FOLLOWING:

- EXISTING CONDITIONS
- APPROXIMATELY 1,394m² OF EXISTING BUILDING
- APPROXIMATELY 6,936m² OF EXISTING HARD / NON-PERMEABLE PAVING

PROPOSED DEVELOPMENT

- APPROXIMATELY 1,455m² OF NEW BUILDING
- APPROXIMATELY 5,169m² OF NEW HARD / NON-PERMEABLE PAVING

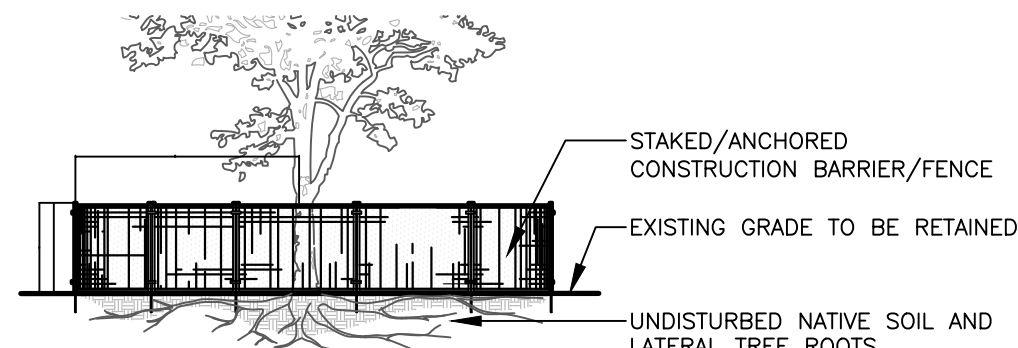
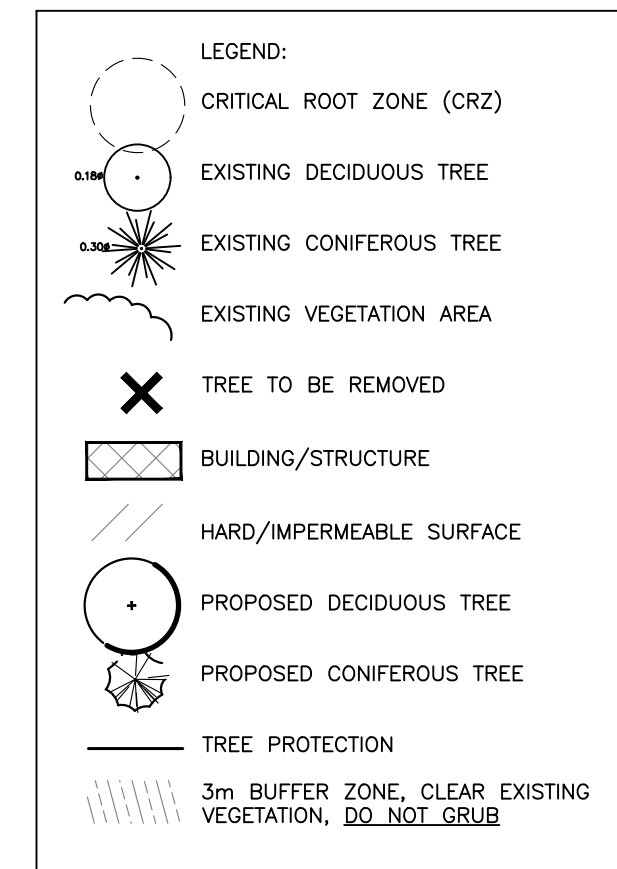
DEVELOPMENT TOTALS

- APPROXIMATELY 2,849m² TOTAL BUILDING AREA
- APPROXIMATELY 9,421m² TOTAL HARD / NON-PERMEABLE PAVING
- PLANTING OF 60 NEW DECIDUOUS TREES
- PLANTING OF 40 NEW CONIFEROUS TREES

THE PROPOSED DEVELOPMENT REQUIRES THE REMOVAL OF APPROX. 6135m² WOODLOT. THE LOCATION FOR NEW TREE PLANTING HAS BEEN DETERMINED TO ALLOW FOR MAXIMUM SOIL VOLUMES AND MINIMAL CONFLICTS TO ALLOW FOR THE ESTABLISHMENT OF LARGE MATURE TREES TO OVER A LONG PERIOD OF TIME.

TREE REMOVAL NOTES:

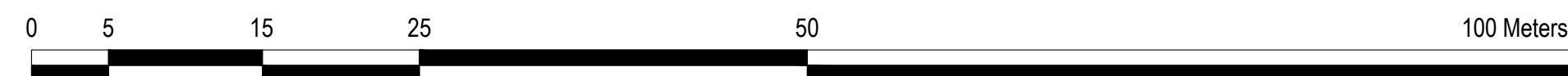
- OVERALL THE EXISTING WOODLOT IS MATURE WITH A HIGH PERCENTAGE OF MANITOBA MAPLE TREES AND UNDERSTORY GROWTH AND AN UNEVEN SPACING OF LARGE TREES (±400mm DIAMETER). THE RETENTION AND PROTECTION OF INDIVIDUAL EXISTING TREES IS PROBLEMATIC DUE TO THE EXTENT OF CONSTRUCTION AND DISTURBANCE TO CRITICAL ROOT ZONES.
- TO LIMIT THE POTENTIAL RISK OF FAILING TREES ADJACENT PROPOSED NEW DEVELOPMENT PARKING AREAS LARGE AREAS OF EXISTING WOODLOT ARE REQUIRED TO BE REMOVED.
- WHERE AREAS OF EXISTING WOODLOT ARE TO BE RETAINED, CLEAR BUT DO NOT GRUB TREES IN AREAS SHOWN (3m BUFFER ZONE) TO AVOID DISTURBANCE OF TREE ROOTS FOR EXISTING TREES TO BE RETAINED.
- REPLANT A MIX OF CONIFEROUS AND DECIDUOUS TREE SPECIES WITHIN THE NEW DEVELOPMENT TO PROVIDE A SHADE CANOPY OVER PROPOSED AREAS OF ASPHALT PAVING (PARKING AREAS) AS WELL AS A LANDSCAPE BUFFER BETWEEN THE PERIMETER ROADWAYS AND ADJACENT MULTI-USE PATH.



NOTES:

THE FOLLOWING PROTECTION MEASURES MUST BE IMPLEMENTED FOR RETAINED TREES, BOTH ON SITE AND ADJACENT SITES, PRIOR TO ANY TREE REMOVAL OR SITE WORKS AND MAINTAINED FOR THE DURATION OF CONSTRUCTION ON SITE.

- UNDER THE GUIDANCE OF AN ARBORIST, ERECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES WHERE THE CRZ IS ESTABLISHED AS BEING 10 CENTIMETERS FROM THE TRUNK FOR EVERY CENTIMETER OF TRUNK DIAMETER AT BREAST HEIGHT. THE CRZ IS CALCULATED AS DBH X 10cm.
- DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN THE CRZ OF THE TREE.
- DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE.
- DO NOT RAISE OR LOWER THE GRADE WITHIN THE CRZ WITHOUT APPROVAL.
- TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE.
- DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OF ANY TREE.
- ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE CANOPY.



PROJECT TEAM

OWNER/APPLICANT

CANADA CLEAN ROOM
20 COPE DRIVE, KANATA, ON K2M 2V8
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E-MAIL: INFO@CCRCANADA.COM

PROJECT MANAGER

FARMHOUSE INVESTMENTS INC.

701 REVERIE PRIVATE, OTTAWA, ON K2S 0T9
TEL: (613) 878-5061
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CONSTRUCTION MANAGER

ARGUE CONSTRUCTION LTD.

2900 CARP ROAD, CARP, ON K0A 1L0
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LAND SURVEYOR

FAIRHALL, MOFFATT AND WOODLAND LIMITED

100-600 TERRY FOX DRIVE, KANATA, ON K2L 4B6
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ARCHITECT

A+ ARCHITECTURE INC.

304-555 LEGGET DRIVE, KANATA, ON K2K 2X3
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E-MAIL: INFO@APLUS-ARCH.COM

CIVIL ENGINEER

IBI GROUP

400-333 PRESTON STREET, OTTAWA, ON K1S 5N4
TEL: (613) 225-1311
E-MAIL: DYANNOULOPOULOS@IBIGROUP.COM

ELECTRICAL ENGINEER

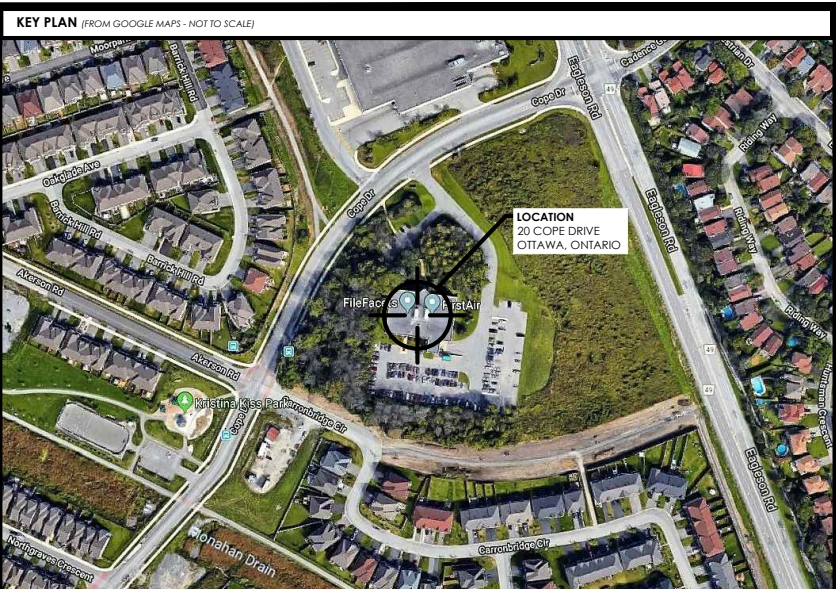
M&E ENGINEERING

205 KINCARDINE DRIVE, KANATA, ON K2V 1C5
TEL: (613) 836-3420
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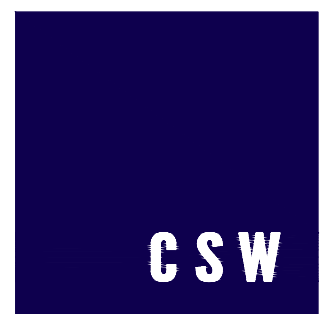
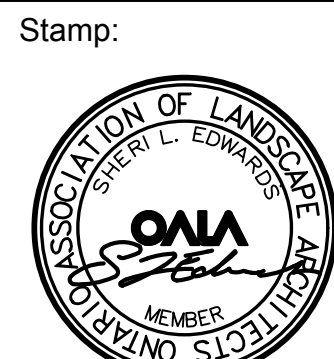
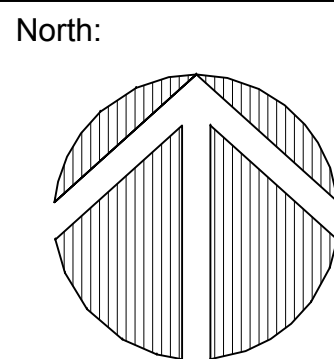
LANDSCAPE ARCHITECT

CSW LANDSCAPE ARCHITECTS

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No.	Revision	Date
05	ISSUED FOR SPA	05/02/2019
04	ISSUED FOR SPA	18/12/2018
03	ISSUED FOR SPA	11/09/2018
02	ISSUED FOR REVIEW	27/07/2018
01	ISSUED FOR REVIEW	24/07/2018



Landscape Architecture
Urban Design
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Project Management

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 - check and verify all dimensions on site;
 - report all errors and/or omissions to the landscape architect;
 - comply with all pertinent codes and by-laws;
 - check and verify locations of all underground services with all local utilities prior to any digging.

Project:

CCR WAREHOUSE ADDITION & OFFICE RENO

20 COPE DRIVE, KANATA, ON
OTTAWA, ONTARIO

Drawing:

TREE CONSERVATION PLAN PROPOSED DEVELOPMENT

Scale:	1:400	Date:	JULY 2018
Design By:	SE	Drawn By:	SE
Project Number:	1998-01	Sheet Number:	TCP 1.1