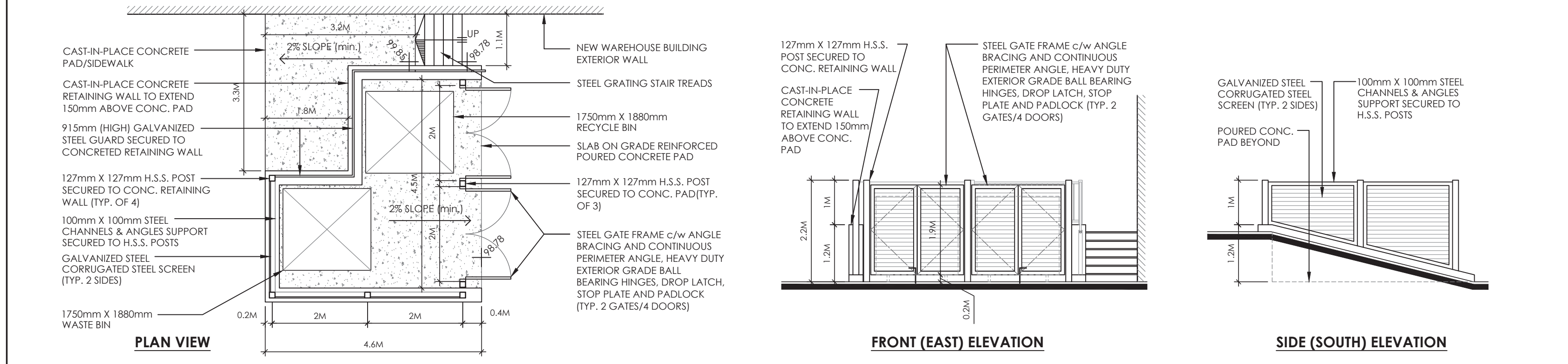
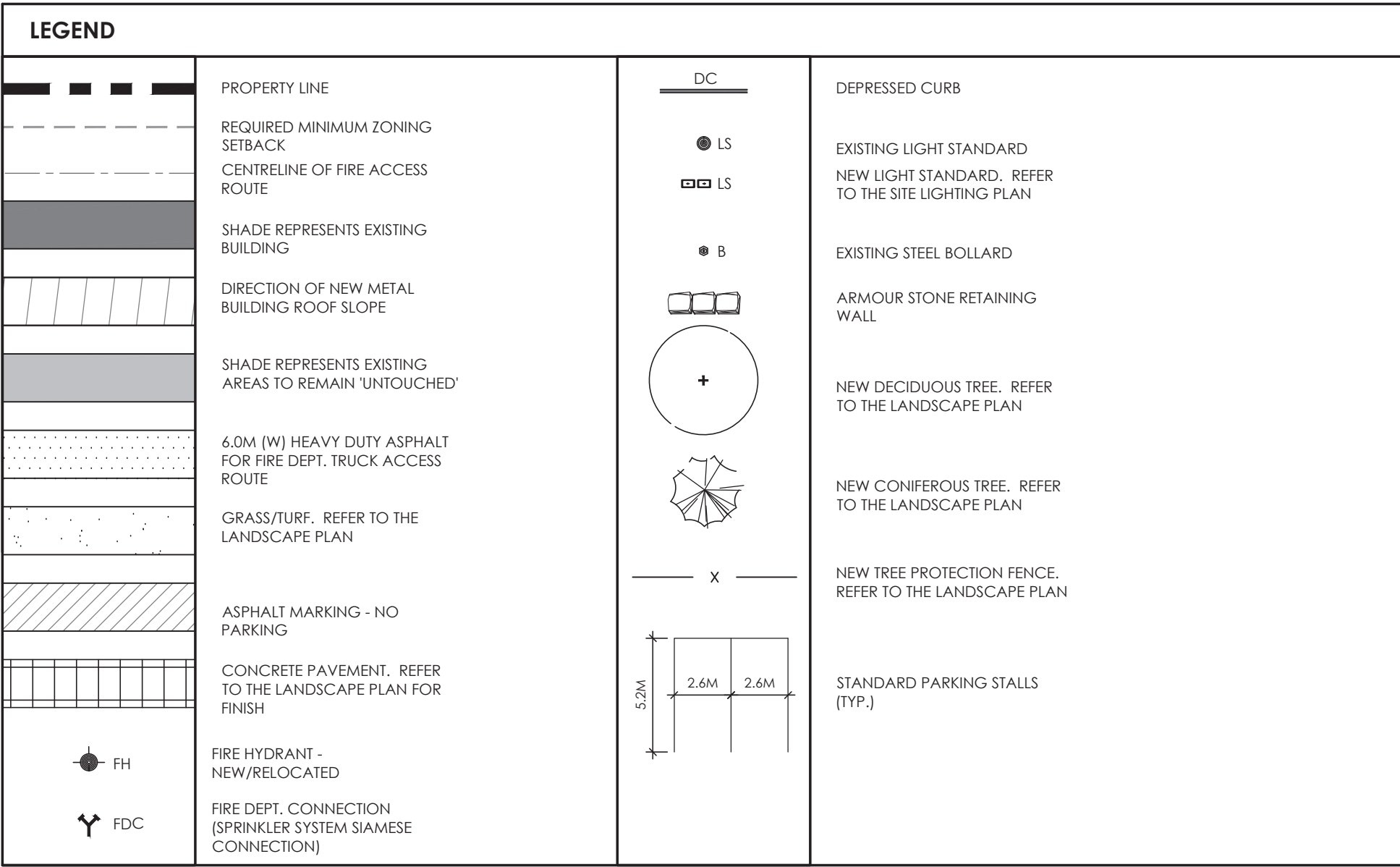
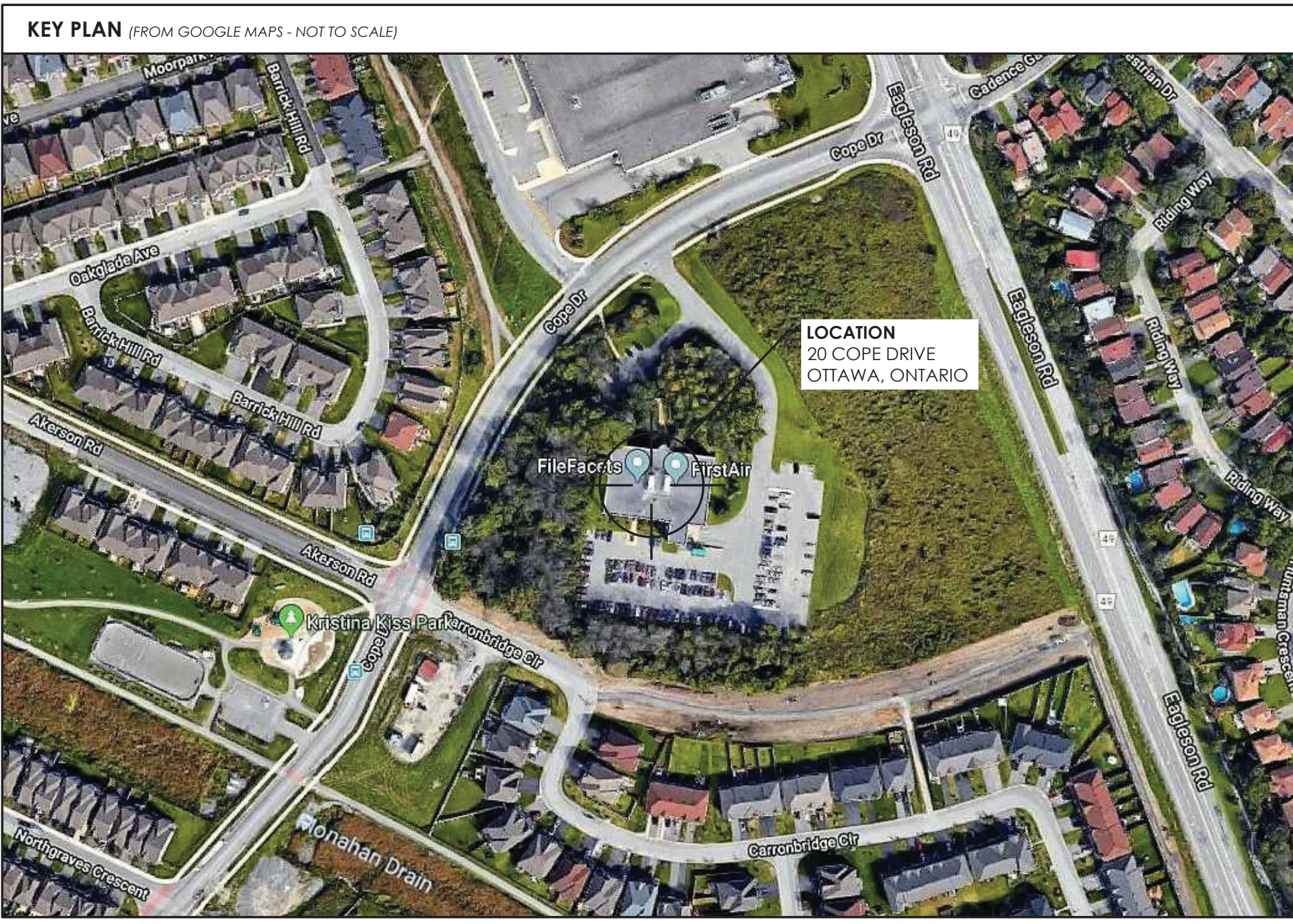


1 SITE PLAN
A1.0 SCALE 1:500



2 GARBAGE/RECYCLE BINS ENCLOSURE DETAILS
A1.0 SCALE 1:75



ZONING DATA (BASED ON ZONING BY-LAW 2008-250)			
Municipal Address: 20 Cope Drive, Kanata, Ontario			
Legal Description: Goboum, Concession 10, Part Lot 31, RP 4R27902, PARTS 3 AND 4, Pin: 044781247.			
Zoning Designation: Business Park Industrial Zone (IP5H(21.5)) - Area C Suburban			
Site Area: 2.0 Ha (20,699 Sq.M.)			
Building Area: <ul style="list-style-type: none">New Warehouse Bldg.: 1,455 Sq. M.Existing Building: 1,394 Sq. M.Total Building Area: 2,849 Sq. M.			
Lot Coverage: (2,849 / 20,699) x 100 = 13.76%			
Gross Floor Area: <ul style="list-style-type: none">First Floor Area: 2,849 Sq. M.Second Floor Area: 1,394 Sq. M.Total Gross Floor Area: 4,243 Sq. M.			
ZONING PROVISIONS - ZONE IP5 H(21.5)	ZONING MECHANISM	REQUIRED	PROVIDED
Lot Area		4,000 Sq. M. (min.)	20,699 Sq. M.
Lot Width		45M (min.)	171.73M
Lot Coverage		55% (max.)	13.76%
Front Yard Setback		12M (min.)	58.2M
Corner Side Yard Setback		12M (min.)	18.8M
Interior Side Yard Setback		7.5M (min.)	N/A
Rear Yard Setback		7.5M (min.)	54.2M
Floor Space Index		2 (max.)	< 0.2
Building Height		21.5M (max.)	9.78M (measured to the mid-point between roof ridge and eave)
Landscaping Width		3M (min.) - abutting a street No Minimum - all other cases	VARIES. 3.1M (min.)
Parking Requirements		Office Use: 2.4/100 Sq. M. GFA (Table 101 - Row N59) 2,788 Sq. M./100 X 2.4 = 67 spaces Warehouse: 0.8/100 Sq. M. GFA (Table 101 - Row N95) 1,455 Sq. M./100 X 0.8 = 12 spaces Total Required Parking Spaces: 67 + 12 = 79 spaces	186 2
Accessible Parking Spaces		2 spaces	
Landscaping Buffer		N/A (as exempted in Section 110 - Landscaping Provisions for Parking Lots)	VARIES. 3.0 (min.)
Bicycle Parking Spaces		Office Use: 1 space per 250 Sq. M. GFA 2,788 Sq. M./250 = 11 spaces Warehouse: 1 space per 2,000 Sq. M. GFA 1,455 Sq. M./2,000 = 1 space Total Required Bicycle Parking Spaces: 11 + 1 = 12 spaces	12
Loading Spaces		Office Use: 1 space required Warehouse: 1 space required Total Req'd = 2 spaces	2
Oversized Vehicle		N/A	-

PROJECT TEAM

OWNER/APPLICANT
CANADA CLEAN ROOM
20 COPE DRIVE
KANATA, ON K2M 2V8
TEL: (613) 457-5127
E-MAIL: INFO@CCRCANADA.COM

PROJECT MANAGER
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CONSTRUCTION MANAGER
ARGUE CONSTRUCTION LTD.
2900 CARP ROAD
CARP, ON K0A 1L0
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E-MAIL: INFO@ARGUECONSTRUCTION.CA

LAND SURVEYOR
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E-MAIL: DYANNOULOPOULOS@IBIGROUP.COM

ELECTRICAL ENGINEER
MAE ENGINEERING
205 KINCARDINE DRIVE
KANATA, ON K2V 1C5
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E-MAIL: FARZAD@MAENGINEERING.CA

LANDSCAPE ARCHITECT
CSW LANDSCAPE ARCHITECTS
502-319 MCRAE AVENUE
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CLIENT

PROJECT
**CCR WAREHOUSE
ADDITION & OFFICE
RENOVATIONS**
20 COPE DRIVE, KANATA, ONTARIO

DRAWING TITLE
SITE PLAN

DRAWN BY	A.A.	DRAWING NO.	
REVIEWED BY	A.A.		
START DATE	2018/04/25		
PROJECT NO.	18007	REVISION NO.	02

A1.0

FILE NO.: D07-12-18-0144

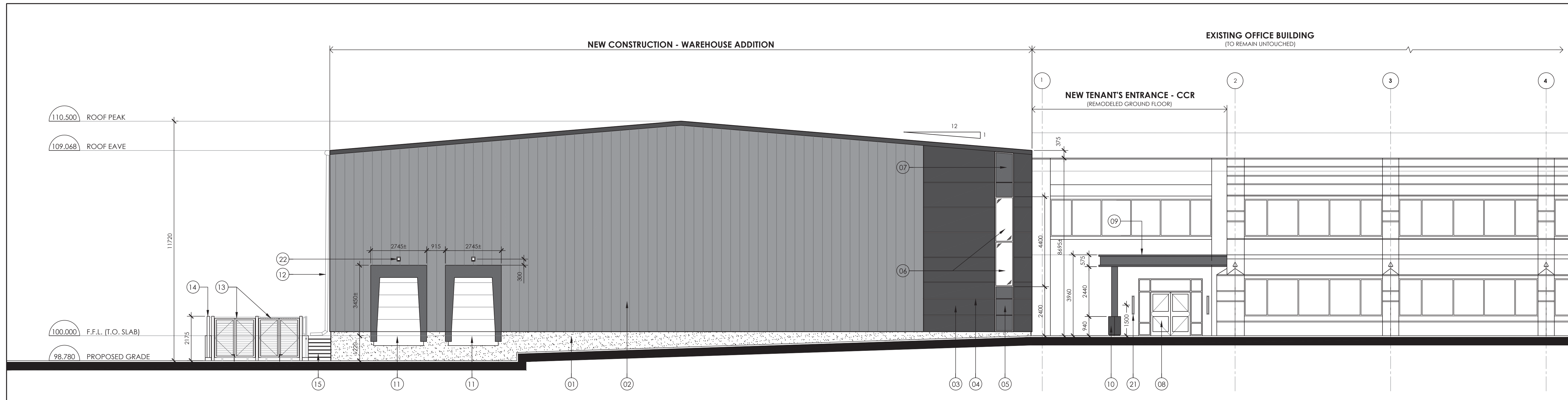
PLOT DATE: February 5, 2019

SHEET SIZE: ARCH D 24" X 36" (609.6mm X 914.4mm)

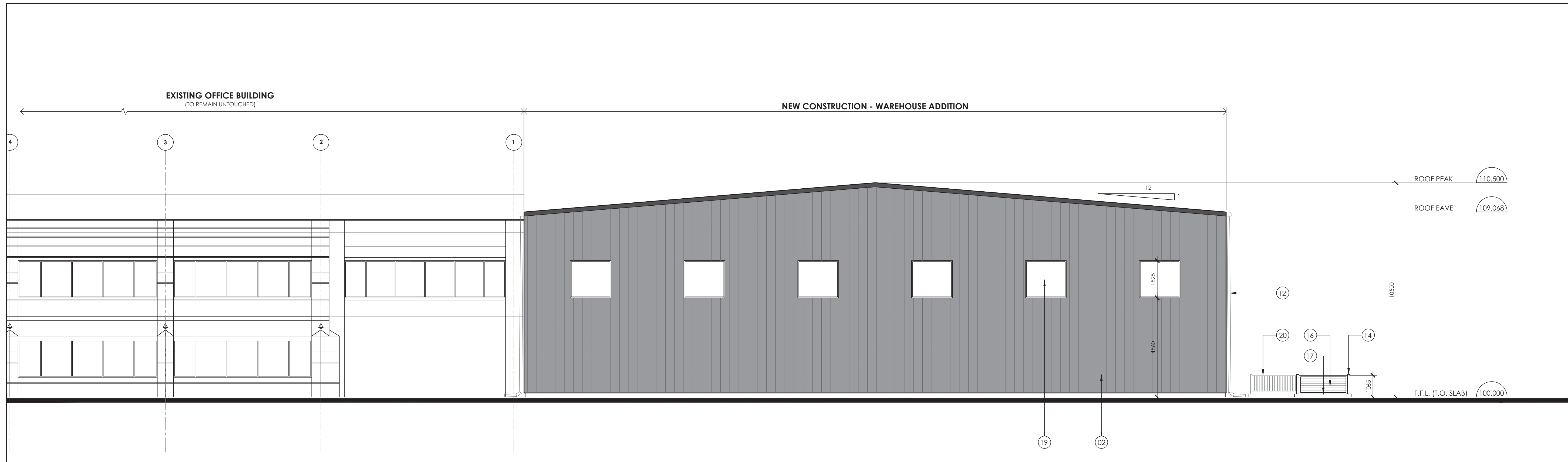
PAGE NO.: 14050

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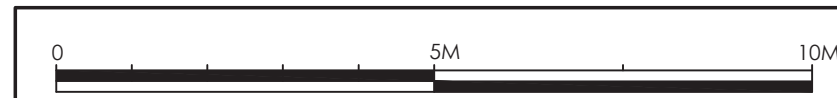
1 EAST ELEVATION
A4.0 SCALE 1:100



2 WEST ELEVATION
A4.0 SCALE 1:100

EXTERIOR ELEVATIONS NOTES

- | | | | |
|---|--|--|--|
| 01 EXPOSED CONCRETE FOUNDATION WALL. FINISH w/ CEMENT BOARD OR SIMILAR APPROVED MATERIAL. | 08 CLEAR ANODIZED ALUMINUM ENTRANCE COMPRISING DOOR FRAME, DOUBLE DOORS, CLEAR GLASS SIDELIGHTS AND RANSOMS. | 14 GALVANIZED H.S.S. FOR GARBAGE SCREEN SUPPORT SECURED TO CONCRETE RETAINING WALL BELOW. | 21 WALL MOUNTED ARCHITECTURAL SCONCE LIGHT FIXTURE (TYP. OF 2): ASPEN WEDGE 36, WITH INTEGRATED FULLY DIMMABLE LED BULBS. CHARCOAL FINISH. |
| 02 PRE-FINISHED INSULATED METAL PANEL CLADDING SYSTEM (MET-SPAN OR APPROVED EQUIVALENT), PROFILE AND COLOUR TO BE DETERMINED. | 09 PAINTED ENTRANCE STEEL CANOPY AND SUPPORT COLUMN. | 15 STEEL GRATING STAIR TREADS. | 22 WALL MOUNTED LIGHT FIXTURE (TYP. OF 5): VOTO 8, DOWN ONLY, WITH LED BULB. POWDER COATED CHARCOAL FINISH. |
| 03 ALUMINUM COMPOSITE CLADDING PANELS (ALPOLIC OR APPROVED EQUIVALENT). | 10 PRE-CAST CONCRETE COLUMN BASE TO MATCH EXISTING BUILDING'S CONCRETE CLADDING. | 16 HORIZONTAL CORRUGATED STEEL GARBAGE SCREEN/ENCLOSURE TO MATCH NEW BUILDING EXTERIOR FINISH. | |
| 04 38mm SQUARE-EDGE REVEAL (TYP. VERTICAL AND HORIZONTAL). | 11 LOADING DOCK SYSTEM c/w DOCK LEVELER, DOCK SEAL AND PUMPER. | 17 POURED CONCRETE RETAINING WALL. | |
| 05 FULL-HEIGHT CURTAIN WALL SYSTEM COMPRISING CLEAR ANODIZED ALUMINUM FRAME, CLEAR INSULATED GLASS AND SPANDREL PANELS. | 12 PRE-FINISHED STEEL DOWNSPOUT, BY METAL BUILDING MANUFACTURER. | 18 PAINTED INSULATED EXTERIOR STEEL DOOR AND FRAME. | |
| 06 CLEAR INSULATED GLASS. | 13 GARBAGE ENCLOSURE STEEL GATES c/w HORIZONTAL CORRUGATED STEEL PANELS TO MATCH NEW BUILDING EXTERIOR FINISH. | 19 DARK TINTED GLASS IN BLACK ANODIZED ALUMINUM WINDOW. | |
| 07 SPANDREL PANEL (SHOWN WITH LIGHT SHADE). | | 20 GALVANIZED STEEL GUARD/HANDRAIL SECURED TO CONCRETE FOUNDATION WALL BELOW. | |



ORIENTATION



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CCR
CANADA CLEAN ROOM

PROJECT

**CCR WAREHOUSE
ADDITION & OFFICE
RENOVATIONS**
20 COPE DRIVE, KANATA, ONTARIO

DRAWING TITLE

EXTERIOR ELEVATIONS

DRAWN BY A.A.

REVIEWED BY A.A.

START DATE 2018/04/25

PROJECT NO. 18007

DRAWING NO.

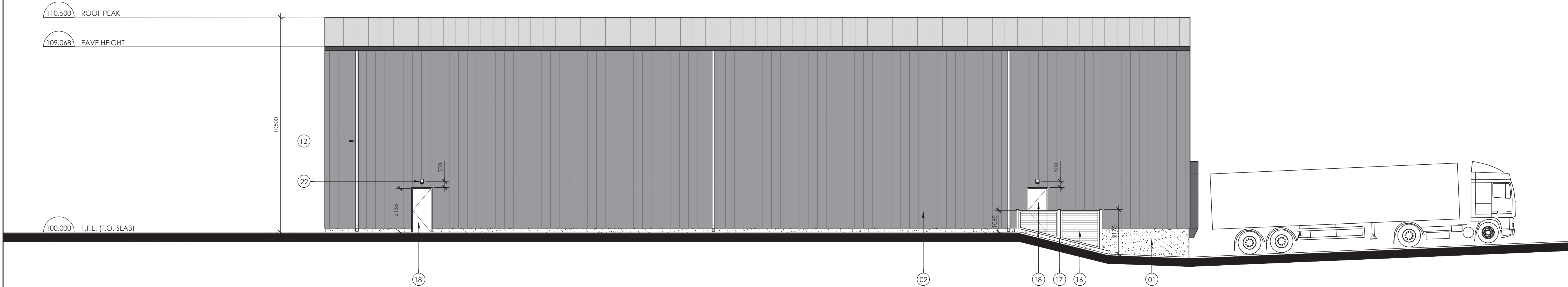
A4.0

REVISION NO. 02

PLAN NO.: 14050

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1 SOUTH ELEVATION
A4.1 SCALE 1:100

NO.	REVISIONS	DATE (YY/MM/DD)
02	RE-ISSUED FOR SPA	2019/02/05
01	RE-ISSUED FOR SPA	2018/12/18
00	ISSUED FOR SPA	2018/09/18
NO.	ISSUE	DATE (YY/MM/DD)

ORIENTATION

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OF
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PROJECT

**CCR WAREHOUSE
ADDITION & OFFICE
RENOVATIONS**
20 COPE DRIVE, KANATA, ONTARIO

DRAWING TITLE

EXTERIOR ELEVATION

DRAWN BY	A.A.	DRAWING NO.	A4.1
REVIEWED BY	A.A.		
START DATE	2018/04/25		
PROJECT NO.	18007	REVISION NO.	

EXTERIOR ELEVATIONS NOTES			
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