



01 LOCATION PLAN

SP-A01 SCALE:

LIGHT INDUSTRIAL (IL)			
IL	Provisions	Proposed Site Plan	Compliance
a) Minimum Lot Area	2000sm	88,504.31sm	Compliant with zoning
b) Minimum Lot Width	no minimum	Irregular Lot	Compliant with zoning
c) Maximum Lot Coverage	65%	36.58%	Compliant with zoning
d) Minimum Front Yard	7.5m	7.5m	Compliant with zoning
e) Minimum Interior Side Yard	7.5m	7.5m minimum	Compliant with zoning
f) Minimum Rear Yard	3.5m	15m	Compliant with zoning
g) Maximum Floor Space Index - Gross area for all buildings - FSI including buildings 100 & 550	2	32.375sm 0.28	Compliant with zoning
h) Maximum Building Height	18m	9.9m typically, 7m at Buildings 100 & 550	Compliant with zoning
i) Minimum Width of Landscape Area	Abutting a street: 3m Abutting a Residential area: 3m Other: 0m	3m minimum	Compliant with zoning
j) Parking Required	Building 100 Light Industrial use: 2190sm - Warehouse (0.8/100sm) - 18 spaces required Building 550 Light Industrial use: 700sm - Warehouse (0.8/100sm) - 6 spaces required	Building 100: 24 spaces provided Building 550: 23 spaces provided	Compliant with zoning Compliant with zoning
k) Parking Provided	Light Industrial (0.8 space/100sm) Buildings 100, 200, 300, 400, 500, 550, 600 & 700 total GFA = 32,375sm Total parking required: 259 spaces	Total parking provided: 407 spaces	Compliant with zoning
k) BICYCLE PARKING	Light Industrial (1/1000sm) - 30 required	Total provided: 30 spaces	Compliant with zoning
l) Vehicle Loading Zones - 4.3m x 13m oversized space	Light Industrial over 5000sm - 1 per first 5000sm plus required spaces for gfa exceeding 5000sm	2 per building	Compliant with zoning
m) Landscape Provisions for Parking Lot	Landscape buffer width i) abutting a street: 3m ii) not abutting a street: 1.5m Refuse collection areas i) 9m from property line abutting a street ii) 3m from other property lines iii) Screened with minimum 2m height Minimum 15% landscaping at parking lots	5m provided Compliant with zoning Compliant with zoning Compliant with zoning Compliant with zoning	Compliant with zoning

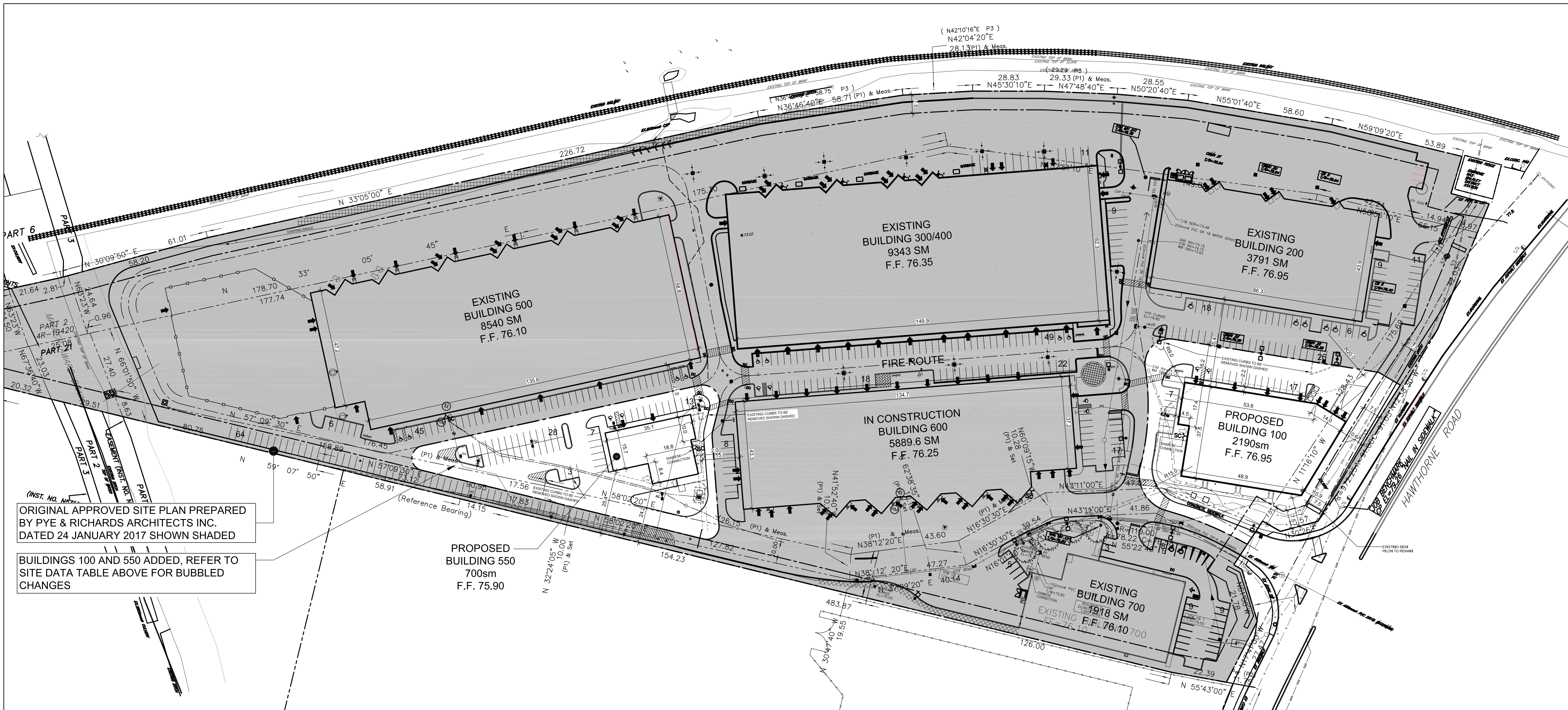
03 SITE DATA AND ZONING INFORMATION

SP-A01 SCALE:

HAWTHORNE COMMERCIAL CENTRE: BUILDING 100	
1.0 Building Area:	2.1 Classification (3.1.2.1): Group F2, Medium Hazard Industrial - Sprinklered
2.2 Occupant Load (3.1.17):	Group F2, 2190sm div. by 46 = 48 people
3.1 Building Size and Construction Relative to Occupancy (3.2.2): Under subsection 3.2.2.70A, Group F2, Up to 4 Storeys, if not more than 4000sm and 1 storey in building height if facing 2 streets, shall be constructed in conformance with the following:	
- the building is permitted to be of combustible or non-combustible construction - floor assemblies shall be fire separations with a fire-resistance rating not less than 45 minutes - mezzanines shall have a fire resistance rating not less than 45 minutes if of combustible construction load bearing walls and columns supporting a fire separation shall have a fire resistance rating not less than that required for the fire separation.	
3.2.3 Spatial Separation (table 3.2.3.1e)	
Exposure	Limiting Distance
North: 440sm	17.2m
South: 354sm	15m
East: 212sm	9.0m
West: 247sm	21.3m
3.2.4 Fire Alarm System:	
- Single stage fire alarm provided	
3.2.5 Fire Fighting:	
- Fire access route is provided to principal entrance - Siamese connection within 45m of municipal fire hydrant	
3.2.9 Standpipe:	
- Not required	
3.4.2 Distance Between Exits (3.4.2.3): The distance between exits shall not be less than one half the maximum diagonal dimension of the floor area.	
3.4.2 Location of Exits (3.4.2.5): The travel distance to at least one exit shall not be more than 45m as per clause (1)(C).	
3.7 Plumbing fixtures (Section 3.7 of OBC): To be determined under Tenant fit-up.	
3.8 Barrier-free Design (Section 3.8 of OBC): To be determined under Tenant fit-up.	
HAWTHORNE COMMERCIAL CENTRE: BUILDING 550	
1.0 Building Area:	2.1 Classification (3.1.2.1): Group F2, Medium Hazard Industrial - Sprinklered
2.2 Occupant Load (3.1.17):	Group F2, 700sm div. by 46 = 16 people
3.1 Building Size and Construction Relative to Occupancy (3.2.2): Under subsection 3.2.2.71, Group F2, Up to 2 Storeys, if not more than 1250sm and 2 storey in building height if facing 2 streets, shall be constructed in conformance with the following:	
- the building is permitted to be of combustible or non-combustible construction - floor assemblies shall be fire separations with a fire-resistance rating not less than 45 minutes	
3.2.3 Spatial Separation (table 3.2.3.1e)	
Exposure	Limiting Distance
North: 228sm	6.5m
South: 215sm	24.2m
East: 156sm	2m
West: 156sm	25.4m
3.2.4 Fire Alarm System:	
- Single stage fire alarm provided	
3.2.5 Fire Fighting:	
- Fire access route is provided to principal entrance - Siamese connection within 45m of municipal fire hydrant	
3.2.9 Standpipe:	
- Not required	
3.4.2 Distance Between Exits (3.4.2.3): The distance between exits shall not be less than one half the maximum diagonal dimension of the floor area.	
3.4.2 Location of Exits (3.4.2.5): The travel distance to at least one exit shall not be more than 45m as per clause (1)(C).	
3.7 Plumbing fixtures (Section 3.7 of OBC): To be determined under Tenant fit-up.	
3.8 Barrier-free Design (Section 3.8 of OBC): To be determined under Tenant fit-up.	

04 BUILDING CODE REVIEW

SP-A01 SCALE:

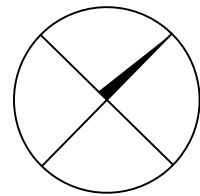


02 SITE PLAN - BUILDING 100 AND 550

SP-A01 SCALE: 1:750

APPROVED ☐ REFUSED ☐
THIS ____ DAY OF ____, 20__
DON HERWEYER, Manager
Development Review SOUTH

North



Revisions

No.	By	Description	Date
01	ERM	REVISED FOR SITE PLAN AMENDMENT	17 DEC 2018

Project

HAWTHORNE ROAD
COMMERCIAL CENTRE
DEVELOPMENT

3020 HAWTHORNE ROAD

Drawing

SITE PLAN
BUILDINGS 100 AND 550

Scale 1:100 Stamp

Drawn

ERM

Checked

JAS



Project No.

18-111

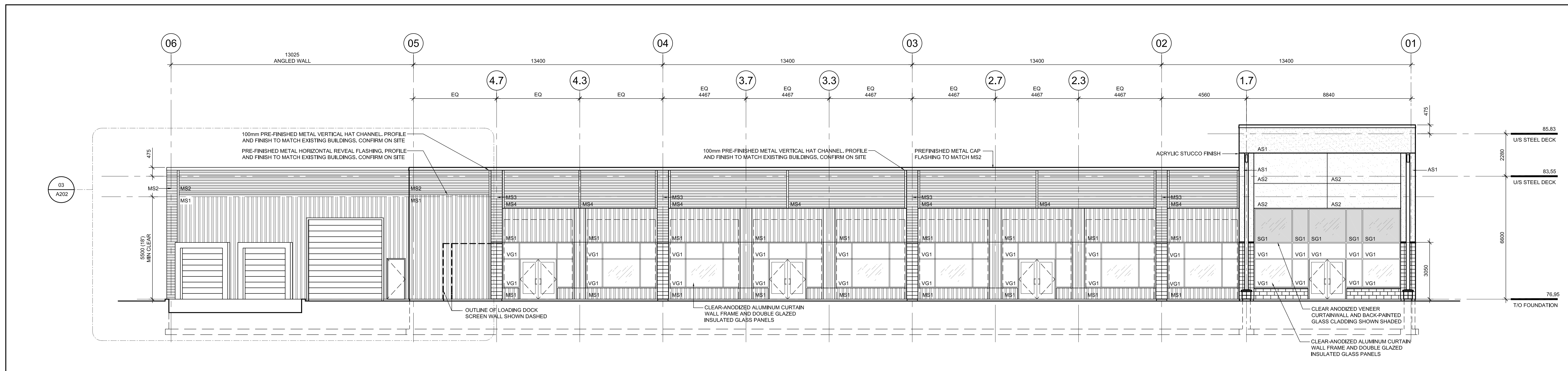
Date

06 JULY 2018

Drawing No.

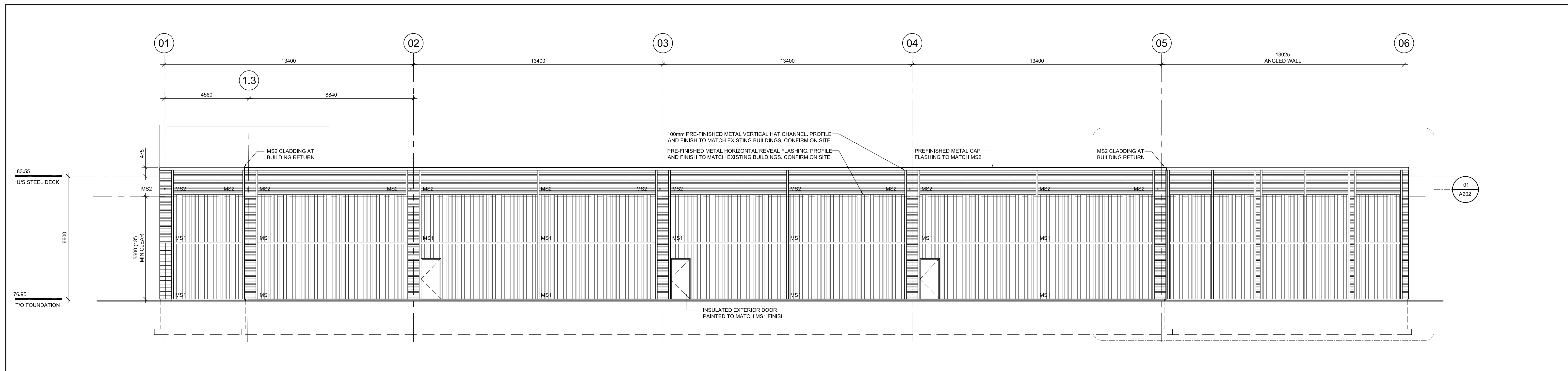
SP-A01

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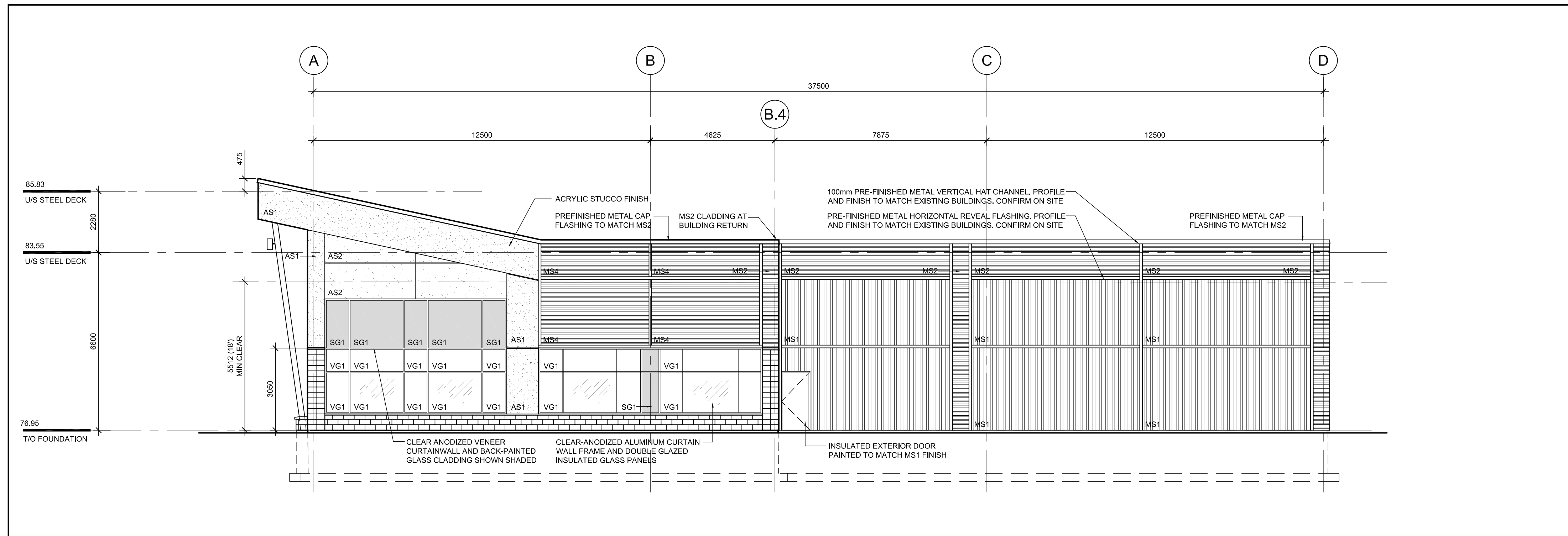
01 NORTH ELEVATION

A201 SCALE: 1:100



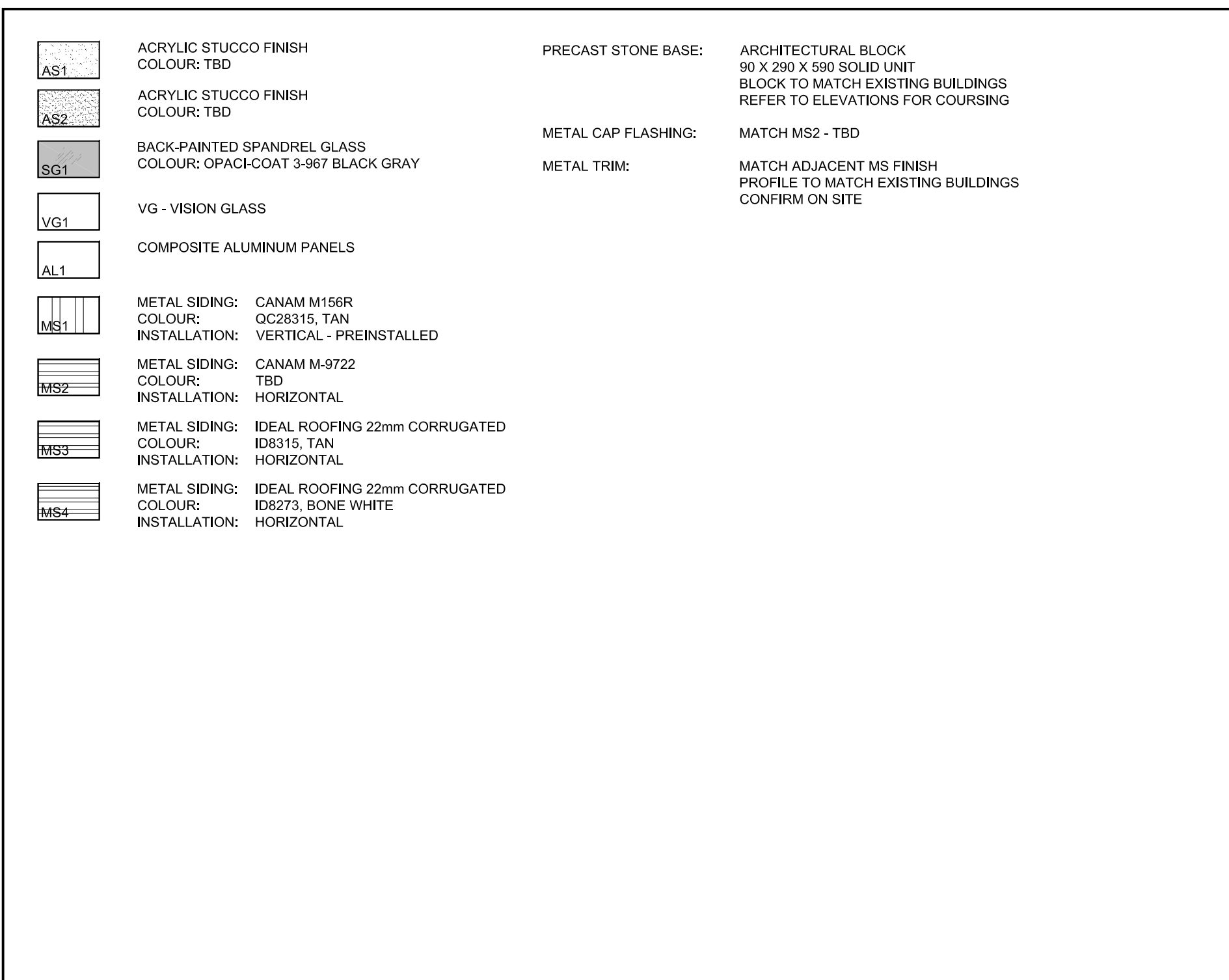
02 SOUTH ELEVATION

A201 SCALE: 1:100



03 WEST ELEVATION

A201 SCALE: 1:100



04 ELEVATION AND FINISH LEGEND

A201 SCALE: 1:100

APPROVED ☐ REFUSED ☐

THIS DAY OF , 20

DDN HERWEYER, Manager
Development Review SOUTH

North

Revisions

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Project

**HAWTHORNE ROAD
COMMERCIAL CENTRE
DEVELOPMENT**

100-3020 HAWTHORNE ROAD

Drawing

BUILDING 100 ELEVATIONS

Scale

1:100

Stamp

Drawn

ERM

Checked

JAS

Project No.

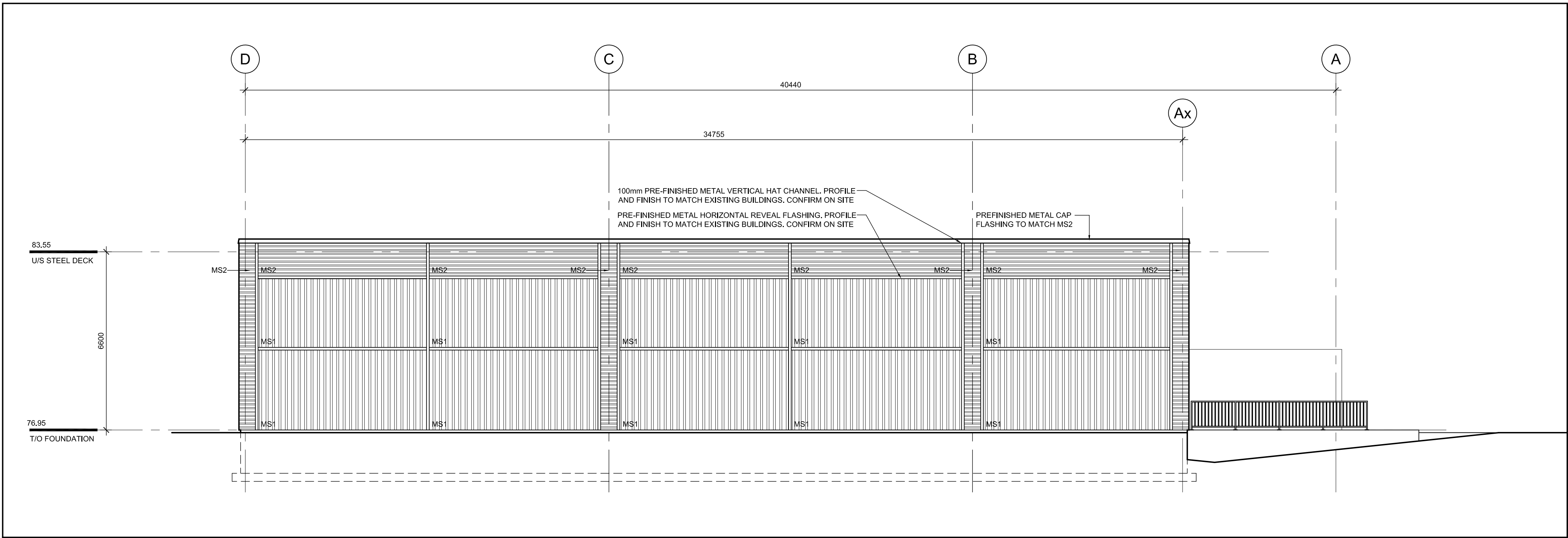
18-111

Drawing No.

A201

Date

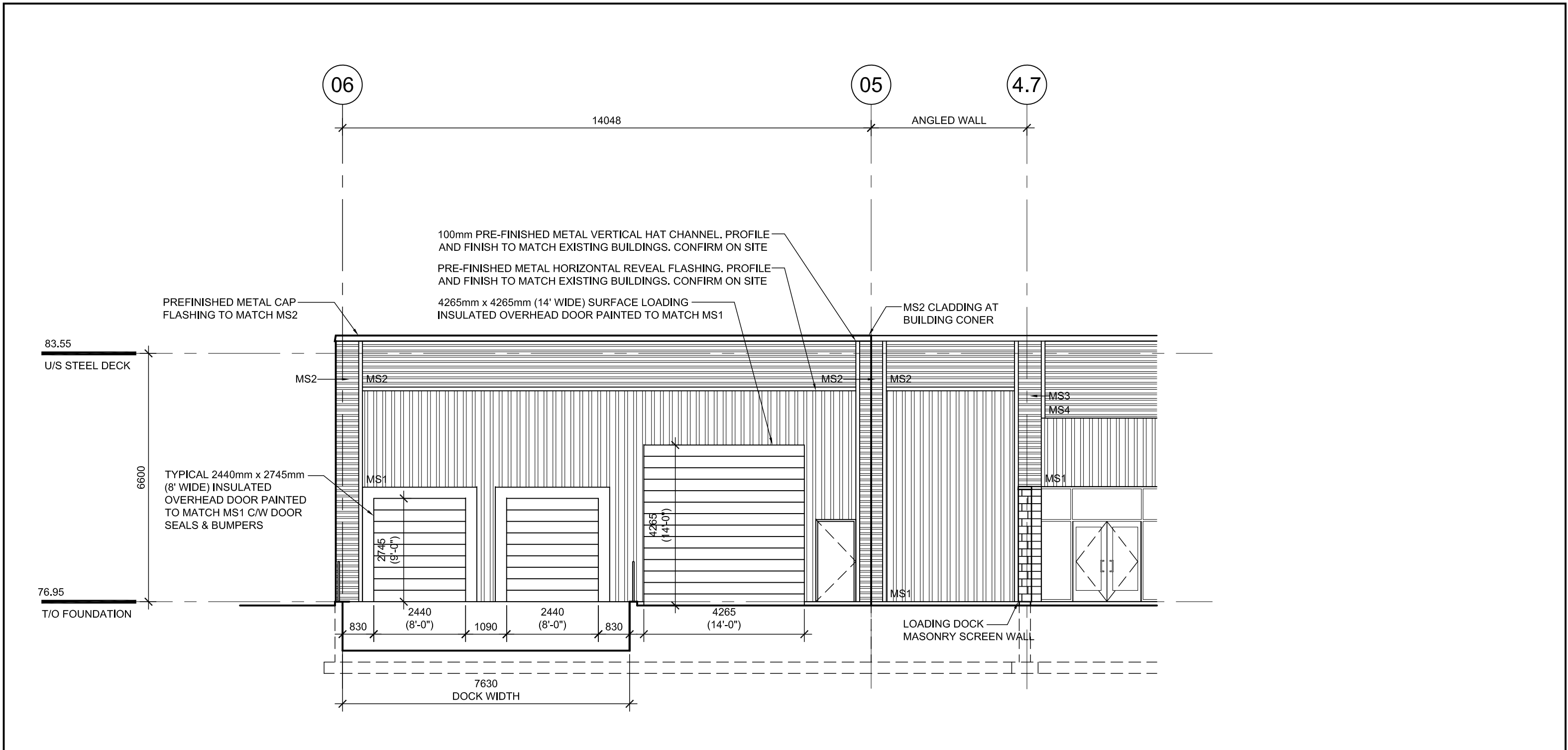
30 NOV 2018



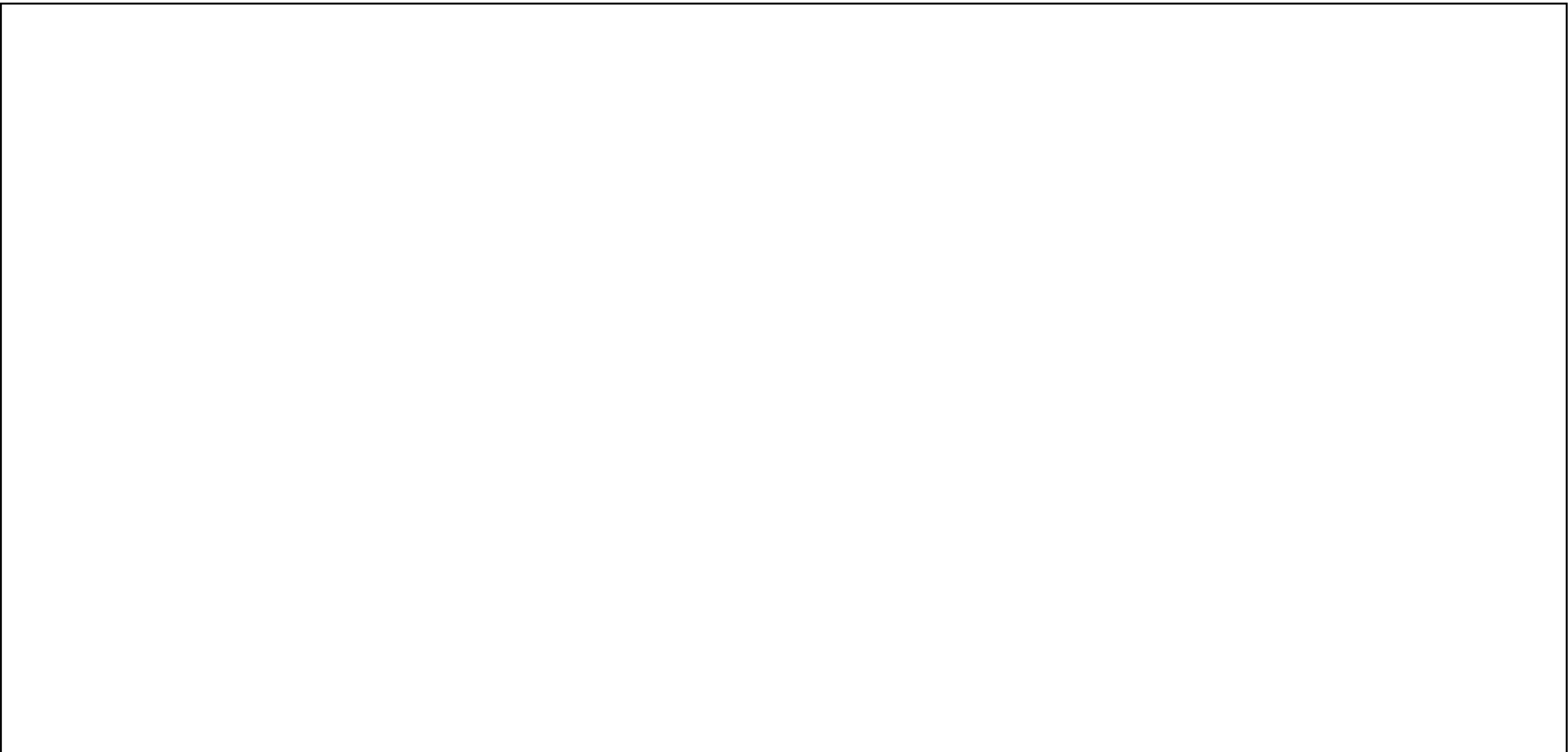
01 EAST ELEVATION
A202 SCALE: 1:100

	ACRYLIC STUCCO FINISH COLOUR: TBD	PRECAST STONE BASE:	ARCHITECTURAL BLOCK 90 X 290 X 550 SOLID UNIT BLOCK TO MATCH EXISTING BUILDINGS REFER TO ELEVATIONS FOR COURSINGS
	ACRYLIC STUCCO FINISH COLOUR: TBD	METAL CAP FLASHING:	MATCH MS2 - TBD
	BACK-PAINTED SPANDREL GLASS COLOUR: OPACI-COAT 3-967 BLACK GRAY	METAL TRIM:	MATCH ADJACENT MS FINISH PROFILE TO MATCH EXISTING BUILDINGS CONFIRM ON SITE
	VG - VISION GLASS		
	COMPOSITE ALUMINUM PANELS		
	METAL SIDING: CANAM M156R COLOUR: QC28315, TAN INSTALLATION: VERTICAL - PREINSTALLED		
	METAL SIDING: CANAM M-9722 COLOUR: TBD INSTALLATION: HORIZONTAL		
	METAL SIDING: IDEAL ROOFING 22mm CORRUGATED COLOUR: ID8315, TAN INSTALLATION: HORIZONTAL		
	METAL SIDING: IDEAL ROOFING 22mm CORRUGATED COLOUR: ID8273, BONE WHITE INSTALLATION: HORIZONTAL		

02 ELEVATION AND FINISH LEGEND
A202 SCALE: 1:100



03 LOADING DOCK ELEVATION
A202 SCALE: 1:100



04 RESERVED
A202 SCALE:



05 RESERVED
A202 SCALE: 1:100



APPROVED	<input type="checkbox"/>	REFUSED	<input type="checkbox"/>
THIS ____ DAY OF _____, 20__			
DON HERWEYER, Manager Development Review SOUTH			

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HAWTHORNE ROAD
COMMERCIAL CENTRE
DEVELOPMENT

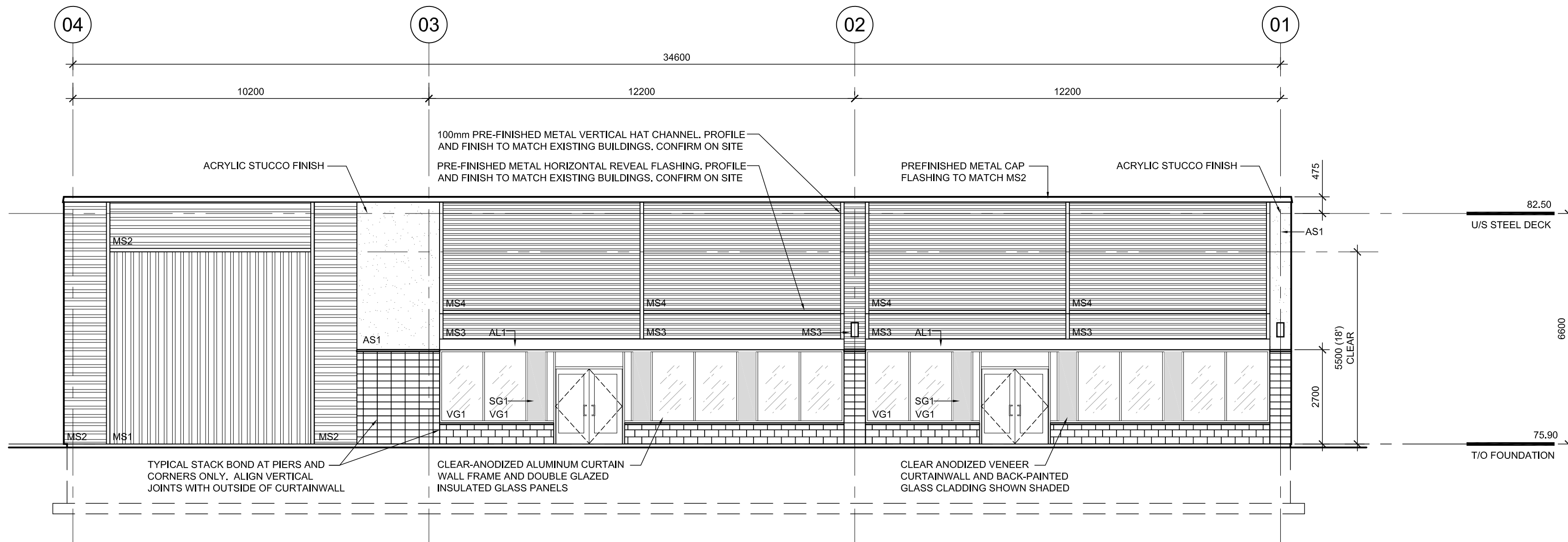
100-3020 HAWTHORNE ROAD

Drawing

BUILDING 100 ELEVATIONS

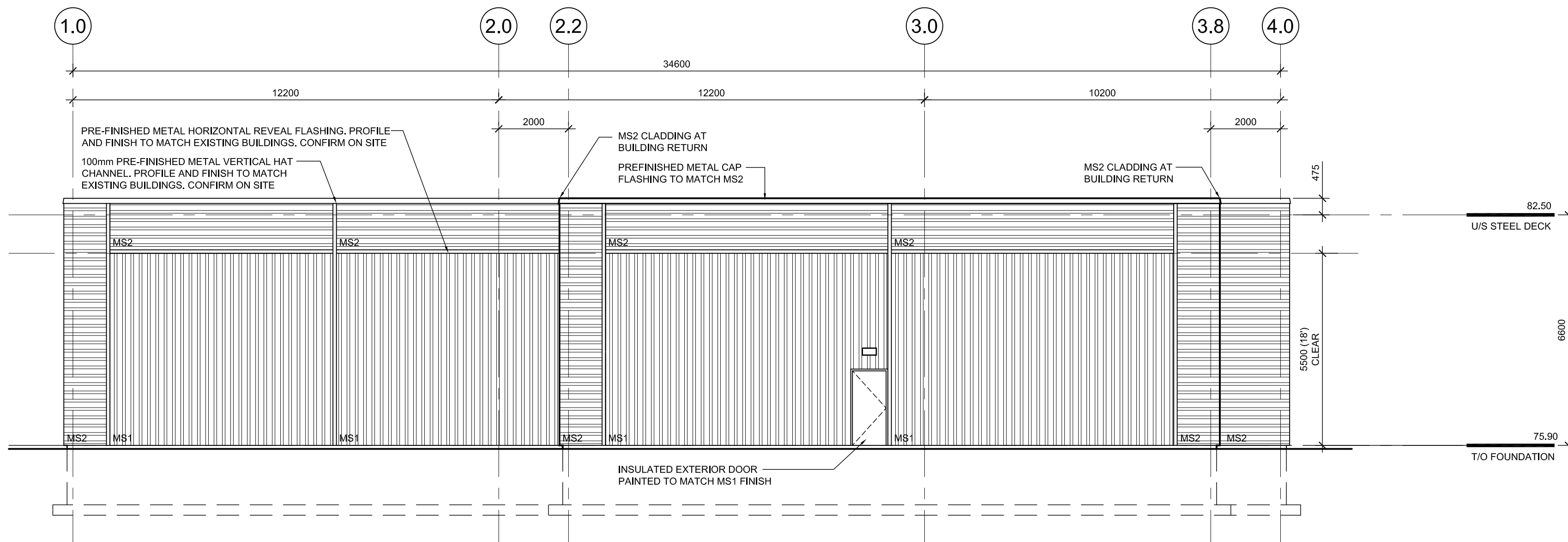
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Drawn	ERM		
Checked	JAS		

Project No.	18-111	Drawing No.	A202
Date	30 NOV 2018		



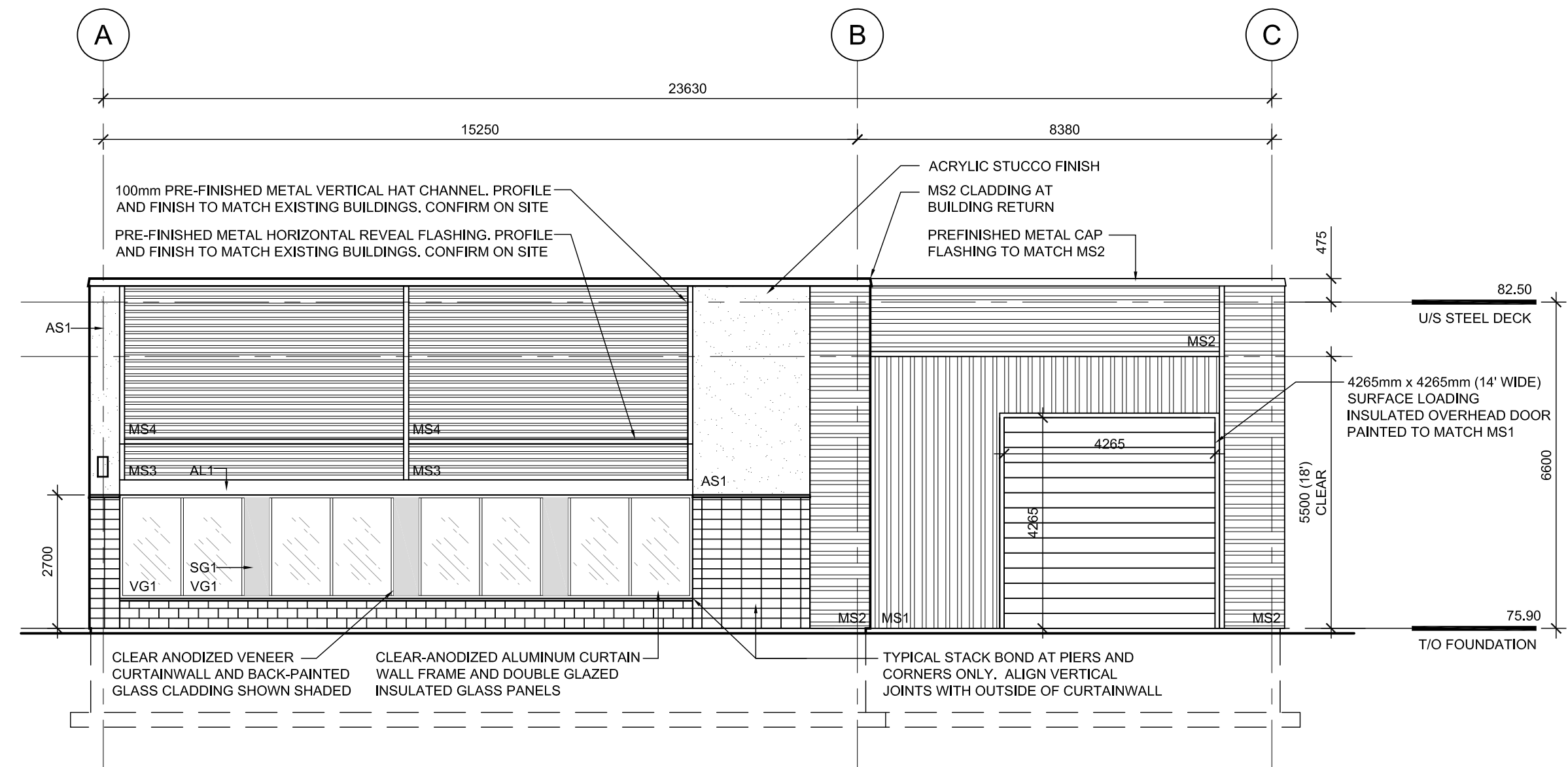
01 NORTH ELEVATION

A201 SCALE: 1:100



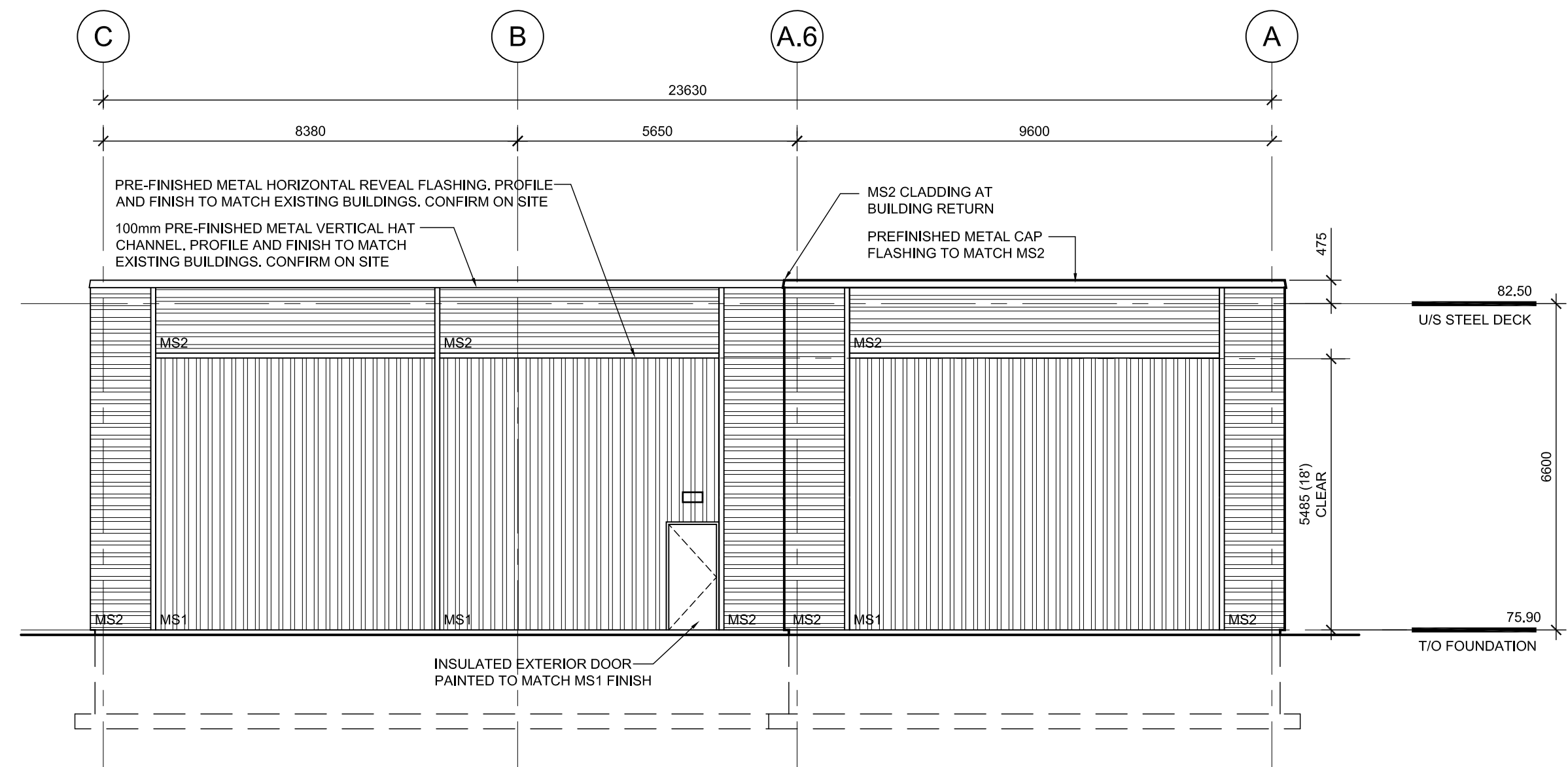
03 SOUTH ELEVATION

A201 SCALE: 1:100



02 WEST ELEVATION

A201 SCALE: 1:100



04 EAST ELEVATION

A201 SCALE: 1:100

AS1	ACRYLIC STUCCO FINISH COLOUR: TBD	PRECAST STONE BASE:	ARCHITECTURAL BLOCK 80 X 250 X 590 SOLID UNIT BLOCK TO MATCH EXISTING BUILDINGS REFER TO ELEVATIONS FOR COURSING
AS2	ACRYLIC STUCCO FINISH COLOUR: TBD	METAL CAP FLASHING:	MATCH MS2 - TBD
SG1	BACK-PAINTED SPANDREL GLASS COLOUR: OPAC-COAT 3-967 BLACK GRAY	METAL TRIM:	MATCH ADJACENT MS FINISH PROFILE TO MATCH EXISTING BUILDINGS CONFIRM ON SITE
VG1	VG - VISION GLASS		
AL1	COMPOSITE ALUMINUM PANELS		
MS1	METAL SIDING: CANAM M156R COLOUR: CC26315 TAN INSTALLATION: VERTICAL - PRE-INSTALLED		
MS2	METAL SIDING: CANAM M-9722 COLOUR: TBD INSTALLATION: HORIZONTAL		
MS3	METAL SIDING: IDEAL ROOFING 22mm CORRUGATED COLOUR: ID3515 TAN INSTALLATION: HORIZONTAL		
MS4	METAL SIDING: IDEAL ROOFING 22mm CORRUGATED COLOUR: ID6273 BONE WHITE INSTALLATION: HORIZONTAL		

06 ELEVATION AND FINISH LEGEND

A201 SCALE: 1:100

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COMMERCIAL CENTRE
DEVELOPMENT**

550-3020 HAWTHORNE ROAD

Drawing
BUILDING 550 ELEVATIONS

Scale 1:100 Stamp

Drawn ERM

Checked JAS



Project No. 18-111

Date 30 NOV 2018

Drawing No.

A201

05 RESERVED

A201 SCALE: 1:100