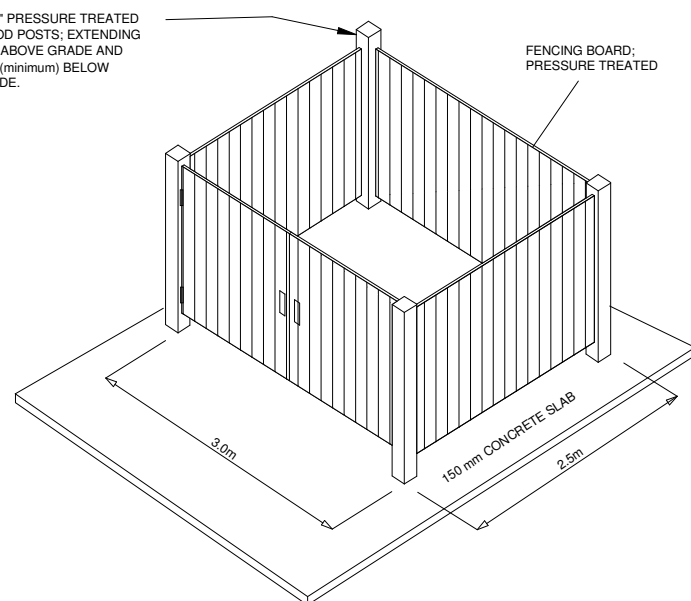
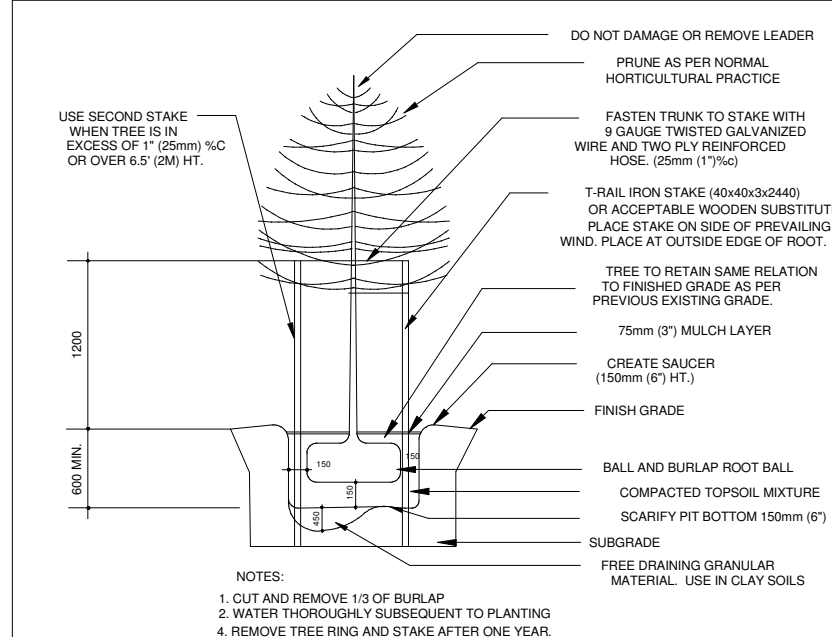
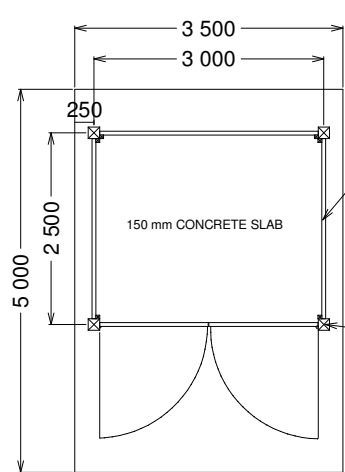


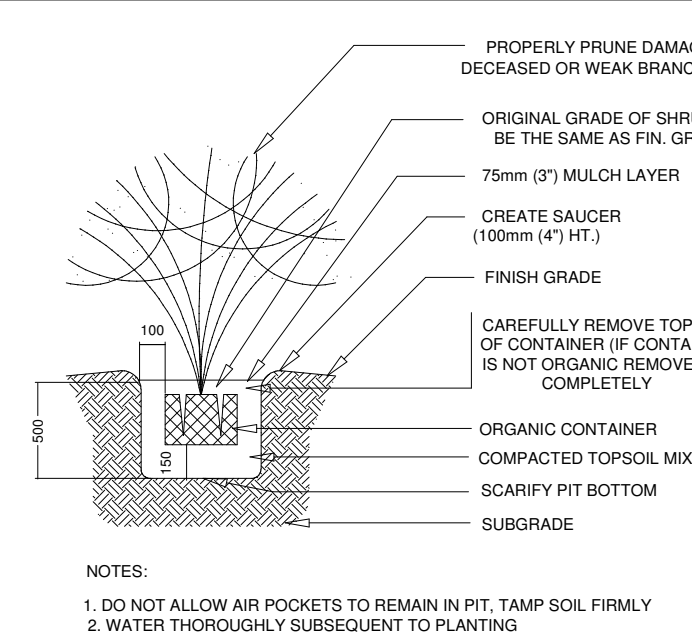
SITE PLAN
Scale-----1/200



GARBAGE ENCLOSURE DETAIL
(not to scale)



DECIDUOUS TREE PLANTING DETAIL

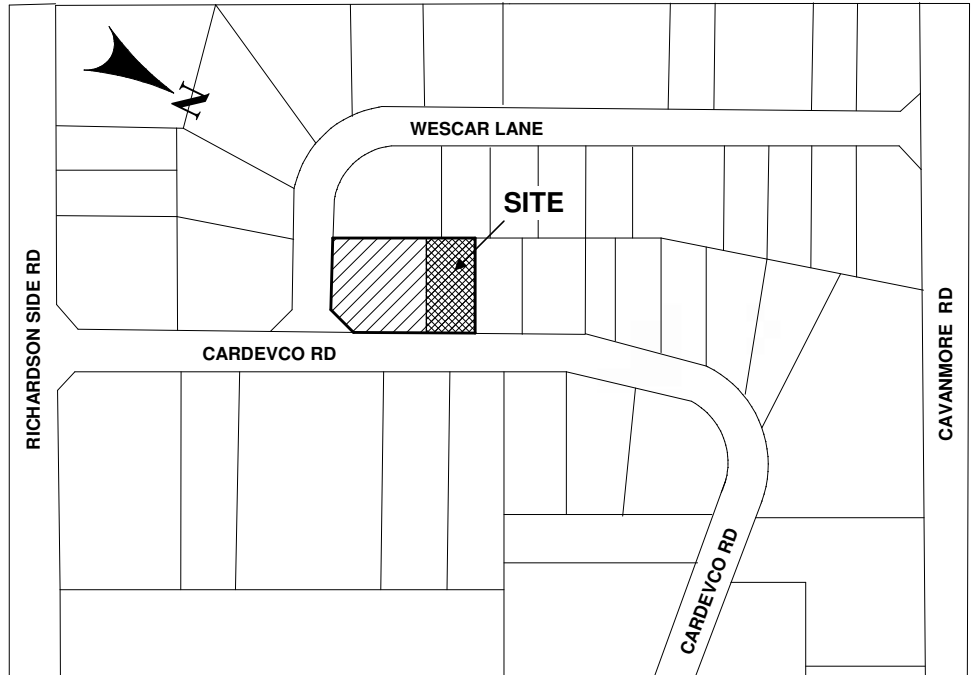


SHRUB PLANTING DETAIL

PLANTING SCHEDULE				
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
1	PP	Picea pungens	Colorado Spruce	240 cm
2	AP	Acer platanoides	Norway maple	75 mm ∅
1	MP	Malus Profusion	Crabapple	60 mm ∅
1	CO	Celtis occidentalis	Common hackberry	150 cm
2	JC	Juniperus communis	Juniper	80 cm
5	CAE	Cornus alba	Red Barked Dogwood	80 cm
10	EAC	Euonymus alatus compacta	Dwarf Burning Bush	50 cm
1	SY	Syringa vulgaris	Common Lilac, French Lilac	100 cm
7	PF	Potentilla fruticosa	Cinquefoil	50 cm
6	JH	Juniperus horizontalis 'Blue Mat'	Blue Rug Juniper	40 cm

PART OF BLOCK 19 AND PART OF BLOCK 23 REGISTERED PLAN 4 M-356 CITY OF OTTAWA

Survey prepared by Annis,O'Sullivan, Vollebekk Ltd.
Field Work Completed February 15, 2013



KEY PLAN

127 CARDEVCO ROAD

ZONING REQUIREMENTS " RG4 " CARP ROAD CORRIDOR		
DESCRIPTION	PROVIDED	ZONING BY-LAW.
LOT AREA	2023.4 m2	1800 m2 min.
LOT FRONTAGE	31.79 m	30 m min.
FRONT & CORNER YARD SETBACK	18.3 m	12 m
INTERIOR SIDE YARD SETBACK	12.0 m	4.5 m
REAR YARD SETBACK.	13.94 m	7.5 m
BUILDING AREA.	497.5 m2	--
GROSS FLOOR AREA.	666.7 m2	--
BUILDING HEIGHT	7.1 m	15.0 m
LOADING SPACE (3.00x9.00m).	0	--
PARKING SPACES	9 PS	8.5 PS
LANDSCAPED AREA (48%)	10634 sq.ft	--
PAVEMENT AREA	7725 sq.ft	--
PARKING SPACE DIMENSIONS	2.6 m x 5.2 m	2.6 m x 5.2 m
aisle WIDTH.	7.0 m	6.7 m Min.

PARKING CALCULATION

Warehouse GFA 466.7m2 0.8 X 4.66= 3.7 PS
Office area GFA 200 m2 2.0 x 2.40= 4.8 PS
TOTAL REQ. PARKING AREA 8.5 PS

LANDSCAPE NOTES:

- Generally, all site work to conform with the general landscape specification of "Landscape Ontario". Copies can be obtained from "Landscape Ontario", 1293 Matheson Blvd., Mississauga, Ontario, L4W 1R1.
- Check all quantities and report any errors or discrepancies to the landscape architect.
- Acceptance of plant material at its source does not prevent rejection on site prior to or after planting operations.
- Plant material to be No. 1 grade and when supplied in containers and/or wire baskets (now bio-degradable), the entire encasement is to be removed without disturbing root ball prior to backfilling.
- Container grown stock shall not have been grown in container for more than 2 growing seasons. Plants must be able to "hold" soil once removed from container, and plants that have become root bound are not acceptable.
- All shrubs or trees in groups to be planted in continuous mulched beds as indicated on plan.
- Use plant material true to name, sizes, or grades, as specified and conforming to the standards of the Canadian Nursery Trades Association. Substitutions not permitted unless written approval has been obtained but must be of similar species and of equal size as those originally specified.
- All sod to be No. 1 nursery sod, smoothly lain with tight joints and within 36 hours of being lifted. Maintain sodded area from start of insulation until final acceptance.
- All sizes indicated are minimum.

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The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to A. Dagenais & Assoc. Inc. without delay. The copyrights to all designs and drawings are the property of A. Dagenais & Assoc. Inc. Reproduction or use for any purpose other than that authorized by A. Dagenais & Assoc. Inc. is forbidden.



#5		
#4		
#3		
#2		
#1	ISSUED FOR SITE PLAN APPLICATION	Oct.12/2017
No.	Revision	Date

A. Dagenais & Assoc. Inc.

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**PROPOSED WAREHOUSE
127 CARDEVCO RD.
CARP, ONTARIO**

SITE & LANDSCAPING PLAN
Date: Oct.12/2017

Folder #: 017-281 ALL
Drawn by: T.B.
Revised by: A.F.D.

Stamp:

Page number:

SP-1