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Ottawa, Ontario  
Canada, K2E 7J5  
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October 11, 2018  
File: PE1817-LET.06

### **Controlex Corporation**

100-223 Colonnade Road South  
Ottawa, Ontario,  
K2E 7K3

Geotechnical Engineering  
Environmental Engineering  
Hydrogeology  
Geological Engineering  
Materials Testing  
Building Science  
Archaeological Studies

Attention: **Mr. Mike Green**

[www.patersongroup.ca](http://www.patersongroup.ca)

Subject: **Phase I - Environmental Site Assessment Update  
Proposed Buildings 100 and 550  
3020 Hawthorne Road  
Ottawa, Ontario**

Dear Sir,

Further to your request, Paterson Group (Paterson) conducted a Phase I - Environmental Site Assessment (ESA) Update for the aforementioned property. This report updates the Phase I ESA report entitled: "Phase I-Environmental Site Assessment, 3020 Hawthorne Road, Building 200 and Vacant Land, Ottawa, Ontario," prepared by Paterson in March 2012.

This report is intended to meet the requirements for an updated Phase I ESA, as per the MECP O.Reg 153/04, as amended. This report is to be read in conjunction with the 2012 report.

## **Background**

The Phase I Properties are located in a light industrial zone, located on the west side of Hawthorne Road, approximately 200 m south of Walkley Road, addressed 3020 Hawthorne Road, in the City of Ottawa, Ontario. The subject properties include the proposed Buildings 100 and 550, which exist as a vacant grass land and a paved parking lot, respectively.

Based on the findings of the 2012 Phase I-ESA conducted by Paterson, the subject site had always been vacant until the construction of a commercial/industrial building in the late 2000s in the northeast corner of the subject site. A similar building was also constructed in 2005/2006, located on the southeast corner of the subject site. The

remaining lands of the subject site were vacant and covered in grass and brush. Adjacent property uses included a rail line and commercial/light industrial buildings. Paterson has conducted numerous investigations at the subject site, including the remediation of contaminated soil to the immediate north of the existing Building 200 (in 2008) and proposed Building 550 (in 2011). Confirmatory samples were analyzed for petroleum hydrocarbons. All concentrations were in compliance with selected MOE Standards. Based on the history and the previous work completed by Paterson on site, a Phase II-ESA was not recommended at that time.

## **Site Conditions**

A site visit was conducted on October 10, 2018. Since the previous Phase I-ESA Update, two (2) additional large slab-on-grade commercial/light industry buildings (Buildings 300/400 and 500) were noted along the northside of the subject site. A similar building (Building 600) is under construction on the central part of the site. The Phase I properties located on the east and west portion of the subject site exist as vacant lots. No significant changes were apparent on the vacant lot for proposed Building 100, while the vacant lot for proposed Building 550 exists as a paved asphalt parking area.

The site and regional topography slopes gently towards the southwest in the direction of a tributary of McEwan Creek, approximately 5 m from the subject site. No changes to the land use of the surrounding properties were observed during the site visit. The configuration of the subject site is shown on Drawing PE1817-6 Site Plan, which is appended to this report.

## **Updated Records Review**

A request was submitted on October 9, 2018 to the MECP Freedom of Information (FOI) office for information with respect to certificates of approval, permits to take water, certificates of property use or any other similar MECP issued instruments for the site. A response from the MECP had not been received at the time this report was issued. Any pertinent information will be forwarded to the client upon receipt. A copy of the request form has been appended to this report.

A Historical Land Use Inventory (HLUI) was submitted to the City of Ottawa on October 9, 2018 to identify any activities on the subject site and adjacent properties within a 50 m search radius. A response from the City of Ottawa had not been received at the time this report was issued. Any pertinent information regarding the subject site will be forwarded to the client upon receipt. A copy of the request form has been appended to this report.

The TSSA, Fuels Safety Branch in Toronto was contacted electronically on October 10, 2018 to inquire about current and former underground storage tanks, spills and incidents for the site and neighbouring properties. According to the TSSA report, three (3) expired private fuel outlets and two (2) fuel tanks were identified at 2370 and 2480 Walkley Road, approximately 200 m north of the subject properties. Based on our previous work conducted at the subject site in 2009 and distance of these equipment from the subject site, these PCAs do not represent APECs to the Phase I properties.

The latest aerial photograph reviewed at the time of the Phase I ESA, was dated 2011. A review of an aerial photograph for 2017 shows that Building 300/400 existed at that time. No significant changes were noted with regards to the surrounding properties within the Phase I study area since the 2012 Phase I-ESA.

The adjacent lands/buildings adjacent to the proposed Building 100 and Building 500 are occupied by commercial retailers (Acklands-Grainger, Motion Specialties) in Building 200, vacancy in Building 700, a light industrial/commercial business (Freeman, an Audio and Video rentals) in Building 300/400, and a light industrial/commercial business (Solotech, a Stage sound and light rig solutions) in Building 500. None of these industries pose a risk to the subject site. To the far north of the Phase I properties is an existing railway line identified as a PCA, however it is not considered an APEC to the Phase I Properties.

## **Update Conceptual Site Model**

Based on the above noted records and the site visit, no significant changes were apparent on the lot for proposed Building 100. The lot for proposed Building 550 currently exists as a paved asphalt parking area. The adjacent properties/buildings are used for light industrial/commercial purposes. No new PCAs were identified to be APECs for this Phase I ESA Update. Based on our findings, it is our opinion that a Phase II-ESA is not required for the Phase I properties, proposed Buildings 100 and 550, located at 3020 Hawthorne Road, Ottawa, Ontario.

## Statement of Limitations

This Phase I - Environmental Site Assessment Update report has been prepared in general accordance with Ontario Regulation 153/04, as amended under the Environmental Protection Act. The conclusions presented herein are based on information gathered from a limited historical review and field inspection program. The findings of the Phase I - ESA Update are based on a review of readily available geological, historical and regulatory information and a cursory review made at the time of the field assessment.

Should any conditions be encountered at the subject site and/or historical information that differ from our findings, we request that we be notified immediately in order to allow for a reassessment.

This report was prepared for the sole use of Controlex Corporation. Permission and notification from the above noted party and Paterson will be required to release this report to any other party.

We trust that this submission satisfies your current requirements. Should you have any questions please contact the undersigned.

### Paterson Group Inc.



Mandy Witteman, M.A.Sc.



Mark S. D'Arcy, P.Eng.



### Report Distribution:

- ☐ Controlex Corporation
- ☐ Paterson Group

### Appendix:

- ☐ MECP FOI Request
- ☐ City of Ottawa HLUI Request
- ☐ Controlex Site Plan for Proposed Buildings 100 and 550
- ☐ Drawing PE1817-6 – Site Plan

Ministry of the Environment,  
Conservation and Parks

Ministère de l'Environnement, de  
la Protection de la nature et des  
Parcs



Freedom of Information and  
Protection of Privacy Office

Bureau de l'accès à l'information et  
de la protection de la vie privée

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October 11, 2018

Mandy Witteman  
Paterson Group Inc.  
154 Colonnade Road  
Ottawa, ON K3E 7J5

Dear Mandy Witteman:

RE: ***Freedom of Information and Protection of Privacy Act Request***  
**Our File # A-2018-06823, Your Reference PE1817-6**

The Ministry is in receipt of your request made pursuant to the *Freedom of Information and Protection of Privacy Act* and has received your payment in the amount of \$5.00 (non-refundable application fee), along with your \$30.00 deposit.

**The search is being conducted on the following: 3020 Hawthorne Road, Ottawa. If there is any discrepancy please contact us immediately.**

You may expect a reply or additional communication as your request is processed. For your information, the Ministry charges for search, copying and preparation time.

If you have any questions regarding this matter, please contact Jennifer Lee at [jennifer.lee7@ontario.ca](mailto:jennifer.lee7@ontario.ca).

Yours truly,

**ORIGINAL SIGNED BY**

Janet Dadufalza  
FOI Manager

154 Colonnade Road South  
Ottawa, Ontario  
Canada, K2E 7J5  
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October 9, 2018  
File: PE1817-HLUI

**City of Ottawa**  
110 Laurier Avenue W  
Ottawa, Ontario  
K1P 1J1

Geotechnical Engineering  
Environmental Engineering  
Hydrogeology  
Geological Engineering  
Materials Testing  
Building Science  
Archaeological Services

[www.patersongroup.ca](http://www.patersongroup.ca)

Subject: **Authorization Letter, HLUI Search  
Phase I-Environmental Site Assessment  
3020 Hawthorne Road  
Ottawa, Ontario**

Dear Sir,

Please consider this letter as confirmation that Paterson Group has been retained to conduct a Phase I-Environmental Site Assessment at the aforementioned property.

With this letter, the property owner authorizes the City of Ottawa and other regulatory bodies to release, to Paterson Group, information requested for the purpose of completing an environmental assessment of the property.

**Name of Company/Property Owner:**

1172321 Ontario Inc.

**Name of Representative**

Mike Green

**Authorization of Representative**



**Date**

Oct. 9, 2018



01 LOCATION PLAN

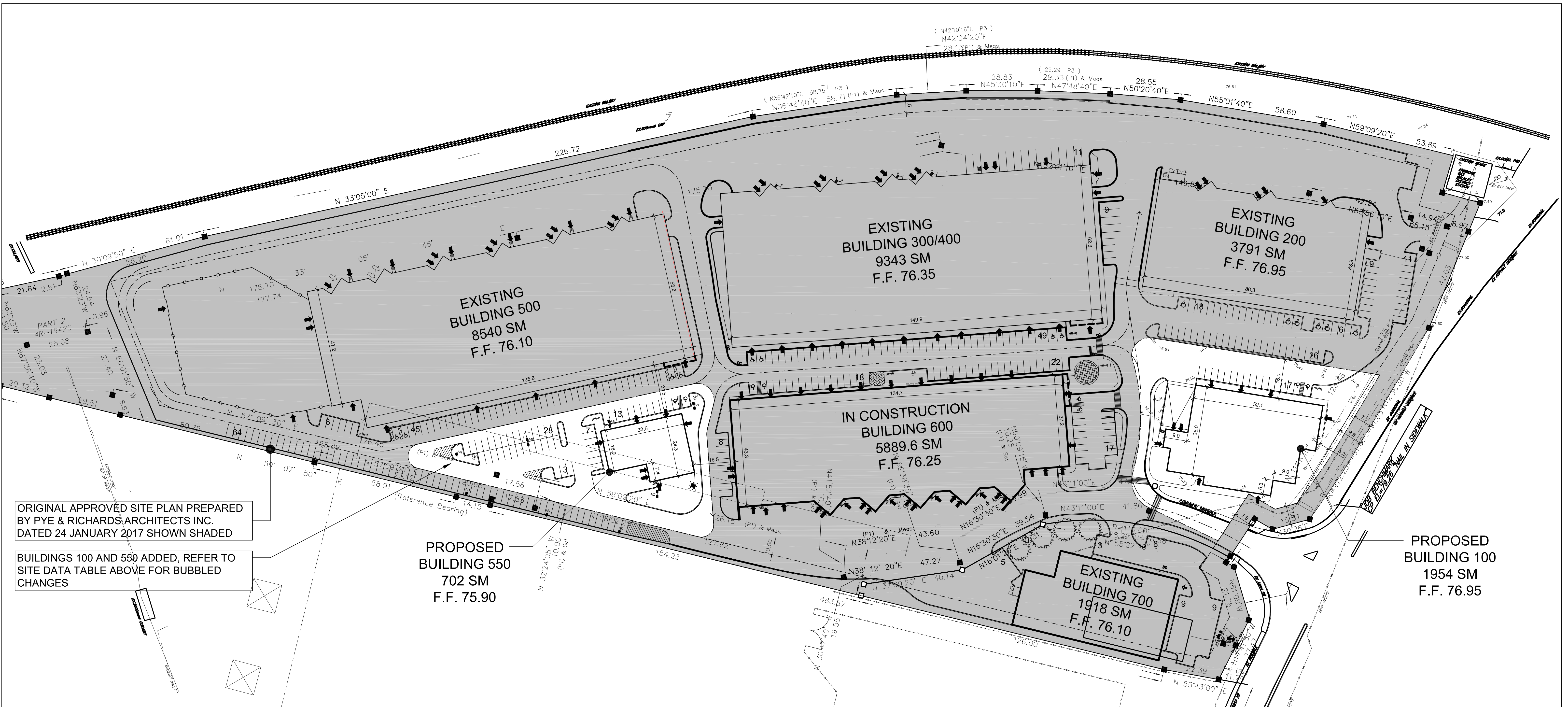
SP-A01 SCALE:

03 SITE DATA AND ZONING INFORMATION

SP-A01 SCALE:

04 BUILDING CODE REVIEW

SP-A01 SCALE:



02 SITE PLAN - BUILDING 100 AND 550

SP-A01 SCALE: 1:750

HAWTHORNE COMMERCIAL CENTRE: BUILDING 100

1.0 Building Area:  
2.1 Classification (3.1.2.1): Group F2, Medium Hazard Industrial  
2.2 Occupant Load (3.1.17): Group F2, 1954sm div. by 46 = 43 people

3.1 Building Size and Construction Relative to Occupancy (3.2.2): Under subsection 3.2.2.70A, Group F2, Up to 4 Storeys, if not more than 4000sm and 1 storey in building height if facing 2 streets, shall be constructed in conformance with the following:  
- the building is permitted to be of combustible or non-combustible construction  
- floor assemblies shall be fire separations with a fire-resistance rating not less than 45 minutes  
- mezzanines shall have a fire resistance rating not less than 45 minutes if of combustible construction load bearing walls and columns supporting a fire separation shall have a fire resistance rating not less than that required for the fire separation.

3.2.3 Spatial Separation (table 3.2.3.1e)

Exposure	Limiting Distance	Allowable Openings	Proposed Openings	FRR
North:	607sm	18.0m	100%	
South:	607sm	9.0m	100%	
East:	388sm	9.0m	100%	
West:	388sm	19.1m	100%	

3.2.4 Fire Alarm System:

- Single stage fire alarm provided

3.2.5 Fire Fighting:

- Fire access route is provided to principal entrance  
- Siamese connection within 45m of municipal fire hydrant

3.2.9 Standpipe:

- Not required

3.4.2 Distance Between Exits (3.4.2.3): The distance between exits shall not be less than one half the maximum diagonal dimension of the floor area.

3.4.2 Location of Exits (3.4.2.5): The travel distance to at least one exit shall not be more than 45m as per clause (1)(C).

3.7 Plumbing fixtures (Section 3.7 of OBC): To be determined under Tenant fit-up.

3.8 Barrier-free Design (Section 3.8 of OBC): To be determined under Tenant fit-up.

HAWTHORNE COMMERCIAL CENTRE: BUILDING 550

1.0 Building Area:  
2.1 Classification (3.1.2.1): Group F2, Medium Hazard Industrial  
2.2 Occupant Load (3.1.17): Group F2, 702sm div. by 46 = 16 people

3.1 Building Size and Construction Relative to Occupancy (3.2.2): Under subsection 3.2.2.71, Group F2, Up to 2 Storeys, if not more than 1250sm and 2 storey in building height if facing 2 streets, shall be constructed in conformance with the following:  
- the building is permitted to be of combustible or non-combustible construction  
- floor assemblies shall be fire separations with a fire-resistance rating not less than 45 minutes

3.2.3 Spatial Separation (table 3.2.3.1e)

Exposure	Limiting Distance	Allowable Openings	Proposed Openings	FRR
North:	332sm	6.5m	25%	1hr
South:	332sm	24.3m	100%	
East:	240sm	6.5m	25%	1hr
West:	240sm	55.0m	100%	

3.2.4 Fire Alarm System:

- Single stage fire alarm provided

3.2.5 Fire Fighting:

- Fire access route is provided to principal entrance  
- Siamese connection within 45m of municipal fire hydrant

3.2.9 Standpipe:

- Not required

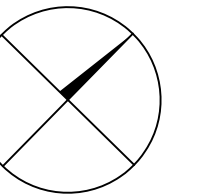
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3.4.2 Location of Exits (3.4.2.5): The travel distance to at least one exit shall not be more than 45m as per clause (1)(C).

3.7 Plumbing fixtures (Section 3.7 of OBC): To be determined under Tenant fit-up.

3.8 Barrier-free Design (Section 3.8 of OBC): To be determined under Tenant fit-up.

North



Revisions

No.	By	Description	Date
01	ERM	ISSUED FOR INFORMATION	31 AUG 2018

Project

HAWTHORNE ROAD  
COMMERCIAL CENTRE  
DEVELOPMENT

3020 HAWTHORNE ROAD

Drawing

SITE PLAN

Scale

1:100

Stamp

Drawn

ERM

Checked

JAS

Project No.

18-111

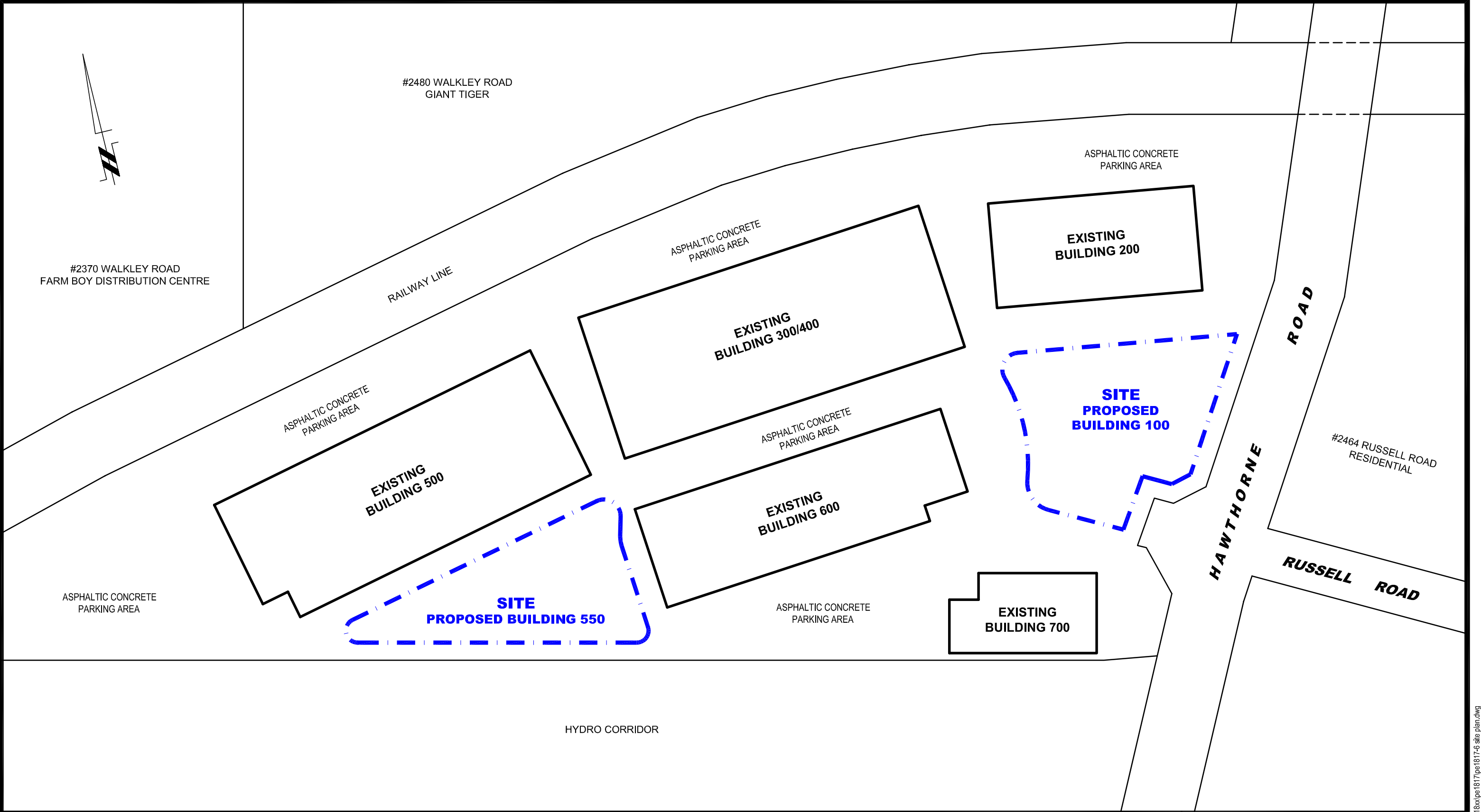
Drawing No.

SP-A01

Date

06 JULY 2018





<div><div>patersongroup</div><div>consulting engineers</div></div> <div>154 Colonnade Road South Ottawa, Ontario K2E 7J5 Tel: (613) 226-7381 Fax: (613) 226-6344</div>					<div>CONTROLEX CORPORATION</div> <div>PHASE I - ENVIRONMENTAL SITE ASSESSMENT UPDATE PROP. BUILDINGS 100 &amp; 550 - 3020 HAWTHORNE ROAD</div> <div>OTTAWA, ONTARIO</div> <div>Title: SITE PLAN</div>	Scale: 1:1500	Date: 10/2018
						Drawn by: MPG	Report No.: PE1817-LET.06
						Checked by: MW	Dwg. No.: PE1817-6
						Approved by: MSD	Revision No.: 0
	0						
NO.	REVISIONS	DATE	INITIAL				

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