



ERA Architects Inc.
#600-625 Church St
Toronto ON, M4Y 2G1

CHÂTEAU LAURIER CHIS ADDENDUM

Subject: CULTURAL HERITAGE IMPACT STATEMENT
ADDENDUM

Issued To: Sally Coutts
Coordinator Heritage Services
City of Ottawa
Email: sally.coutts@ottawa.ca

Project: Château Laurier - 1 Rideau Street

Project #: 17-058-02

Prepared By: MM/JS

Date Issued: February 20, 2019

Dear Ms. Coutts,

The purpose of this Cultural Heritage Impact Statement (CHIS) Addendum is to describe and evaluate recent design changes made to the development proposal for an addition to the Château Laurier, located at 1 Rideau Street, Ottawa (the “Development Site”). As such, this CHIS Addendum provides an update to the Revised Cultural Heritage Impact Statement (CHIS), issued by ERA on May 9th, 2018 (the “2018 CHIS”), and is intended to be read alongside the 2018 CHIS, as well as a previous CHIS for the Development Site, prepared by MTBA and dated January 2017 (the “MTBA CHIS”). As the 2018 CHIS and the MTBA CHIS both contain thorough descriptions, background research, and analysis of the Development Site, the focus of this CHIS Addendum is to describe the updated development proposal, evaluate its impacts on the cultural heritage value and heritage attributes of the Château Laurier, and discuss design strategies intended to mitigate any adverse heritage impacts.

This CHIS Addendum will also provide an evaluation of the current development proposal in light of the heritage conditions contained in an Ottawa City Council Motion approving the heritage permit for the Development Site, dated June 27, 2018.

1. Heritage Recognition

As detailed in the 2018 CHIS, the Château Laurier is municipally designated under Part IV of the Ontario Heritage Act (OHA), is a National Historic Site of Canada, and is adjacent to several recognized heritage properties.

2. Description of the Revised Development Proposal

Since the 2018 CHIS was issued, the exterior design of the Château Laurier’s proposed addition has developed further as a result of continued discussions with City staff, Heritage Ottawa, and the City’s advisory Urban Design Review Panel. The proposed addition now includes the following major changes to its exterior expression (see Appendix A for revised architectural drawings and views, prepared by architectsAlliance and dated January 3, 2019):



- The north elevation of the proposed addition has been redesigned to reflect a tripartite division, composed of a distinct base, middle and top;
- The north elevation of the proposed addition has also been broken down into an east wing, central connector, and west wing; these three components have distinct yet harmonious architectural expressions;
- The use of limestone cladding on the proposed addition's east, north and south additions has been meaningfully increased; these elevations will feature vertical piers of Indiana limestone alternating with clear and sandblasted glass;
- The base of the proposed addition now features granite piers with bronze vertical fins;
- The addition's north elevation now features transparent curtain wall along the edge of the east wing, which exposes an internal atrium rising the height of the addition; this architectural feature reveals and reinforces the edge of the Château Laurier's existing east wing;
- While the height of the addition remains constant at seven storeys, the middle component has been reduced to four storeys (from five), and the top level has been increased to two storeys (from one);
- The elevated link between the Château Laurier's west wing and the west wing of the proposed addition has been reduced to three storeys.

3. Impact of Proposed Development

The revised development proposal will have several **positive** impacts on the Château Laurier, adjacent heritage properties, and the surrounding landscape. These positive impacts include:

- The development proposal involves removal of the 1960s parking garage from the rear of the Château Laurier, which will open up views and access from the hotel's ballroom and banquet room, and improve the site's northern edge condition adjacent to Major's Hill Park;
- The development proposal includes the addition of new publicly-accessible spaces, such as the at-grade glass link, courtyard, and at-grade northern glass lobby/gallery that will open up new views to surrounding heritage built form, including the Parliament Buildings, hence strengthening the historic and visual connections between the Château Laurier and Parliament Hill;
- The proposal also includes a new Indiana limestone stairway from the public terrace on the east bank of the Rideau Canal to the proposed courtyard, which provides a new formal entrance to the courtyard, and enhances site permeability and integration into the broader surrounding landscape;
- Public and group uses, including a lobby/gallery and meeting room space have been provided on the ground floor of the addition, thus animating the building's interface with Major's Hill Park and reinforcing visual connections with the landscape from within the proposed addition;



- The proposed addition will add additional hotel space and conference facilities to the Château Laurier, which will provide enhanced revenue opportunities that will ensure the property's ongoing protection as a cultural heritage resource.

In addition, the revised development proposal will have several **adverse** impacts on the Château Laurier, adjacent heritage properties, and the surrounding landscape. These adverse impacts include:

- The proposed addition will impact the existing context of the Château Laurier, that of adjacent heritage buildings, and the surrounding landscape; however, these impacts are mitigated through a number of design gestures (see the following section of this report);
- The proposed addition will impact views of the Château Laurier from Major's Hill Park; however, impacts on views have been mitigated through a number of design measures (see the following section of this report);
- The proposed addition will physically abut the Château Laurier in two places: the new loading area along Mackenzie Avenue will cover a one-storey portion of the hotel's east wing, and the addition's western connection to the hotel will cover an existing staircase on the hotel's west wing; however, points of contact between the addition and the Château Laurier have been limited to mitigate potential impacts on identified heritage attributes;
- While grade changes at the north edge of the site are proposed, these will not adversely impact the heritage attributes or cultural heritage value of the Château Laurier.

4. Mitigation Strategies

As with the previous design addressed in the 2018 CHIS, the revised proposal continues to mitigate impacts on the Château Laurier and adjacent heritage resources in the following ways:

- The proposal balances conservation of the Château Laurier with other broad project goals, including revitalizing the hotel through new uses, intensification of this site in Ottawa's downtown core, and financial feasibility;
- Multiple design alternatives for the proposed addition were explored, in order to come up with a proposal that results in compatible development and limits adverse impacts;
- The proposed addition has been designed to only physically abut a small area along the northern elevation of the Château Laurier's east wing currently containing back-of house uses, and a non-original stairway addition on the hotel's west wing; the proposed at-grade enclosed glass link connecting the existing hotel with the proposed addition will be made of transparent glass, connected to heritage fabric using a 'light-touch' approach;
- At seven storeys tall, the proposed addition sits below the eavesline of the heritage hotel; its reduced height (as compared with earlier design iterations) conserves views of the hotel, its distinctive articulated roofline, and the material differentiation between the hotel's light-coloured base and darker roof;



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- The proposed addition's high-quality contemporary design and material expression are compatible with, yet distinguishable from the Château Laurier and the surrounding landscape;
- The courtyard proposed between the existing hotel and the proposed addition features formal, French-inspired landscaping, which references the hotel's Château-style design.

In addition, the revised development proposal mitigates heritage impacts on the Château Laurier in the following ways:

- In order to better reference the materiality of the heritage hotel, the amount of limestone cladding on the addition has been meaningfully increased on the addition's north, east and west elevations; like the Château Laurier itself, the base of the addition also features granite cladding;
- The exterior expression of the addition's north elevation has been redesigned, and now reflects a series of differentiated components, which break up the addition's uniform massing, and reference the asymmetrical, winged composition of the Château Laurier;
- The exterior expression of the addition now reflects a tripartite design, composed of a distinct base, middle and top; this design echoes the tripartite design of the Château Laurier;
- The bases of the addition's east and west wings are dominated by large, rhythmic openings, which reflect the larger proportions of the Château Laurier's base;
- The fenestration patterns on the addition's north, east, and west elevations have been redesigned to better reflect the Château Laurier's existing solid to void ratio;
- The west wing of the proposed addition features interlacing limestone and glass panels between its middle and top layers; this interlacing pattern reflects the design of the Château Laurier's dentilated cornice and dormered roofline;
- The west wing (located at the northwest corner of the addition) features a differentiated and prominent design, intended to reference the corner treatments of the existing Château Laurier, which feature turreted towers;
- The area above the addition's north entrance features a transparent atrium, which rises the height of the addition and reveals and highlights the edge of the Château Laurier's existing east wing.

5. Discussion of Council Motion Conditions

At its meeting on June 27, 2018, Ottawa City Council adopted a motion to approve the application to alter the Château Laurier, provided that the applicant work with staff to make the proposed addition more visually compatible with the existing Château Laurier, prior to site plan approval, and subject to a number of conditions. These conditions of approval are outlined below, and are accompanied by a discussion of how these conditions are being met through the design of the revised development proposal.



Condition a: *meaningfully increasing the use of Indiana limestone cladding on the building exterior to reduce its contrast and enhance its bond with the existing building.*

As can be seen in the architectural drawings issued by architectsAlliance on January 3, 2019, the use of Indiana limestone on the addition's east, north and west elevations has been significantly increased from the previous design iteration, to reduce its contrast with the Château Laurier and enhance its bond with the existing building. The addition now features vertical piers of Indiana limestone cladding on its north, west, and east elevations.

Condition b: *modifying the addition by sculpting, recessing, and breaking up the unrelieved uniformity of the north façade using elements and forms that are specifically drawn from, and relate to, the existing Chateau Laurier's rich palette of forms.*

As previously discussed in Section 4 of this report, the addition's north façade has been redesigned to break up the unrelieved uniformity of the previous design, and now incorporates forms drawn specifically from the Château Laurier. The north façade of the addition, which is now divided into an east and west wing and central connector, reflects an asymmetrical, two-winged design that echoes the composition of the Château Laurier. The west wing, which is differentiated through its distinct façade treatment, form, and position slightly proud of the rest of the addition, also echoes the existing corners of the Château Laurier, which feature distinct turreted tower forms. The top layer of the addition has also been increased from one to two storeys, which better reflects the tripartite proportions of the Château Laurier. Further, a vertical atrium clad in transparent glazing immediately adjacent to the east wing of the addition reveals and reinforces the form of the original east wing of the Château Laurier.

Condition c: *altering the architectural expression on the north, west and east façades to introduce fenestration patterns, details and geometric proportions that are specifically drawn from, and relate to, the existing Chateau Laurier's elements.*

As previously discussed in Section 4 of this report, the addition's architectural expression has been refined to include many motifs and details that are specifically drawn from and relate to elements of the Château Laurier. In addition to the features related to form and proportion discussed in the point above, these compatible features include:

- In addition to meaningfully increasing the limestone cladding on the addition's north, east and west elevations, the base of the addition now features granite cladding, which references the materiality of the base of the Château Laurier's east wing;
- The bases of the addition's east and west wings are dominated by large, rhythmic openings, which reflect the larger proportions of the Château Laurier's base;
- The fenestration patterns on the addition's north, east, and west elevations have been redesigned to better reflect the existing solid to void ratio and regularity of the Château Laurier's windows;
- The west wing of the proposed addition features interlacing limestone and glass panels between its middle and top layers; this interlacing pattern reflects the design of the Château Laurier's dentilated cornice and dormered roofline;



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- The west wing (located at the northwest corner of the addition) features a differentiated and prominent design, intended to reference the differentiated corner treatments of the Château Laurier, which feature turreted towers;
- The area above the addition's north entrance is clad in transparent glazing, which reveals and reinforces the edge of the Château Laurier's existing east wing;
- The elevated glass link connecting the west wings of the Château Laurier and the addition has been redesigned to better reflect the cornice line above the base of the heritage hotel;
- The portion of unobscured vertical glazing on the addition's Mackenzie Avenue frontage has been designed to reference the hotel's oriel windows, and its bottom edge aligns with the cornice line above the base of the heritage hotel;
- The proposed addition will also incorporate a number of material details intended to reference and complement the Château Laurier, to be finalized during detailed design; these details include the use of bronze framing of the vertical limestone piers, bronze loading and garage doors along Mackenzie Avenue, and a fritted glass pattern referencing a motif found in the Château Laurier's historic interior.

6. Conclusion

As a result of the design measures outlined above, the revised development proposal for the addition to the Château Laurier continues to conserve the cultural heritage value and attributes of on-site and adjacent heritage properties, and the surrounding landscape context. Overall, we find this latest iteration of the proposal to represent a context-sensitive design evolution that draws considerable inspiration and details from the Château Laurier, while remaining distinctly of its time and distinguishable from the heritage hotel.

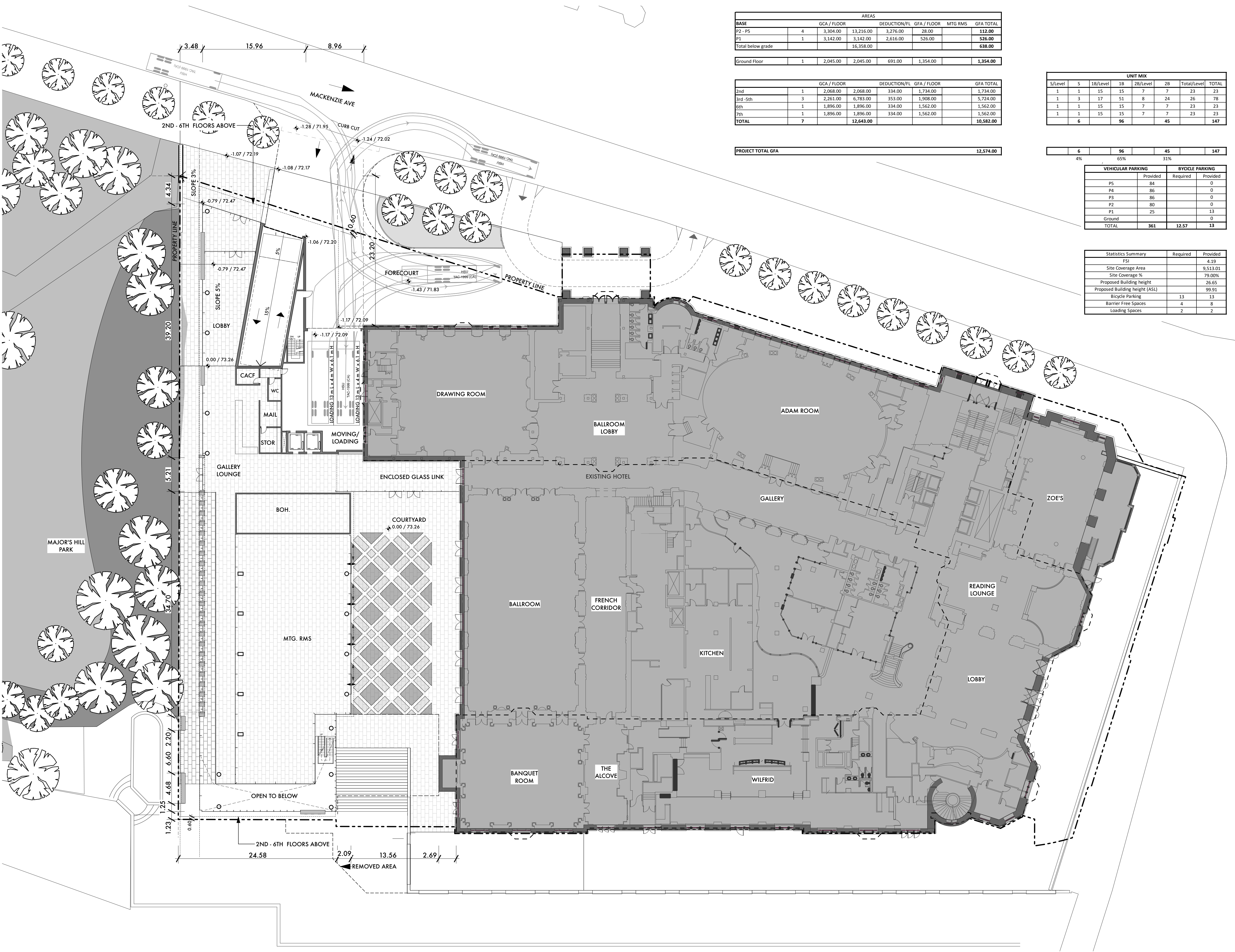
We trust that the content of this CHIS Addendum sufficiently summarizes relevant changes to the development proposal for the Château Laurier, addresses matters of potential impacts on on-site and adjacent heritage resources and the measures taken to mitigate any negative impacts, and discusses the conditions of the City Council motion adopted on 27, 2018, aimed at making the proposed addition more visually compatible with the existing Château Laurier.

Please do not hesitate to contact me if you have any further questions regarding the contents of this CHIS Addendum.

Sincerely,

Michael McClelland, Principal
E.R.A. Architects Inc.

APPENDIX A: Revised Architectural Drawings and Views, prepared
by architectsAlliance, dated January 3, 2019



AREAS							
BASE		GCA / FLOOR		DEDUCTION/FL	GFA / FLOOR	MTG RMS	GFA TOTAL
P2 - P5	4	3,304.00	13,216.00	3,276.00	28.00		112.00
P1	1	3,142.00		2,616.00	526.00		526.00
Total below grade			16,358.00				638.00

Ground Floor	1	2,045.00	2,045.00	691.00	1,354.00	1,354.00
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	GCA / FLOOR	DEDUCTION/FL	GFA / FLOOR	GFA TOTAL	
2nd	1	2,068.00	2,068.00	334.00	1,734.00
3rd-5th	3	2,261.00	6,783.00	353.00	1,908.00
6th	1	1,896.00	1,896.00	334.00	1,562.00
7th	1	1,896.00	1,896.00	334.00	1,562.00
TOTAL	7	12,643.00	334.00	1,562.00	10,582.00

PROJECT TOTAL GFA	12,574.00
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UNIT MIX						
S/Level	S	1B/Level	1B	2B/Level	2B	Total/Level
1	1	15	15	7	7	23
1	3	17	51	8	24	78
1	1	15	15	7	7	23
1	1	15	15	7	7	23
6		96		45		147

6	96	45	147
4%	65%	31%	

VEHICULAR PARKING		BYCYCLE PARKING	
	Provided	Required	Provided
P5	84		0
P4	86		0
P3	86		0
P2	80		0
P1	25		13
Ground			0
TOTAL	361	12.57	13

Statistics Summary	Required	Provided
PSI		4.19
Site Coverage Area		9,513.01
Site Coverage %		79.00%
Proposed Building height		26.65
Proposed Building height (ASL)		99.91
Bicycle Parking	13	13
Barrier Free Spaces	4	8
Loading Spaces	2	2

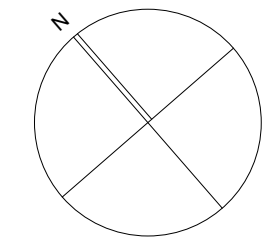
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2	SPA	06.15.2017
3	SPA	01.19.2018
4	SPA	05.09.2018
5	SPA	05.29.2018
6	SPA	03.01.2019

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PROPOSED
CHÂTEAU LAURIER ADDITION
1 Rideau Street - Ottawa, Ontario

SITE PLAN

1:250, 1:1
2019-01-03

A.1.0

D07-12-16-0193

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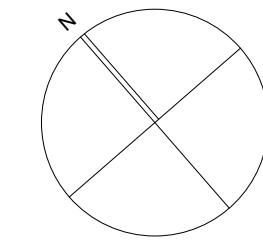
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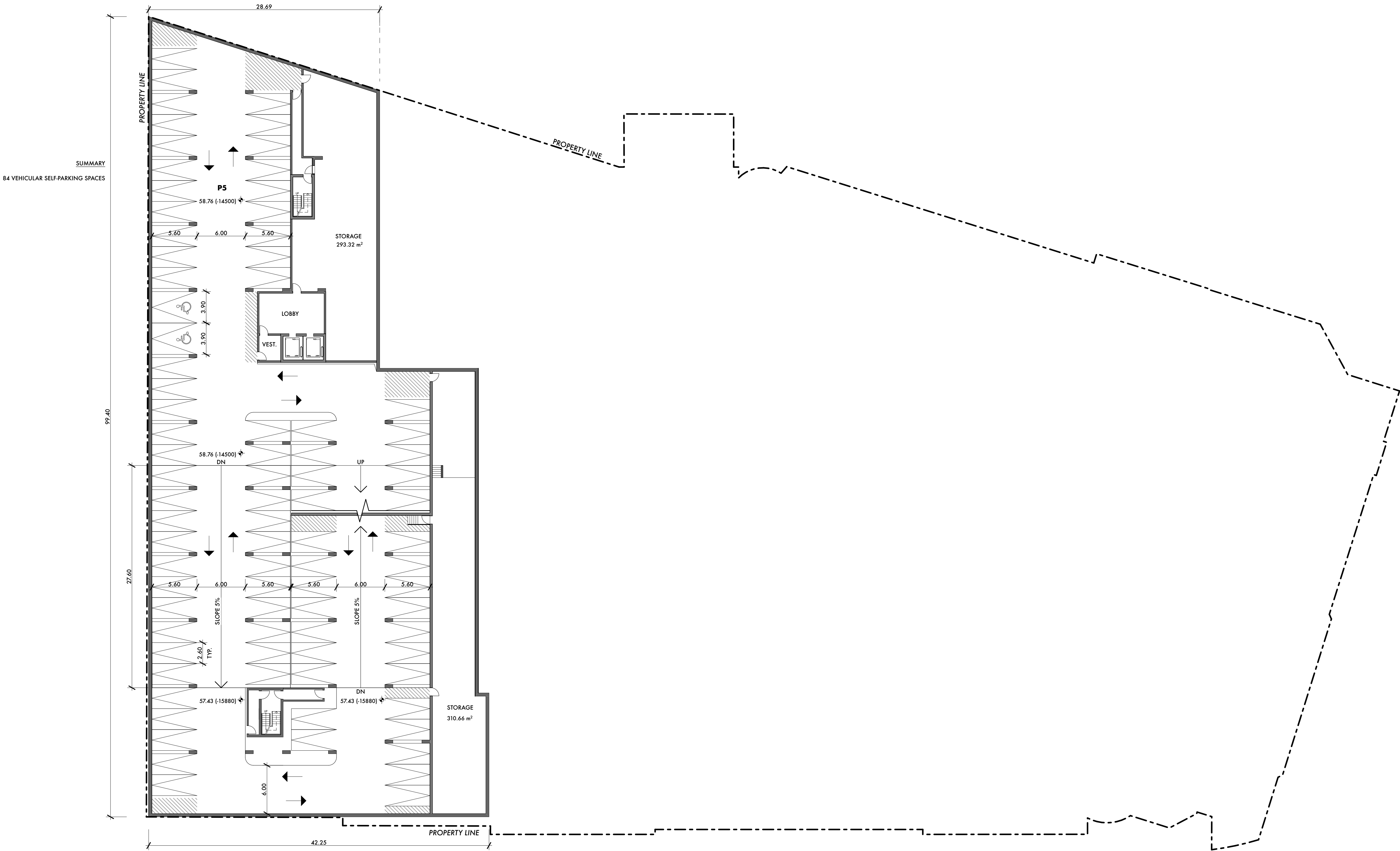
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P5 LEVEL

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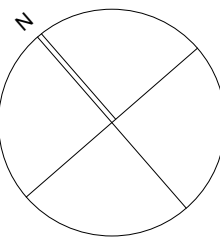
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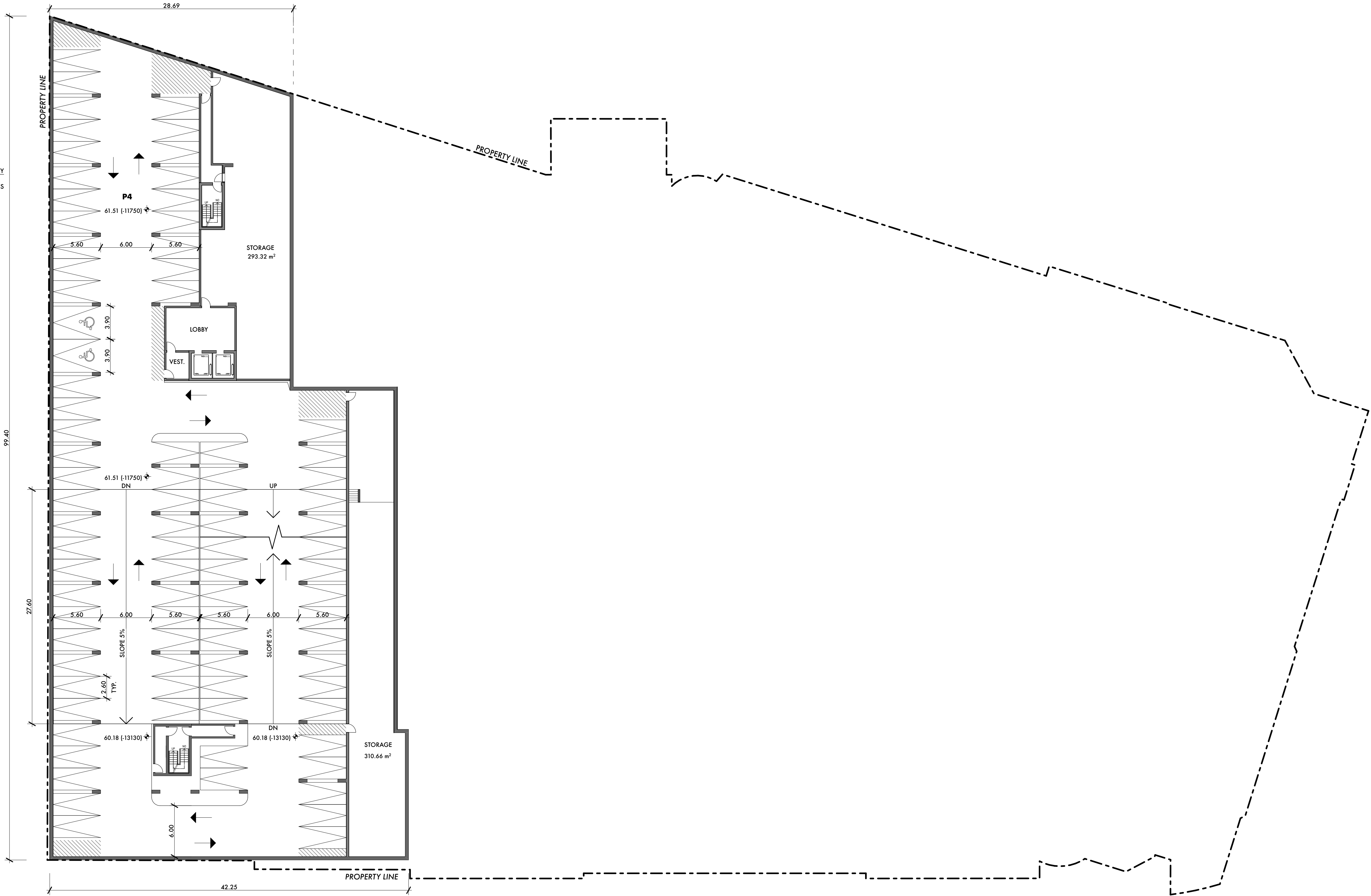
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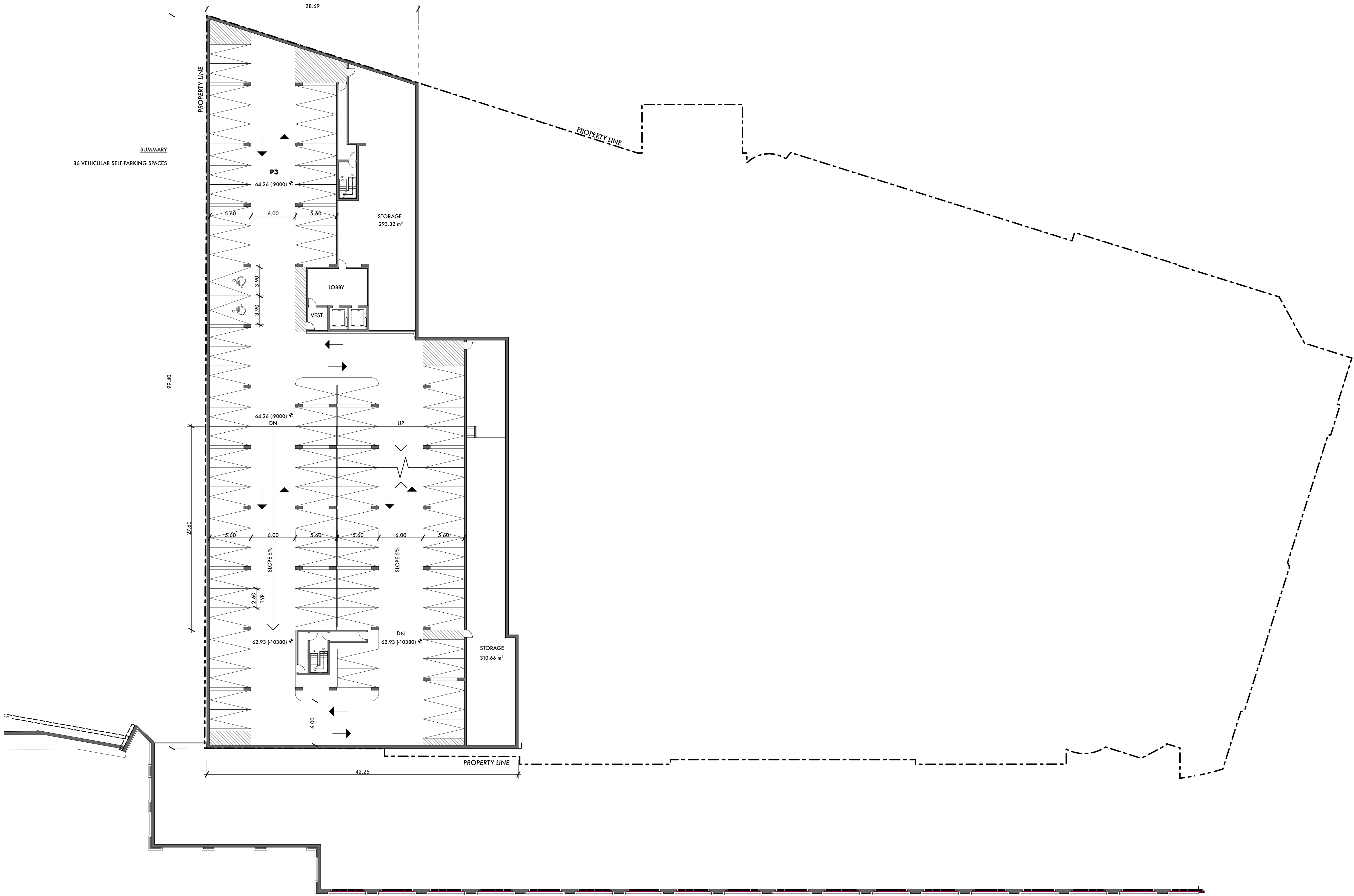
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SUMMARY
86 VEHICULAR SELF-PARKING SPACES





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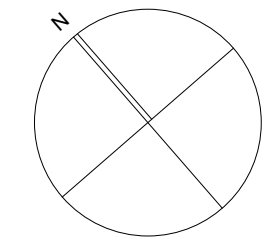
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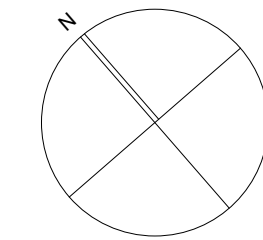
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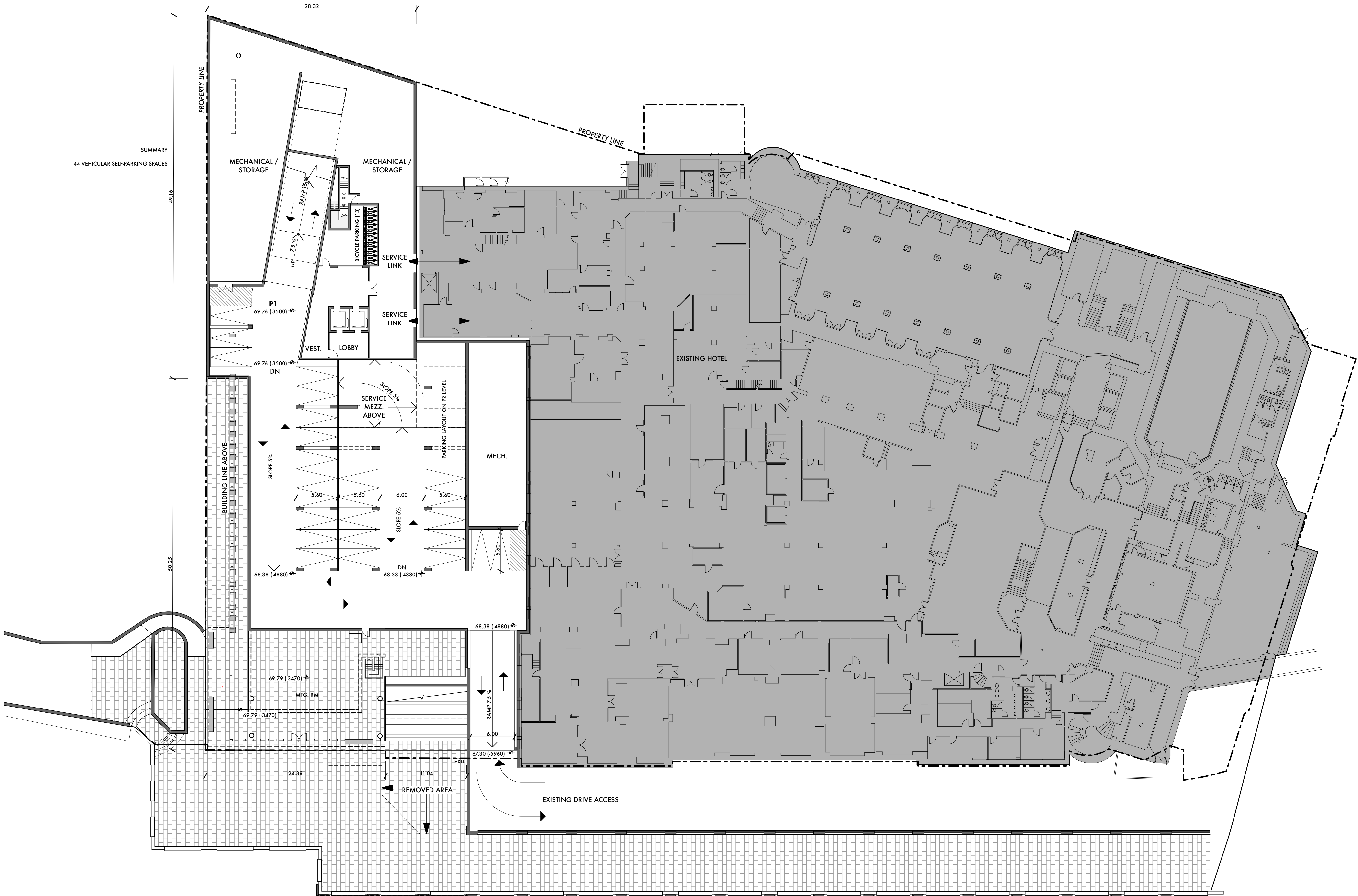
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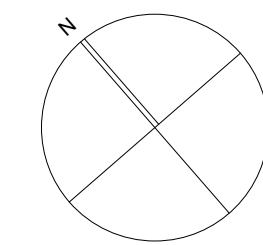
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3	SPA	01.19.2018
4	SPA	05.09.2018
5	SPA	05.29.2018
6	SPA	03.01.2019

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PROPOSED
CHÂTEAU LAURIER ADDITION
1 Rideau Street - Ottawa, Ontario

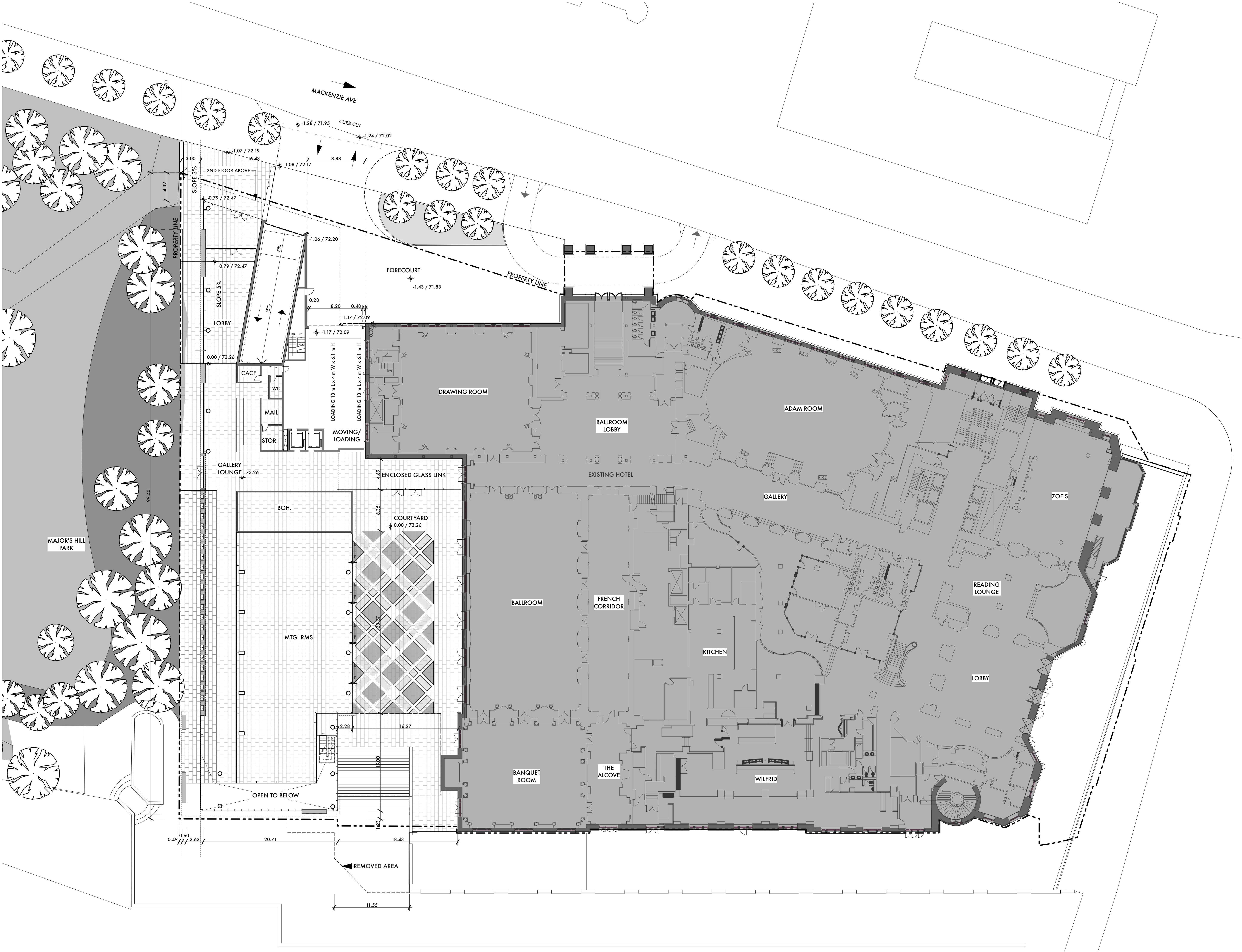
P1 LEVEL

1:250

2019-01-03

A.1.5

D07-12-16-0193



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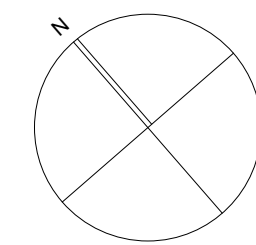
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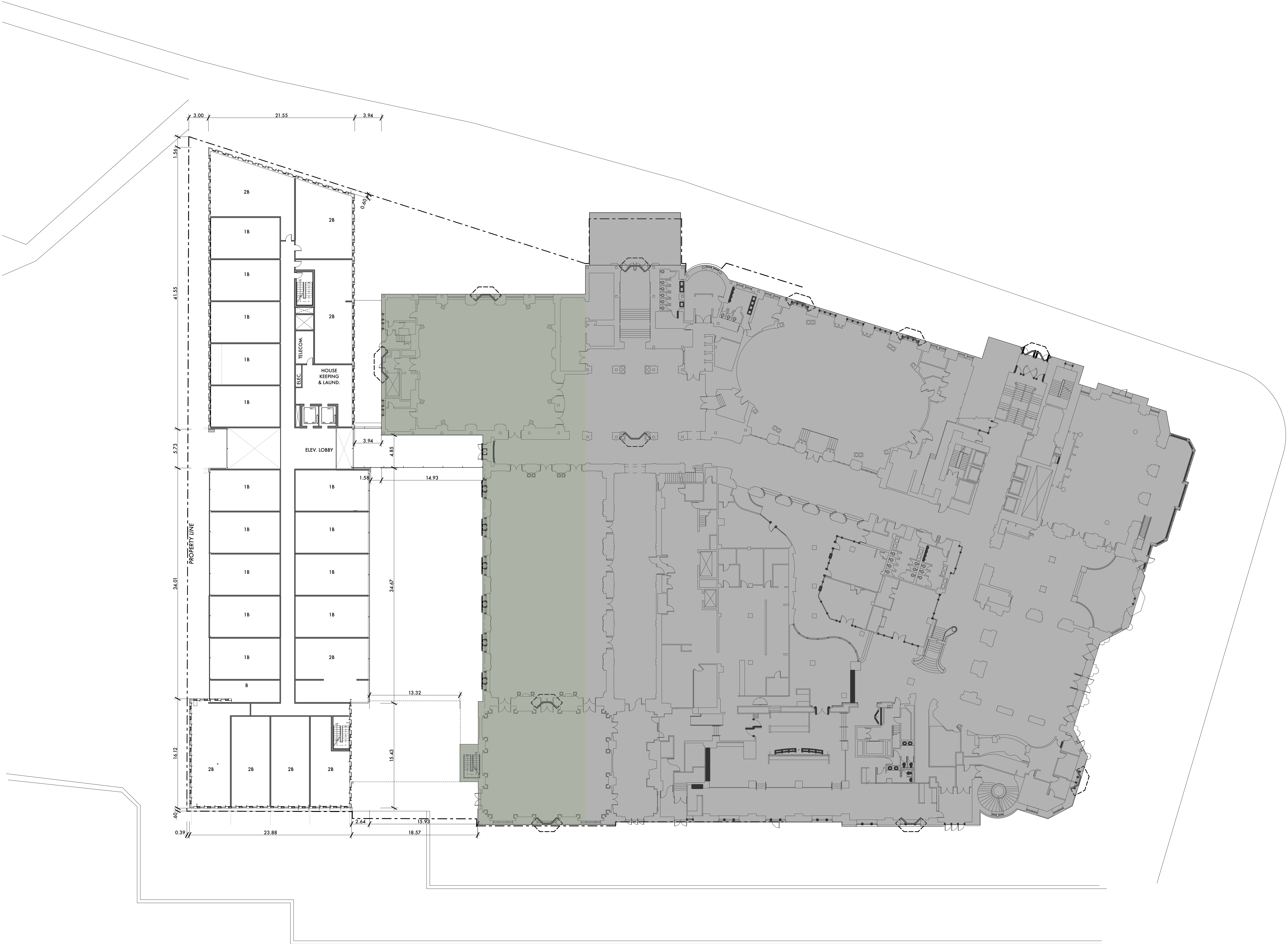
GROUND FLOOR PLAN

1:250

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A.1.6

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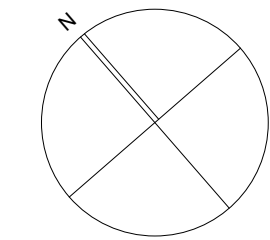
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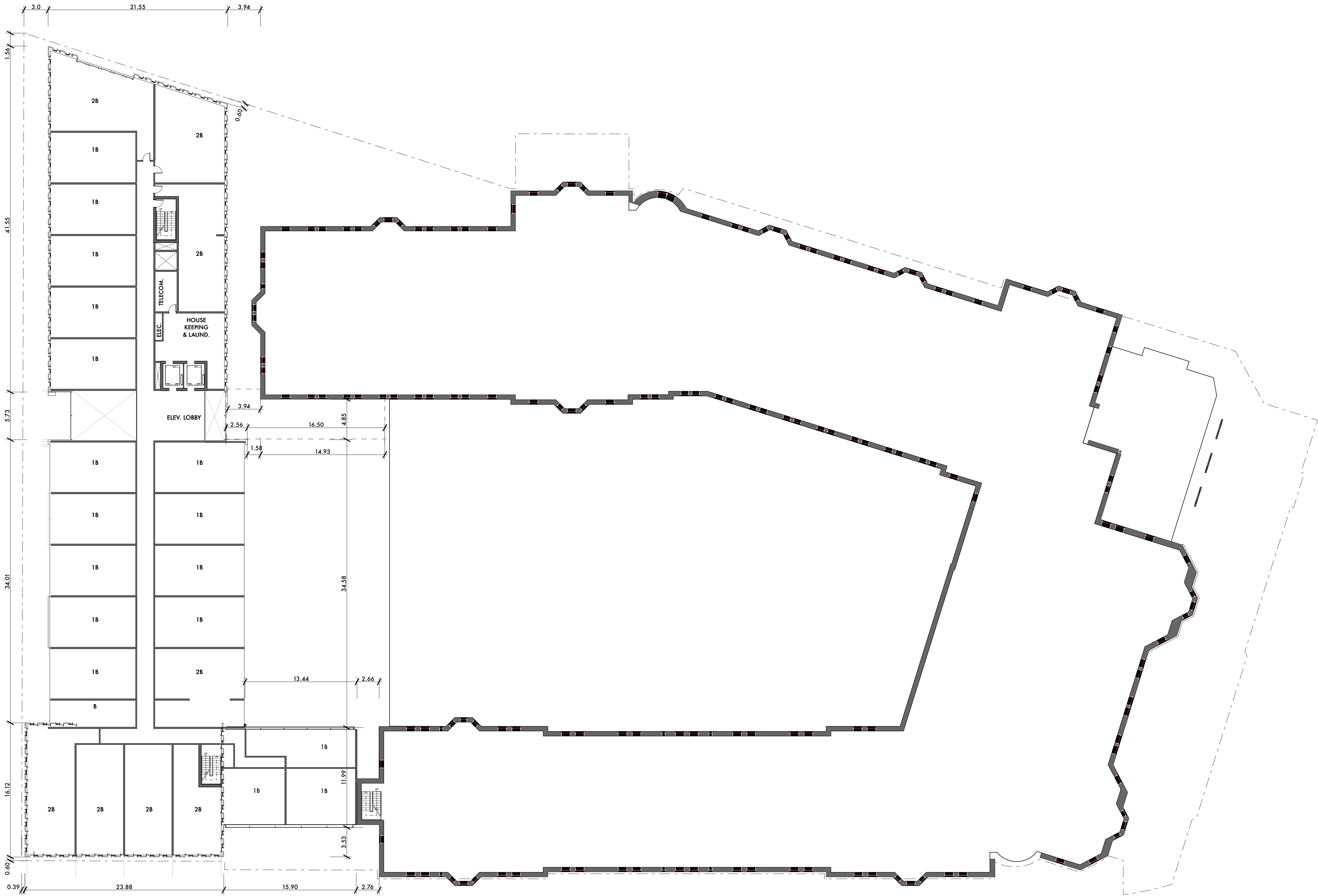


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LEVELS 2
1:250
2019-01-03

A.1.7



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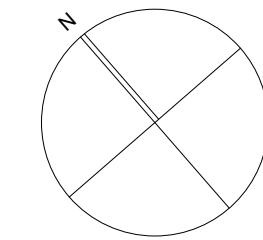
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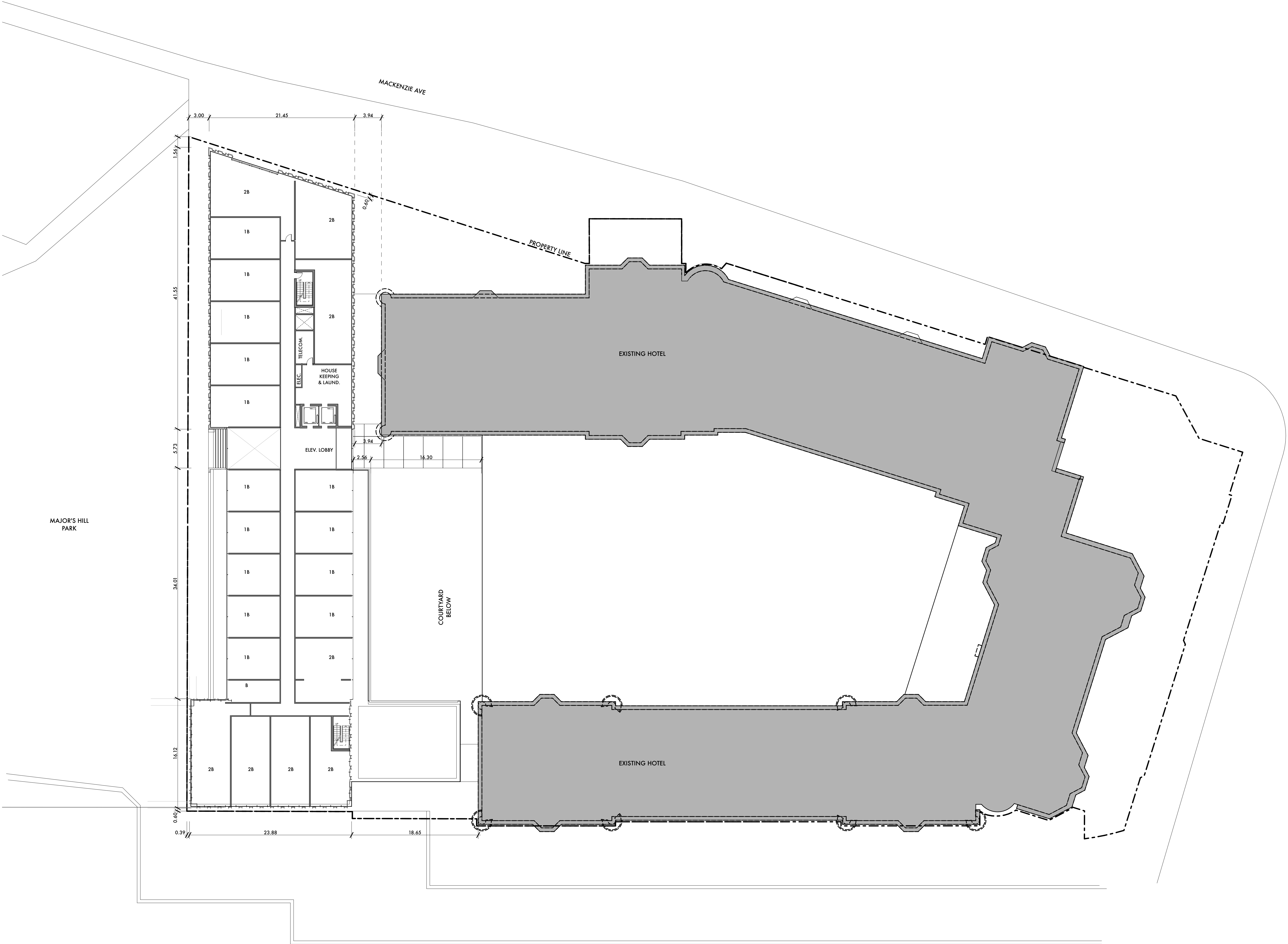
LEVELS 3 - 5

1:250

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A.1.8

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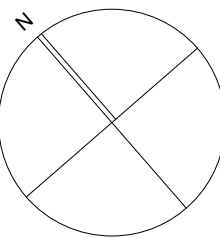
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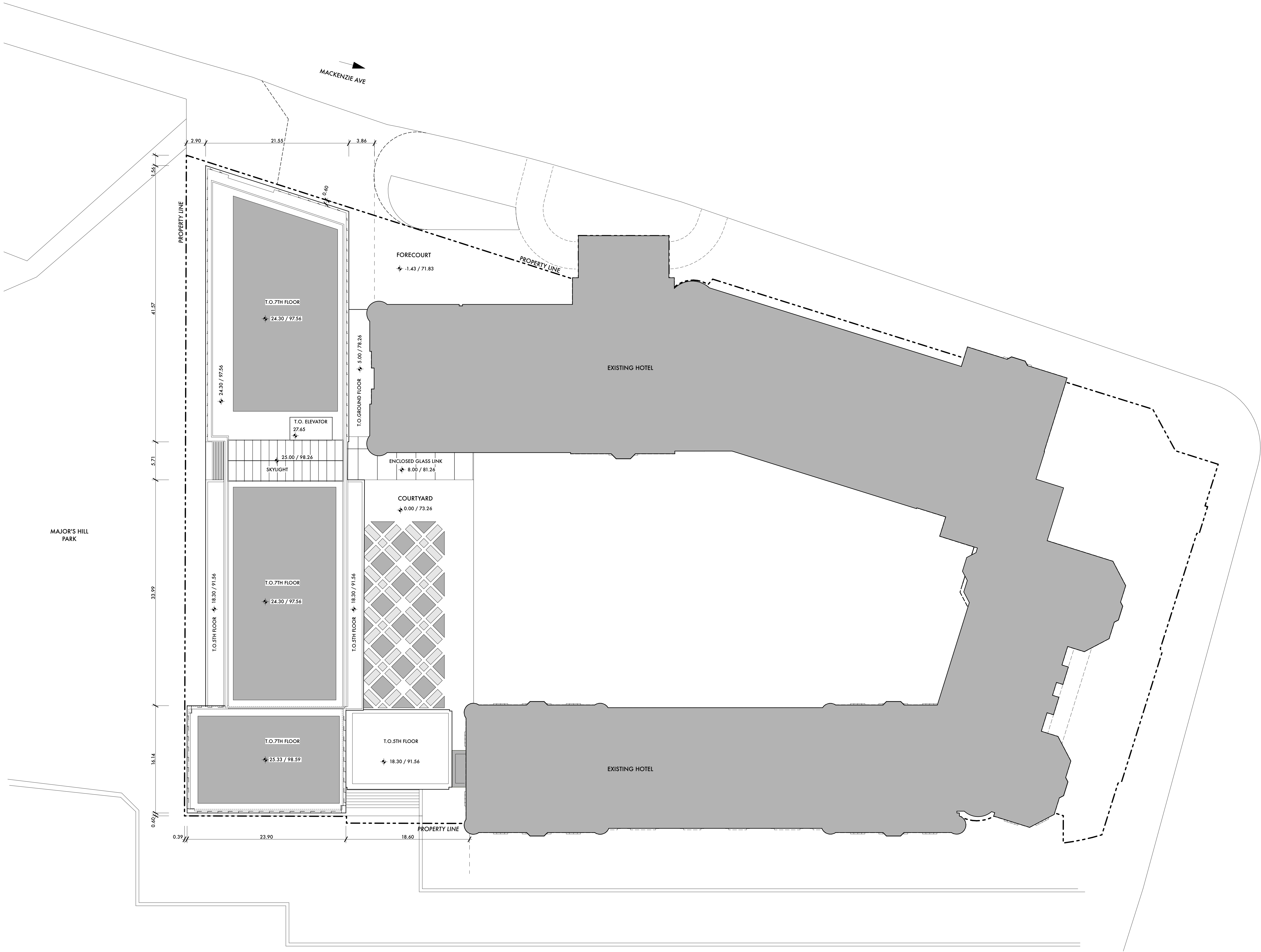
LEVEL 6 - 7

1:250

2019-01-03

A.1.9

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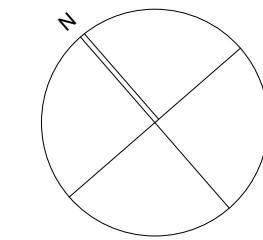
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ROOF PLAN

1:250

2019-01-03

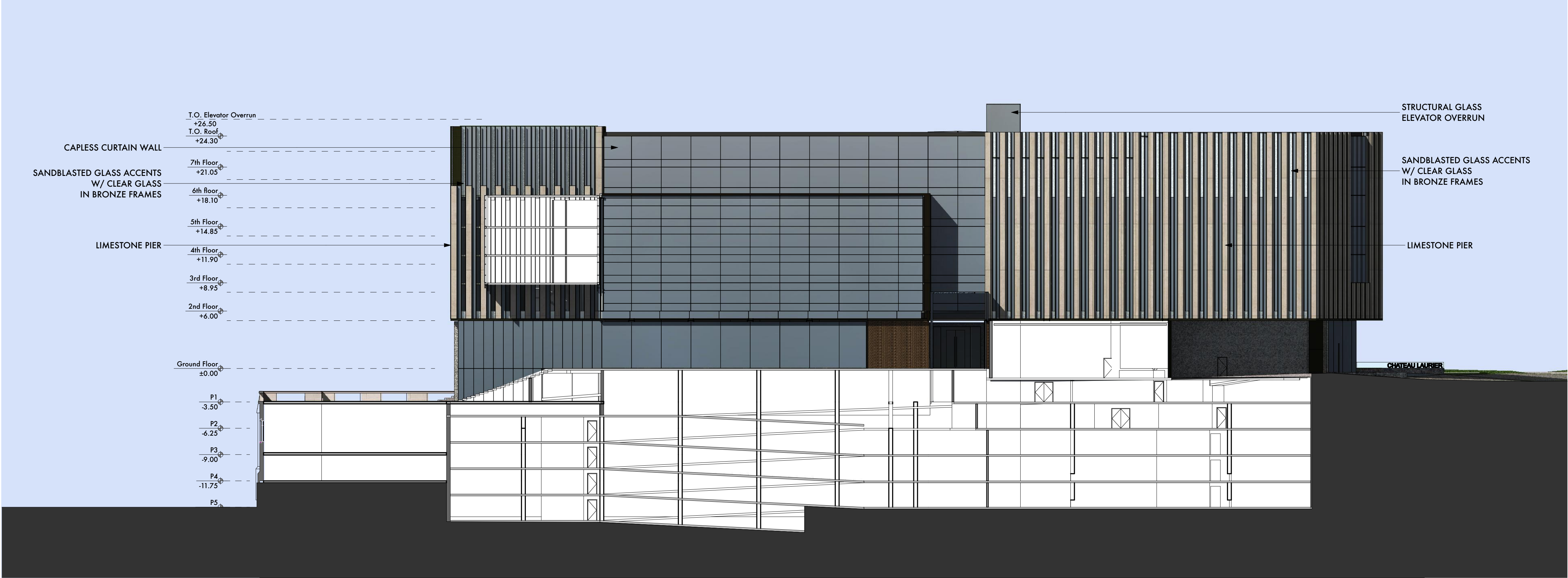
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NORTH ELEVATION

SCALE: 1:250



SOUTH ELEVATION

SCALE: 1:250

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PROPOSED
CHÂTEAU LAURIER ADDITION

1 Rideau Street - Ottawa, Ontario

ELEVATIONS

1:250, 1:2.0833

2019-01-03

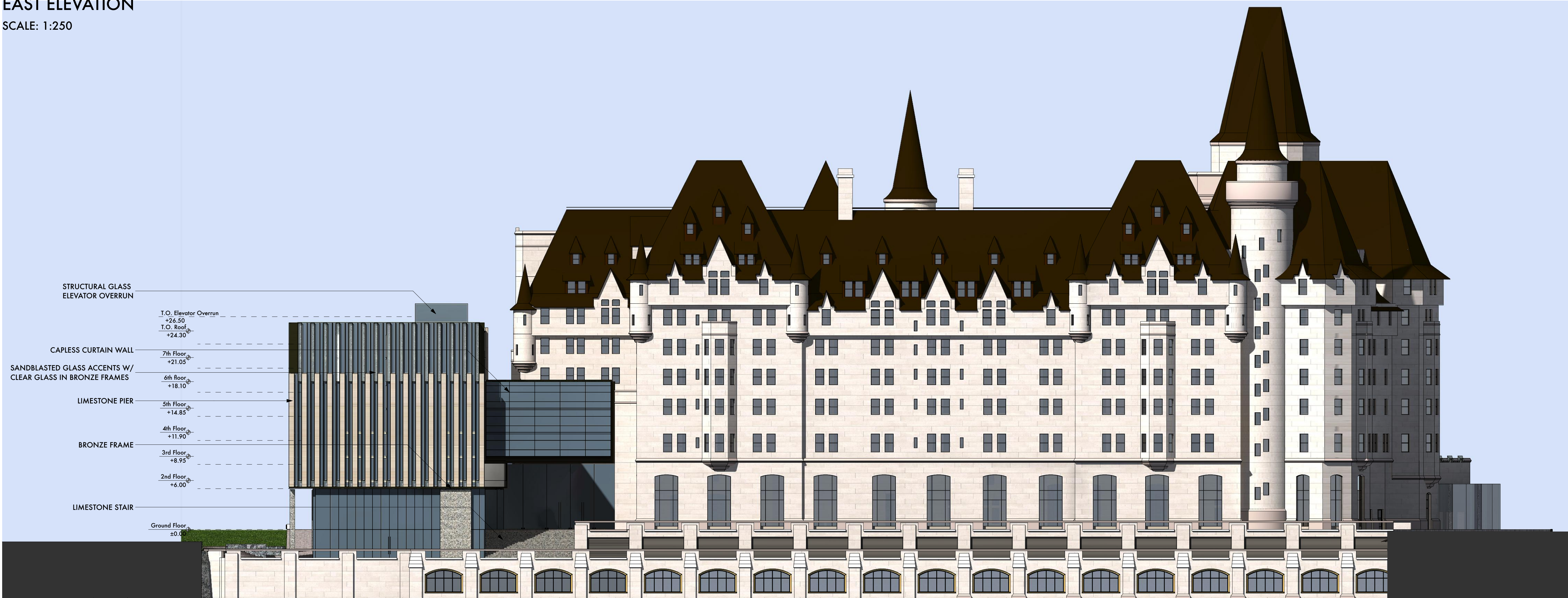
A-2.1

D07-12-16-0193



EAST ELEVATION

SCALE: 1:250



WEST ELEVATION

SCALE: 1:250

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PROPOSED
CHÂTEAU LAURIER ADDITION

1 Rideau Street - Ottawa, Ontario

ELEVATIONS

1:250, 1:2.0833

2019-01-03

A-2.2

D07-12-16-0193



N S SECTION
SCALE: 1:250

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SECTIONS

1:250, 1:2.0855

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A-2.3

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DAY VIEW FROM OTTAWA RIVER

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RENDERING DAY VIEW

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DAY VIEW 'D' FROM PARLIAMENT HILL

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RENDERING DAY VIEW

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A.0.2

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DAY VIEW FROM RIDEAU CANAL

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RENDERING DAY VIEW

2019-01-03

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DAY VIEW FROM THE STATUE OF JOHN BY IN MAJOR'S HILL PARK

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RENDERING DAY VIEW

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DAY VIEW FROM MACKENZIE AVENUE

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NO	ISSUANCE	DATE
1	SPA	12.09.2016
2	SPA	06.15.2017
3	SPA	01.19.2018
4	SPA	05.09.2018
5	SPA	05.29.2018
6	SPA	03.01.2019

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CHÂTEAU LAURIER ADDITION
1 Rideau Street - Ottawa, Ontario

RENDERING DAY VIEW

2019-01-03

A.0.5

D07-12-16-0193



DAY VIEW FROM COURTYARD

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