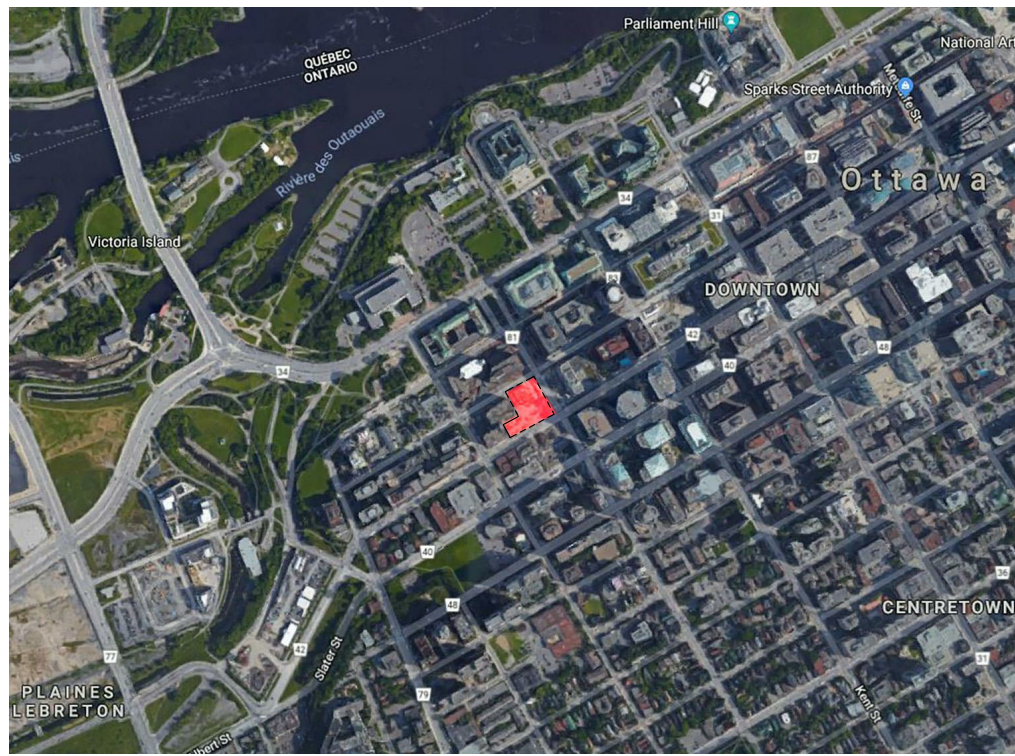


LOCALISATION MAP



MIXED-USE RESIDENTIAL WITH GROUND FLOOR COMMERCIAL AND TWO RESIDENTIAL BUILDINGS
383 ALBERT ST ZONED RSQ2(40) H(84) AND 340 QUEEN ST ZONED RSPH(84)
SUBJECT TO OMB DECISION CASE NO. P.101398

ZONING MECHANISM	REGULATION	PROPOSED
Minimum lot area	540m ²	3941.9m ²
Minimum lot width	18m	48.2m
Maximum building height	Tower A : 81m Tower C: 64m	Tower A : 80.96m Tower C: 29.15m / 80.96m
Minimum front yard setback (Queen St.)	2.5m	2.68m
Minimum corner side yard setback (Lyon St.)	2.41m	2.47m
Minimum interior side yard setback	Along West property line, adjacent to Tower C: 1.5m Along north property line, adjacent to Tower C: 1.5m (podium only); 7.5m for remainder Along west property line, adjacent to Tower A: 3.075m	Along West property line, adjacent to Tower C: 1.527m Along north property line, adjacent to Tower C: 1.508m (podium only); 8.404m for remainder Along west property line, adjacent to Tower A: 0.056m
Minimum rear yard setback (Albert St.)	1.25m	1.507m
Minimum landscaped area (hard and soft landscaping, at-grade only)	8.9% of the total lot area (0.088x3941.1m ² = 353m ²)	12.1% (476.79m ²)
Commercial uses	Can occupy 100% of the total ground floor area (2733m ²)	74% of GFA (2062m ²)
Minimum amenity area	Total amenity area = 6m ² per dwelling unit (572units x 6 m ² = 3432 m ² required total amenity area) Communal amenity area = 33% of total amenity area (33% x 3432 m ² = 1133 m ² required communal amenity area) Layout = Aggregated into areas up to 54 m ² , and where more than one aggregated area is provided, at least one must be a minimum of 54 m ² .	Total amenity area: 5020 m ² provided Communal amenity area: 2300 m ² provided (See Key Plans for breakdown) Private amenity area: 2720m ² provided (Tower A: 1210m ² balconies, Tower C: 1510m ² balconies and terraces)

	TOWER A	TOWER C
Number of Units	268	304
Number of Storeys	27	27 (West) / 9 (East)
GFA by Use	Residential (Condo) : 11617m ²	Residential (Rental) : 20249m ² Retail (Podium) : 2062m ²

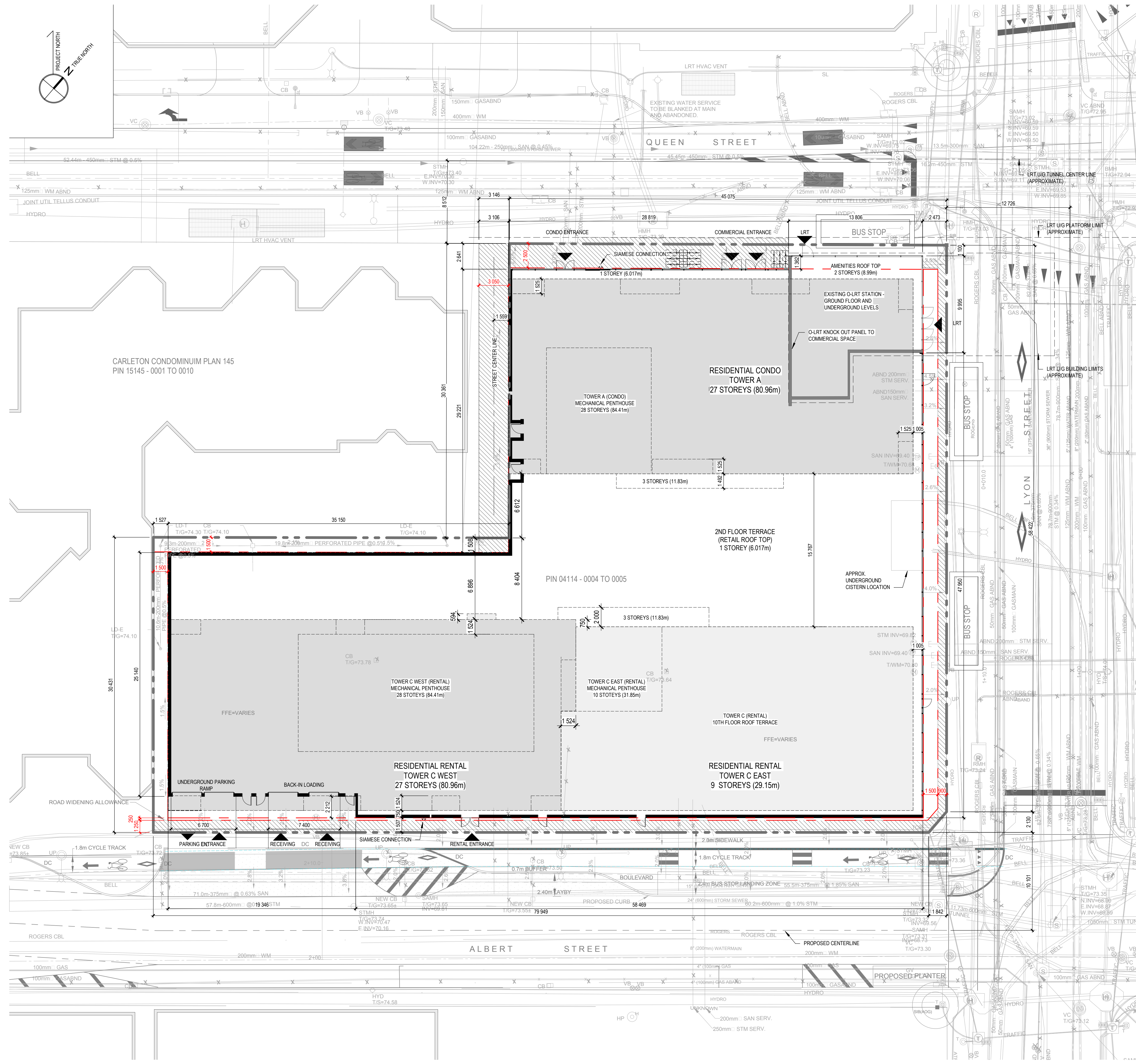
AREA Z, NEAR LRT STATIONS ON SCHEDULE A1, ZONING BY-LAW 2008-250

ZONING MECHANISM	REGULATION	PROPOSED
Minimum parking space requirement	Residential: None Non residential use: None (Area Z) Visitor: 24 spaces (30-6 spaces as per Section 101(6)(c)) Total: 24 spaces	Residential: 248 spaces Retail: 16 spaces Visitor: 24 spaces Total: 288 spaces
Maximum parking space requirement (within 600m of rapid transit station)	Residential: 1.5/dwelling (837 spaces) Retail store: 1.0 per 100m ² of GFA (23 spaces)	Residential: 248 spaces Retail: 16 spaces
Minimum parking spaces reserved for physically disabled persons	4 spaces (given 300-399 spaces)	24 spaces (6/level)
Minimum bicycle parking	Residential: 0.5/dwelling (286 spaces required) Retail: 1.0 per 250m ² of GFA (9 spaces required)	Residential: 287 interior spaces (116 vertical spaces; 171 horizontal spaces) Retail: 9 exterior spaces
Minimum loading spaces	Retail, retail food store = 2 (assuming entire ground floor is one space)	2
Minimum driveway width	6m	6.7m
Minimum aisle width	6m	6m

WASTE MANAGEMENT: SINGLE CHUTE TRI-SORTER WITH ORGANICS COLLECTION IN CENTRAL ROOM (P1)

ZONING MECHANISM	REGULATION	PROPOSED
TOWER A (268 units)	GARBAGE (loose): 0.110 cubic yards/unit FIBER: 0.038 cubic yards/unit GLASS/METAL/PLASTIC: 0.018 cubic yards/unit ORGANICS: 1x (240L bin) / 50 units	GARBAGE: 6 x (4 yard) + 2 x (3 yard) bins FIBER: 3 x (4 yard) bins GLASS/METAL/PLASTIC: 2 x (3 yard) bins ORGANICS: 6 x (240L) bins
TOWER C (304 units)	GARBAGE (loose): 0.110 cubic yards/unit FIBER: 0.038 cubic yards/unit GLASS/METAL/PLASTIC: 0.018 cubic yards/unit ORGANICS: 1x (240L bin) / 50 units	GARBAGE: 7 x (4 yard) + 2 x (3 yard) bins FIBER: 3 x (4 yard) bins GLASS/METAL/PLASTIC: 2 x (3 yard) bins ORGANICS: 6 x (240L) bins

LEGEND	
	PROPERTY LINE
	SETBACK LIMIT
	REQUIRED SETBACK
	RIGHT OF WAY
	BICYCLE LANE DEMARICATION



SITE PLAN - GROUND FLOOR
1:200

NOTES GÉNÉRALES / General Notes

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SCEAU / Seal



OUVRAGE Project
383 ALBERT STREET & 340 QUEEN STREET

EMPLACEMENT Location NO PROJET No
OTTAWA 11679.00

NO	RÉVISION	DATE (aa-mm-jj)
A	UDRP	2018.11.22
B	SITE PLAN CONTROL RESPONSE	2019.02.19

DESSIN PAR Drawn by
CR

VERIFIÉ PAR Checked
ALQ

DATE (aa-mm-jj)
18.07.26

ÉCHELLE Scale
As indicated

SITE PLAN

RÉVISION Revision NO. DESSIN Dwg Number

B **A100**